

AGENDA

City of Hapeville

3468 North Fulton Avenue

Hapeville, Georgia 30354

Design Review Committee

January 16, 2019

6:00 PM

1. Welcome And Introduction

2. Election Of Officers

3. Approval Of Minutes

3.I. Design Review Committee Minutes: December 19, 2018

Documents:

[DRC MINUTES DECEMBER 19, 2018.PDF](#)

4. Shannon Short 903 Margaret Street

Mr. Shannon Short has submitted an application seeking approval of plans to construct a new 2,475-square foot single family dwelling with a 404.75-square foot detached garage at 903 Margaret Street. The property is zoned R-SF, Residential Single Family.

Documents:

[903 MARGARET STREET.PDF](#)

5. Samuel H. Kirkland 3290 North Whitney Avenue

Mr. Samuel H. Kirkland has submitted an application seeking approval of plans to construct a new 2,880-square foot single family dwelling with a 400-square foot 2-car detached garage at 3290 North Whitney Avenue. The property is zoned R-1, One Family Residential.

Documents:

[3290 NORTH WHITNEY AVENUE.PDF](#)

6. New Business
7. Next Scheduled Meeting - Wednesday, February 20, 2019 At 6:00PM
8. Adjourn

Design Review Committee Meeting Minutes

December 19, 2018

I. Call to Order

Jonathan Love called to order the regular meeting of the Design Review Committee at 6:09 PM on December 19, 2018 at Hapeville City Hall Conference Room.

II. Roll Call

Jonathan Love (Chairman) conducted a roll call. The following persons were present Brian Gregory, John Stalvey, Rick Ferrero, Karl Dufrenne, and Lynn Patterson (non-voting).

III. Approval of Meeting Minutes

Jonathan Love read the minutes from the November 14th meeting. John Stalvey made a motion to pass the minutes. Jonathan Love seconded, and it passed 5-0.

IV. Applications

a) 3038 Gordon Circle – Troy Williams

John Stalvey made a motion to approve the application with the addition of the submitted revisions addressing the concerns in the Planner's Report.

Karl Dufrenne seconded the motion and it passed 5-0.

b) 3408 Orchard Street – John Biery attending

Karl Dufrenne made a motion to approve the application with the addition of the submitted revisions addressing the concerns in the Planner's Report.

John Stalvey seconded the motion and it passed 5-0.

c) 3303 Sims Street – Adonia Custom Estates, two members in attendance

Brian Gregory made a motion to post-pone the approval of the application until the applicant submits new drawings, especially elevations, addressing the following details:

- i. Align second floor with the first floor on the front;
- ii. Three single windows on the second-floor front elevation;
- iii. Enlarge the front-stoop with gable roof centered on main ridge;
- iv. Replace rock stone foundation with parge cement foundation;
Cement board siding on both floors, all four sides;
- v. Remove siding knee-wall on portico and add hand rails, if required by grade;

- vi. Portico will not be screened;
- vii. Remove gable vents on front and rear elevation;
- viii. Optional side, upstairs windows can be removed (Office and Loft);
- ix. Other items in planner's report response have been addressed from the applicant.

Karl Dufrenne seconded the motion and it passed 5-0.

V. New Business

None

VI. Consideration to Approve the 2019 DRC Meeting Schedule

John Stalvey made a motion and Jonathan Love seconded. Motion passed 5-0

VII. Next Regularly Scheduled Meeting is January 16, 2019

VIII. Adjournment

Jonathan Love adjourned the meeting at 7:11 PM.

Meeting minutes submitted by: _____
Brian Gregory, Secretary

Meeting minutes approved by: _____
Jonathan Love, Chairman



PLANNING AND ZONING DEPARTMENT

PLANNER'S REPORT

DATE: January 10, 2019

TO: Tonya Hutson

FROM: Lynn M. Patterson

RE: Design Review - 903 Margaret Street

Key:

Compliant:	✓
Not Compliant:	✗
Incomplete:	✋
Not Applicable:	⊖

BACKGROUND

The City of Hapeville has received a Design Review Application from Shannon Short requesting new construction of a two-story, 2,475 SF 4 bedroom, 4.5 bathroom single family dwelling with a 404.75 SF detached garage located at 903 Margaret Street. A new driveway would extend along the eastern property boundary from Walnut Street to the garage.

The property is within the R-SF, Residential Single Family Zoning District and is subject to the Neighborhood Conservation Area Subarea E of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(a) Site development standards

- ✓ Except where indicated, setbacks shall be established by zoning.
- ✓ On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.
- ✓ Minimum building heights shall be established by zoning.
- ⊖ Within subareas D and E maximum building heights shall be as established by zoning, except that:
 - Where this chapter provides a more-stringent standard as compared to the zoning code, the more-stringent standard shall prevail. The only exception to this shall be a use grandfathered under the zoning code.
- ⊖ Portions of buildings equal to or less than five feet from a side or rear lot line shall be limited in height to the greater of 16 feet.
- ✓ Portions of buildings between five and ten feet of a side or rear lot line shall be limited in height to the greater of 25 feet.
- ⊖ Portions of buildings ten feet or greater from a side or rear lot line shall be limited in height to 35 feet.
- ⊖ Outside of subareas D and E maximum building heights shall be as established by zoning.
- ✓ All buildings shall provide first-story occupiable space, for the first ten feet of building depth along the enfronting facade.
- ✓ Sidewalks shall be located along all public and private streets. Sidewalks shall consist of two areas: a landscape area and a clear area.
- ✓ Developments less than one acre shall provide a minimum one-foot landscape zone and a minimum four-foot clear zone.
- ✓ Development of one acre or more shall provide a minimum two-foot landscape zone and a minimum five-foot clear zone.
- ✓ The above notwithstanding, multifamily developments and all developments along Dogwood Drive shall provide a minimum five-foot landscape zone and a minimum six-foot clear zone.

STAFF COMMENT:

(b) Supplemental Area and Fence Standards

- ✓ Developments shall locate landscape supplemental areas adjacent to first-story residential uses and place a minimum of one tree every 50 feet in the supplemental area. See list of allowed trees in section 93-2-14 .
- ✓ Chain link fencing is not permitted in areas visible from a public right-of-way.
- On all lots a fence, wall, curb or hedge between six and 48 inches in height is encouraged at the back of the required sidewalk, except at openings to access steps, drives or pedestrian walkways.
- Fences adjacent to the street shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.
- Retaining walls adjacent to the required sidewalk shall not exceed 32 inches in height unless required by topography.
- All street-facing walls shall be faced with stone, brick, or smooth stucco.
- Small planting between retaining walls and the required sidewalk are encouraged and should have a minimum width of six inches.

STAFF COMMENT:

(c) Utility Standards

- ✓ Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.
- When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- Street lights may be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian-
- ✓ All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may
- ✓ Trees shall not be planted directly above storm drains.

STAFF COMMENT:

(d) Parking and Traffic Standards

- One-family detached dwellings and two-family dwellings shall meet the following requirements:
 - ✗ Driveways shall have a minimum width of nine feet and a maximum width of 15 feet.
 - Circular drives are permitted.
 - ✓ A grass strip in the middle of driveways is encouraged.
- All other buildings shall meet the following requirements:
 - Parcels are permitted a maximum of one driveway curb cut per street. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
 - Driveways shall have a maximum width of 12 feet for one-way and 24 feet for two-way.
 - Two curb cuts serving two one-way driveways shall be counted as one curb cut.
 - Public or private alleys, or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.
 - New public streets shall not count as curb cuts.
 - Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
- Carports are only permitted subject to the following requirements:
 - Carports shall be located in the rear or side yard, but shall not be visible from a public right-of-way.
 - Carport roofs shall be supported by columns with a minimum width and depth of eight inches.
 - The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.
- On-site parking shall be prohibited in the supplemental areas. This shall not be interpreted as restricting on-street parking located along a public street.
- ✓ Garage access on single-family lots shall be prohibited in the front yard of the home.

STAFF COMMENT: Driveway is 20' wide to accommodate corner lot. Design exception is required.

(e) Roof and Chimney Standards

- Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- ✓
- ✓ Roof shingles shall be slate, cedar, or asphalt.
- Roof tiles shall be clay, terra cotta or concrete.

Metal roofs are:

- ✓ Permitted on one-family and two-family detached dwellings;
- ⊗ Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a parapet wall.
- ✓ Gutters shall be copper, aluminum or galvanized steel.
- ✓ Downspouts shall match gutters in material and finish.
- ✓ Roof forms shall be based on architectural style.
- ✓ All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- ✓ Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- ⊗ Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- ⊗ Chimneys on exterior building walls shall begin at grade.
- ⊗ Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

STAFF COMMENT:

(f) Street Facing Facade and Style Standards.

- ✓ Exterior facade materials shall be limited to:
 - Full-depth brick;
 - Natural or cast stone;
 - ✓ Smooth natural-wood siding and/or cement-based siding;
 - Shake siding;
 - Painted fish-scale style shingles, but only when used in front gables;
 - True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- ⊗ Exterior building materials shall not be:
 - Simulated brick veneer, such as Z-Brick;
 - Exterior insulation and finish systems (EIFS);
 - Exposed concrete block;
 - Metal siding or other metal exterior treatment;
 - Glass curtain walls;
 - Liquid vinyl;
 - T-1-11 siding;
 - Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.
- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ✓ Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11.
- ✓ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ⊗ All exterior stair risers visible from a street shall be enclosed.
- ✓ Porches, stoops, and balconies may be located in the front or side yard.
- ✓ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- ✓ Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- ⊗ Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ✓ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ⊗ Porch and stoop foundations shall be enclosed.
- ⊗ Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- ⊗ Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- ⊗ Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- ⊗ Stoops shall provide a minimum top landing of four feet by four feet.
- ⊗ Stoop stairs and landings shall be of similar width.

- ⊗ Stoops may be covered or uncovered.
- ✓ When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ✓ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- ⊗ Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- ⊗ Enfronting porches may have multistory verandas, living space, or balconies above.
- ✓ Porch columns shall be spaced a maximum distance of eight feet on center.
- ⊗ Front porch columns shall have foundation piers extending to grade.
- ✓ All porches shall be covered.
- Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- ⊗
- ⊗ Enfronting balconies shall have a minimum clear depth of four feet.
- ⊗ Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- ⊗ Balconies may be covered or uncovered.

Porch finishes should be provided.

STAFF COMMENT:

(g) Door and window standards.

- ✓ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ✓ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ✗ Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- ⊗ Doors that operate as sliders are prohibited along enfronting facades.
- Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- ✓ Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- ✓ Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- ⊗ Where used, window shutters shall match one-half the width of the window opening.
- ⊗ Painted window or door glass is prohibited.
- Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- ✓ Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- ✓ Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.
- ✓
- ✓ Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- ✍ Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

Sill material should be provided.

Building numbers should be provided.

STAFF COMMENT:

(h) Detached one-family dwellings/ two-family dwellings . In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.

- ✗ **First Stories .** First stories shall be elevated above the grade between two and four feet, unless existing topography is greater or unless wheelchair access is desired and cannot be provided from the side or rear.
- ✍ **Window Sills.** Enfronting first story window sills should be no less than two and one-half feet and no more than three and one-half feet above finished floor elevation.
- Wheelchair access .** Where practical, wheelchair access, when provided, should be installed at the side or rear of the home in order to preserve the architectural character of the primary facade.
- ⊗

✓ *Architectural style* . Architecture is one of the most critical components of place, and nowhere is this more evident than on building facades. The design and character of street-facing facades is a reflection of both buildings and their users, and must be carefully considered for its impact on the overall sense of place.

Other

New homes in the neighborhood conservation area should be designed to reflect the principal traditional styles found in the community. These include national folk, Queen Anne, ranch, Tudor revival, craftsman, and minimal traditional styles. These styles, however, do not reflect the only styles historically found in Hapeville, which also includes a few occurrences of neocolonial revival. Where an applicant desires to utilize a style historically found in Hapeville, but not reflected in the six principal styles identified in subsections (4)a. through (4)e., they shall provide the design review committee with photo documentation of the relevant style in Hapeville, a description of the key features of such style, and written justification of such style's appropriateness for the community.

STAFF COMMENT: **House is built on slab at grade.**
 Sill dimension from finished floor elevation should be provided.

Outbuildings. In conventional development, outbuildings are often designed and located as an afterthought. Yet in traditional towns and cities, outbuildings serve to enrich the quality of design through their placement, design and use. In Hapeville, where outbuildings are provided on many residential lots, their design must be to the same high standards found in the community's neighborhoods.

The following standards shall apply to construction of new outbuildings in residential districts.

- i. On lots with one street frontage, set outbuildings back at least 15 feet behind the front facade of the principal building.
- ✓ ii. On corner lots, outbuildings should be setback at least 15 feet behind the front facade of the principal building and with a setback greater than or equal to that of the facade along the side lot line.
- ✓ iii. Outbuilding may be linked to the principal building with covered walks, trellises or enclosed breezeway.
- ✓ iv. Outbuildings shall be of compatible material and architectural style to the principal building.
- ✓ v. Outbuildings shall have a minimum height of 14 feet and a maximum height of that of the principal building or 25 feet, whichever is less.
- ✓ vi. Outbuildings shall be set a minimum of ten feet from any other outbuilding on adjoining lots.

STAFF COMMENT:

RECOMMENDATIONS

Upon review of the information provided by the Applicant, the following items have been found to be missing or deficient and should be addressed prior to formalizing a recommendation:

Driveway is 20' wide to accommodate corner lot. Design exception is required.

House is built on slab at grade. Design exception is required.

Sill dimension from finished floor elevation should be provided.

Sill material should be specified.

Building numbers should be provided.

Porch finishes should be provided.

Once these items are addressed to the satisfaction of Staff and/ or the Design Review Committee, the application can be approved.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: DEC 13 2018

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Shannon Short Contact Number: [REDACTED]

Applicants Address: 718 Campbell Circle Hapeville, Ga. 30354

E-Mail Address: [REDACTED] Zoning Classification: R-SF

Address of Proposed Work: 903 Margaret St. Hapeville, Ga. 30354

Parcel ID# (INFORMATION MUST BE PROVIDED): 14 012700020510

Property Owner: Short Construction, Inc. Contact Number: [REDACTED]

Project Description (including occupancy type): New single family detached home with detached garage.

Contractors Name: Short Construction, Inc. Contact Number: [REDACTED]

Contact Person: Shannon Short Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

SL 886
Applicants Signature

12-13-18
Date

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building
☐ Addition to Existing Residential Structure ☐ Accessory Structure
☐ Site Plan, Grading & Landscaping ☒ New Single Family Residential Construction
☐ Other

Total Square Footage of proposed New Construction: 2475

Total Square Footage of existing building: -

Estimated Cost of Construction: 240,000

List/Describe Building Materials on the exterior of the **existing** structure: n/a

List/Describe Building Materials **proposed** for the exterior facade of the new structure: Fiber

cement siding in Board & Batten style along with smooth alternating lap pattern & wood brackets and porch posts. Owens Corning Duration asphalt "Lifetime" warranty shingles. Vinyl 2 over 2 "colonial" style windows with SPL grids. Recessed accent lighting in soffits. Brick "water table" on home below windows around foundation and posts that are seen from the street. Gutters and downspouts will be aluminum. Metal roof accents on porches and breezeway. Windows will be wrapped with 1x4" & 1x6".

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I  swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

SS Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST

SS Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.

SS Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.

SS Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.

SS Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.

SS Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.

SS Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

Shannon S Short

SS

12-13-18

Printed Name

Signature

Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

903 Margaret St.

Hapeville, Ga. 30354

Items that we found that do not meet current requirements:

1. The house is a slab on grade so the entrance will not be between 2' and 4' above grade. We are installing a brick water table around the base of the home to give it a similar look to homes built on crawl spaces.
2. The proposed driveway width is 20' wide instead of 15'. This is because the garage is 20' wide and very close to the road because of the lot size so we need it to be 20' wide to hold 2 vehicles in the driveway

903 Margaret St

All that tract or parcel of land lying and being in land lot 127 of the 14th. District, City of Hapeville, Fulton County, Georgia. And being more particularly described as follows

Beginning at a rebar found at the intersection of the Southerly right of way of Willingham St. (variable R/W) and the Westerly right of way of Colville St. (50' R/W)

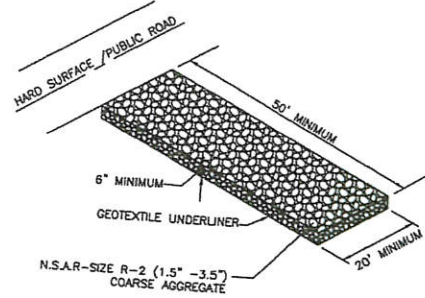
Thence S 00°47'16" W along the Westerly right of way of Colville St. A Distance Of 128.54' to a point on the Northerly right of way of Margaret St. (40' R/W)

Thence N 85°34'22" W along said right of way A Distance Of 47.44' to a rebar found

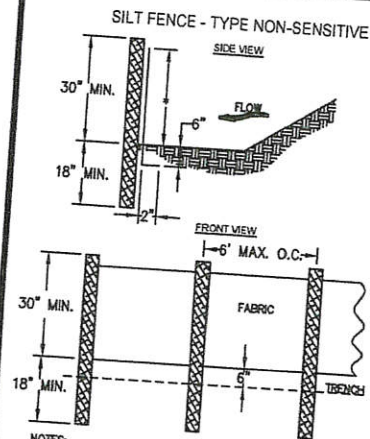
Thence N 06°56'39" E leaving said right of way A Distance Of 135.84' to a rebar found on the Southerly right of way of Willingham St.

Thence S 72°59'56" E along said right of way A Distance Of 34.13' to a rebar found

Which Is The Point Of Beginning,



Co CONSTRUCTION EXIT
N.T.S.



- NOTES:
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
 2. HEIGHT (H) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

TREES TO
BE REMOVED X

- GENERAL NOTES:
1. LOT 9, VILLAGE WALK @ VIRGINIA PARK.
 2. ADDRESS: 903 MARGARET STREET.
 3. TAX ID: 14 012700020510
 4. SITE AREA---0.12 AC./5,227 SQ. FT.
 5. SITE ZONED R-SF. (SINGLE FAMILY DETACHED)
 6. MINIMUM LOT SIZE---4,000 SF.
 7. MAXIMUM HEIGHT---35'
 8. MINIMUM FRONT SETBACK (MINOR COLLECTOR)---15'
 9. MINIMUM FRONT SETBACK (MAJOR ARTERIAL)---15'
 10. MINIMUM SIDE SETBACK---5'
 11. MINIMUM REAR SETBACK---20'
 12. THERE IS NO EXISTING STRUCTURES ON THIS LOT.
 13. MINIMUM 4 BEDROOM/ 3.5 BATH.
 14. WATER & SEWER AS PER CITY OF HAPEVILLE.

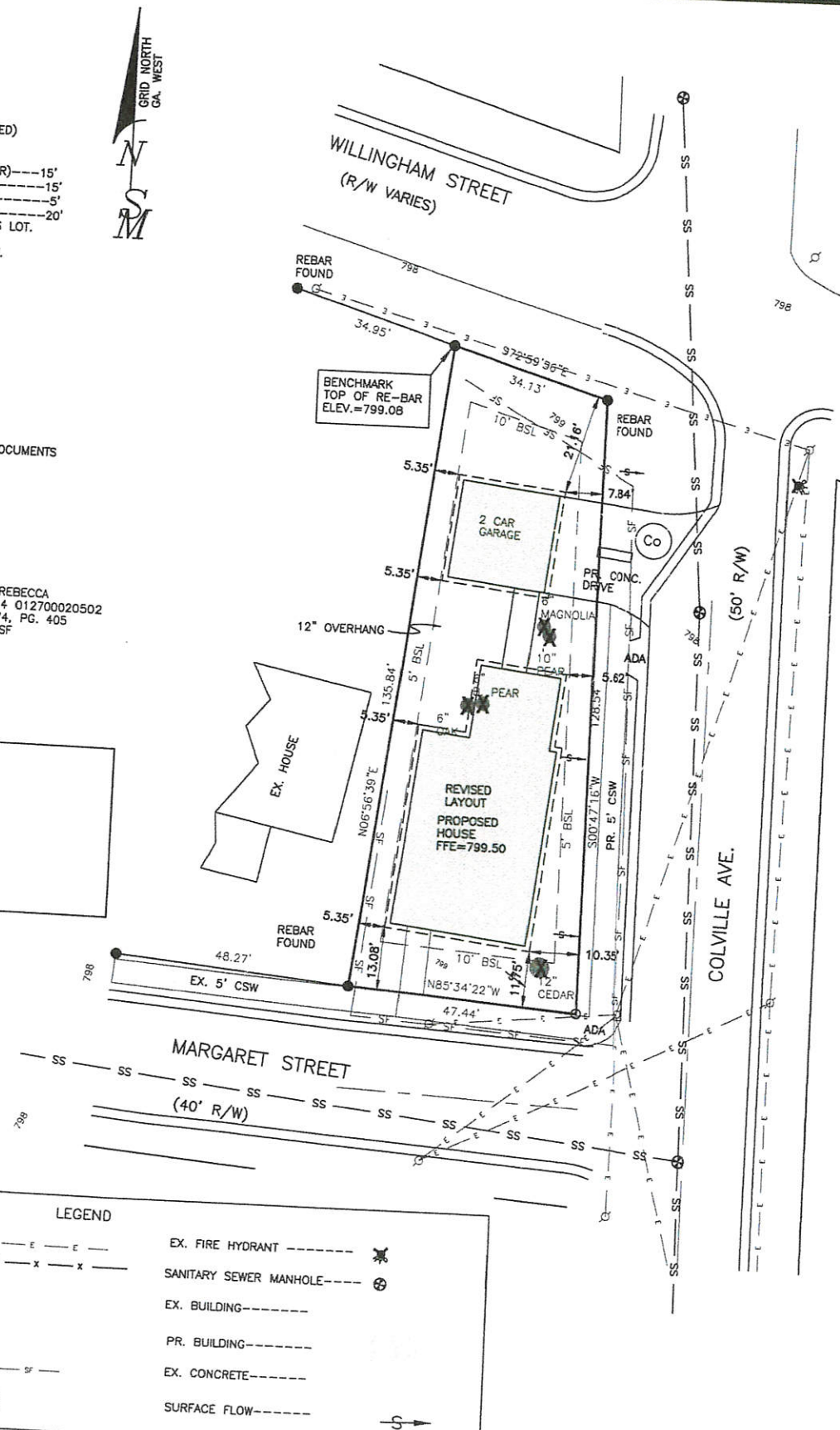
SETBACKS PER PLAT BOOK 259, PAGE 103
FRONT---30' FROM CENTERLINE OF STREET
REAR---10' FROM RIGHT OF WAY
SIDE ---5'

CONSTRUCTION SCHEDULE:
BEGIN CONSTRUCTION: UPON CITY APPROVAL OF DOCUMENTS
FINISH CONSTRUCTION: 8 MONTHS AFTER CITY APPROVAL OF DOCUMENTS
CONTOURS 1' INTERVALS

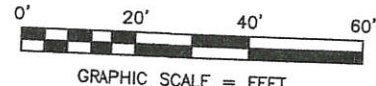
THIS PLAT REPRESENTS A SITE PLAN ONLY
THEREFORE IS NOT FOR RECORDING
MINIMUM OR NO GRADING REQUIRED.

N/F
RAMSEY REBECCA
TAX ID 14 012700020502
DB. 54574, PG. 405
ZONED RSF

FIRST LEVEL HEATED: 1,350 SF
GARAGE---400 SF
FRONT PORCH---230 SF
BACK PORCH---120 SF
FIRST LEVEL GROSS: 2,195 SF.
BREZZEWAY---80 S.F.
SECOND FLOOR HEATED: 1,125 SF.
TOTAL HOUSE GROSS: 3,320 SF.
PROPOSED BUILDING HEIGHT = 32'



LEGEND	
WOODEN POWER POLE ----	EX. FIRE HYDRANT ----
EX. OVERHEAD POWER LINES ----	SANITARY SEWER MANHOLE----
EX. FENCE ----	EX. BUILDING-----
DB. = DEED BOOK	PR. BUILDING-----
PB. = PLAT BOOK	EX. CONCRETE-----
PG. = PAGE	SURFACE FLOW-----
N/F = NOW OR FORMERLY	
EX. = EXISTING	
SILT FENCE ----	
CONSTRUCTION EXIT----	



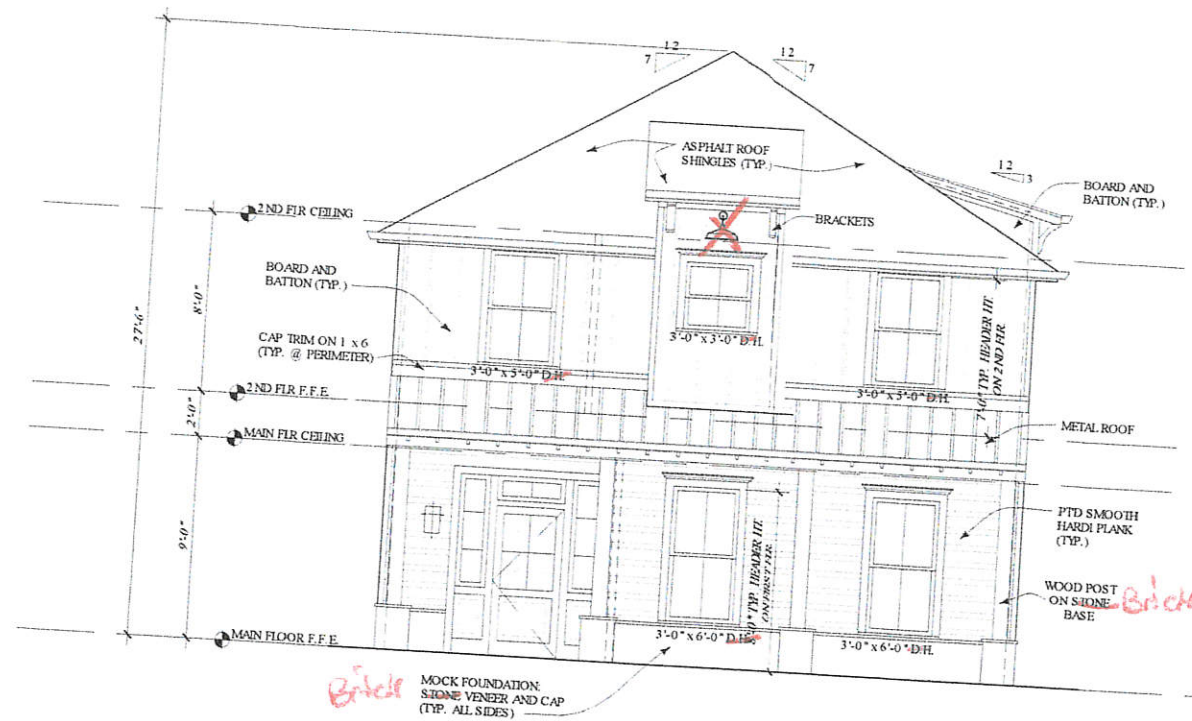
**SIBLEY-MILLER
SURVEYING & PLANNING INC.**
2062 HWY. 42 NORTH
McDONOUGH, GA. 30253
PHONE: (770) 320-7555
FAX: (770) 320-7333
www.sibleysurveying.com

REVISED SITE PLAN
SHORT CONSTRUCTION INC.
LOT 9, VILLAGE WALK
@ VIRGINIA PARK
CITY OF HAPEVILLE
LAND LOT 127, 14th. DISTRICT
FULTON COUNTY, GEORGIA

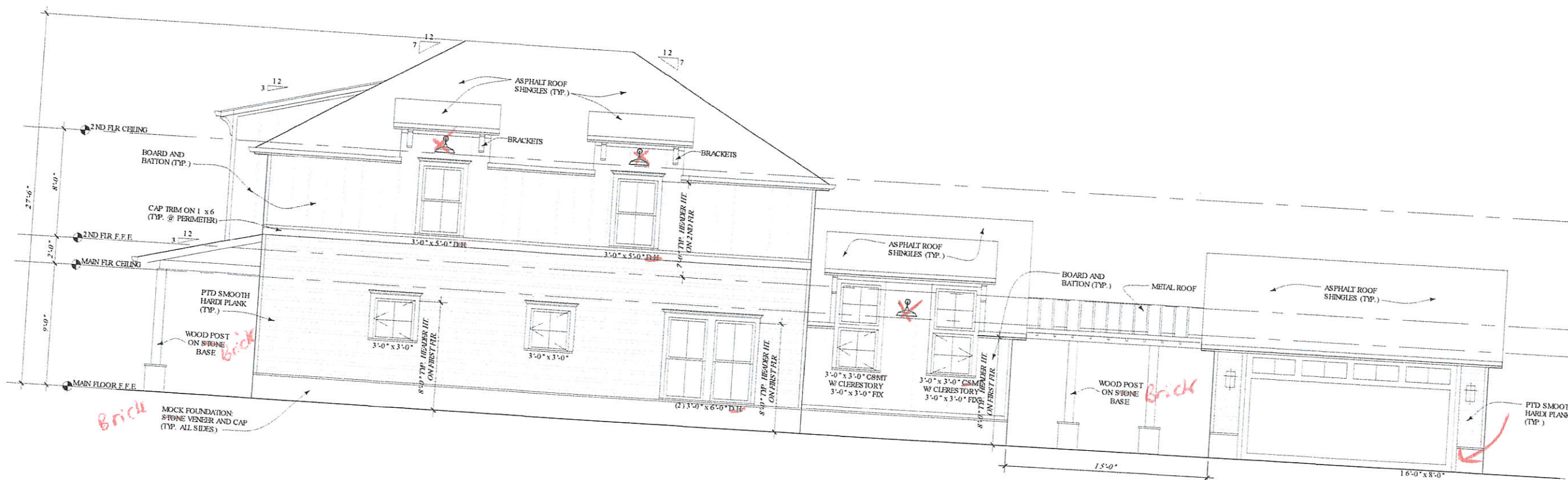


PROJECT NO.: L16158
SITE PLAN
903 MARGAERT
DRAWN BY: LGS/TLM
SCALE: 1" = 20'
DATE: 05-08-2017

AS PER OFFICIAL FLOOD INSURANCE MAPS BY
THE F.E.M.A. THIS PROPERTY IS NOT LOCATED
WITHIN A DESIGNATED FLOOD HAZARD AREA
AS PER COMMUNITY - PANEL NUMBER 13121C0366F
DATED: SEPTEMBER 18, 2013



1 FRONT EXTERIOR ELEVATION
SCALE 1/4" = 1'-0"



2 SIDE EXTERIOR ELEVATION
SCALE 1/4" = 1'-0"

ELEVATION GENERAL NOTES

1. WINDOW SIZES REFER TO SASH SIZES.
2. COORDINATE GRADE HEIGHTS WITH SITE PLAN.

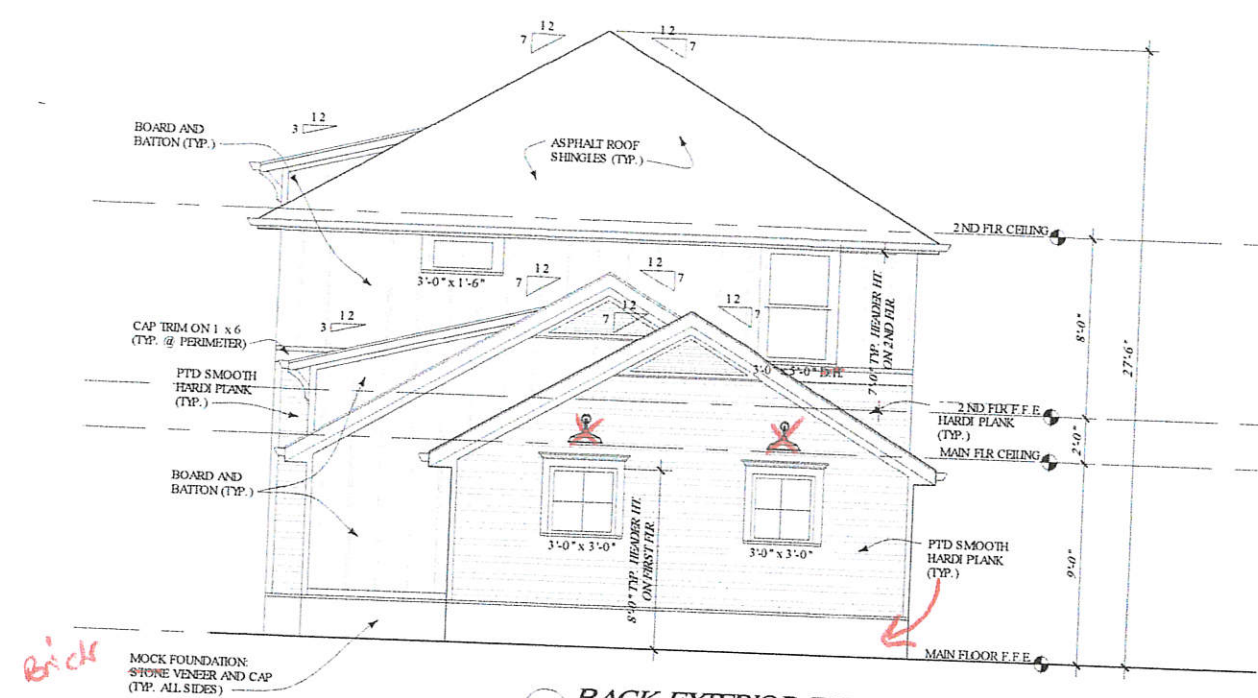
06 DEC 2018 OWNER REVIEW
29 OCT 2018 OWNER REVIEW
19 SEP 2018 OWNER REVIEW
07 AUG 2015 A.R.B. REVIEW
31 JUL 2015 OWNER REVIEW

HAPEVILLE RESIDENCE

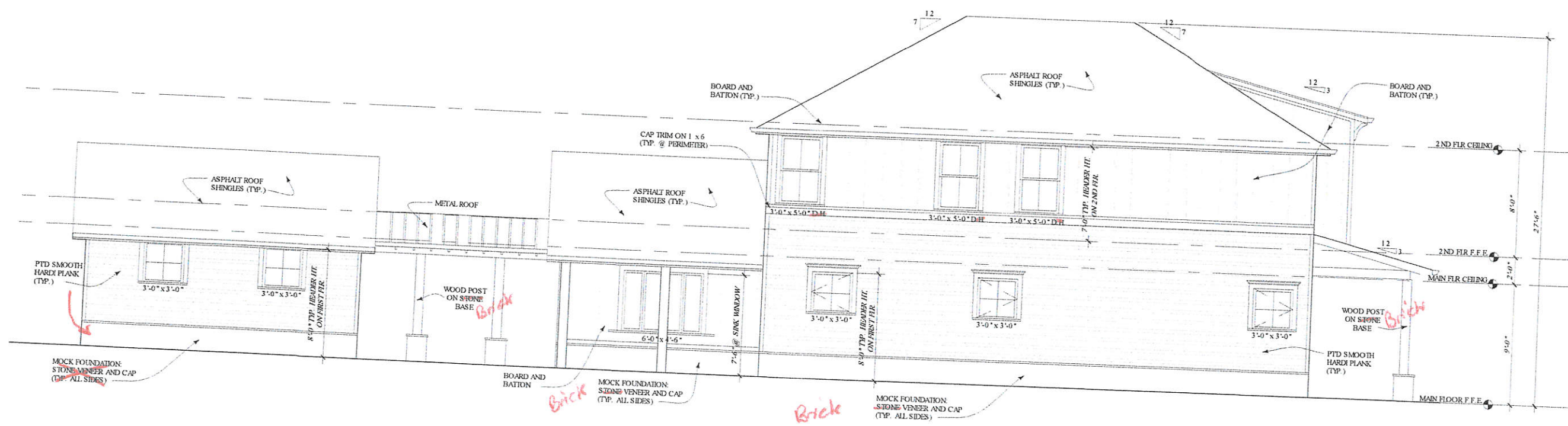
NEW CONSTRUCTION
903 MARGARET STREET.
HAPEVILLE, GA.

JOB NO.

EXTERIOR ELEVATION



1 BACK EXTERIOR ELEVATION
SCALE 1/4" = 1'-0"



2 SIDE EXTERIOR ELEVATION
SCALE 1/4" = 1'-0"

- ELEVATION GENERAL NOTES**
1. WINDOW SIZES REFER TO SASH SIZES.
 2. COORDINATE GRADE HEIGHTS WITH SITE PLAN.

06 DEC 2018 OWNER REVIEW
29 OCT 2018 OWNER REVIEW
19 SEP 2018 OWNER REVIEW
07 AUG 2015 A.R.B. REVIEW
31 JUL 2015 OWNER REVIEW

HAPEVILLE RESIDENCE
NEW CONSTRUCTION
903 MARGARET STREET,
HAPEVILLE, GA.

JOB NO. _____
EXTERIOR ELEVATION



Hapeville, Georgia

Google, Inc.

Street View - Nov 2016

Image capture: Nov 2016 © 2018 Google

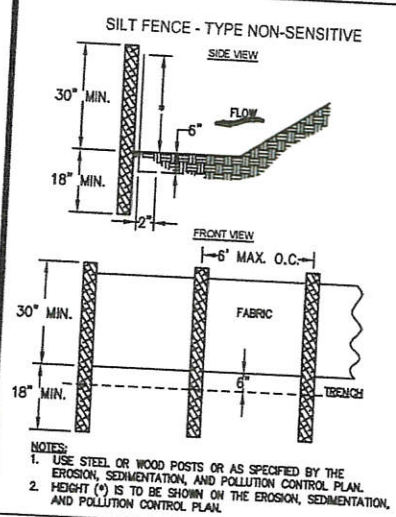
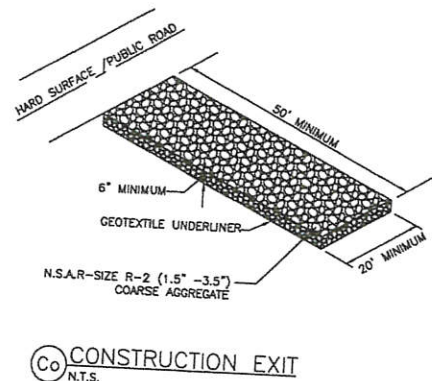


Hapeville, Georgia

Google, Inc.

Street View - Nov 2016

Image capture: Nov 2016 © 2018 Google



TREES TO BE REMOVED X

- GENERAL NOTES:
1. LOT 9, VILLAGE WALK @ VIRGINIA PARK.
 2. ADDRESS: 903 MARGARET STREET.
 3. TAX ID: 14 012700020510
 4. SITE AREA---0.12 AC./5,227 SQ. FT.
 5. SITE ZONED R-SF. (SINGLE FAMILY DETACHED)
 6. MINIMUM LOT SIZE---4,000 SF.
 7. MAXIMUM HEIGHT---35'
 8. MINIMUM FRONT SETBACK (MINOR COLLECTOR)---15'
 9. MINIMUM FRONT SETBACK (MAJOR ARTERIAL)---15'
 10. MINIMUM SIDE SETBACK---5'
 11. MINIMUM REAR SETBACK---20'
 12. THERE IS NO EXISTING STRUCTURES ON THIS LOT.
 13. MINIMUM 4 BEDROOM/ 3.5 BATH.
 14. WATER & SEWER AS PER CITY OF HAPEVILLE.

SETBACKS PER PLAT BOOK 259, PAGE 103
FRONT---30' FROM CENTERLINE OF STREET
REAR---10' FROM RIGHT OF WAY
SIDE ---5'

CONSTRUCTION SCHEDULE:
BEGIN CONSTRUCTION: UPON CITY APPROVAL OF DOCUMENTS
FINISH CONSTRUCTION: 8 MONTHS AFTER CITY APPROVAL OF DOCUMENTS
CONTOURS 1' INTERVALS
THIS PLAT REPRESENTS A SITE PLAN ONLY
THEREFORE IS NOT FOR RECORDING
MINIMUM OR NO GRADING REQUIRED.

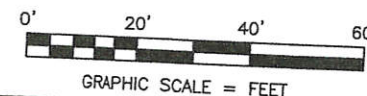
N/F
RAMSEY REBECCA
TAX ID 14 012700020502
DB. 54574, PG. 405
ZONED RSF

FIRST LEVEL HEATED: 1,350 SF
GARAGE---400 SF
FRONT PORCH---230 SF
BACK PORCH---120 SF
FIRST LEVEL GROSS: 2,195 SF.
BREEZEWAY---80 S.F.
SECOND FLOOR HEATED: 1,125 SF.
TOTAL HOUSE GROSS: 3,320 SF.
PROPOSED BUILDING HEIGHT = 32'

● = shrubs
● = evergreen tree
● = Flowering tree

LEGEND	
WOODEN POWER POLE	---
EX. OVERHEAD POWER LINES	---
EX. FENCE	---
DB. = DEED BOOK	
PB. = PLAT BOOK	
PG. = PAGE	
N/F = NOW OR FORMERLY	
EX. = EXISTING	
SILT FENCE	---
CONSTRUCTION EXIT	Co
EX. FIRE HYDRANT	---
SANITARY SEWER MANHOLE	---
EX. BUILDING	---
PR. BUILDING	---
EX. CONCRETE	---
SURFACE FLOW	---

AS PER OFFICIAL FLOOD INSURANCE MAPS BY THE F.E.M.A. THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA AS PER COMMUNITY - PANEL NUMBER 13121C0366F
DATED: SEPTEMBER 18, 2013



SIBLEY-MILLER
SURVEYING & PLANNING INC.

2062 HWY. 42 NORTH
McDONOUGH, GA. 30253
PHONE: (770) 320-7555
FAX: (770) 320-7333
www.sibleysurveying.com

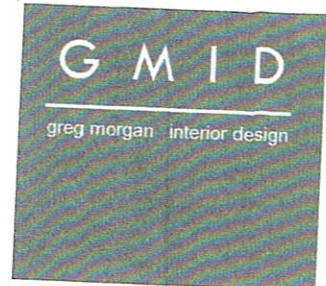
REVISED SITE PLAN
SHORT CONSTRUCTION INC.
LOT 9, VILLAGE WALK
@ VIRGINIA PARK
CITY OF HAPEVILLE
LAND LOT 127, 14th DISTRICT
FULTON COUNTY, GEORGIA



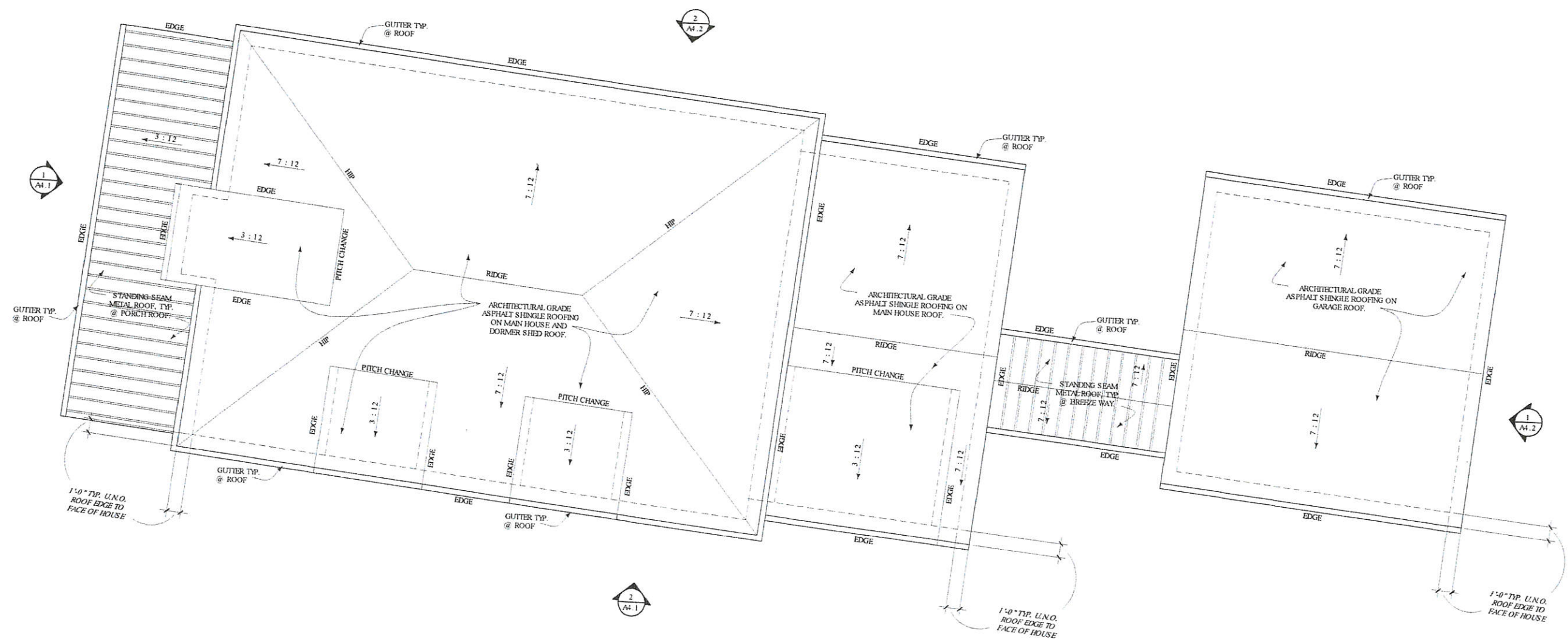
PROJECT NO.: L16158
SITE PLAN
903 MARGAERT

DRAWN BY: LGS/TLM
SCALE: 1" = 20'

DATE: 05-08-2017



- GEN. NOTES
- 1. DIMENSIONS ARE TO FACE OF WOOD FRAMING.
 - 2. GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL STRUCTURAL INFORMATION & FOR OBTAINING STRUCTURAL ENGINEERING IF NECESSARY.



08 DEC 2018 OWNER REVIEW
06 DEC 2018 OWNER REVIEW

HAPEVILLE RESIDENCE
NEW CONSTRUCTION
903 MARGARET STREET,
HAPEVILLE, GA.

JOB NO.

ROOF PLAN

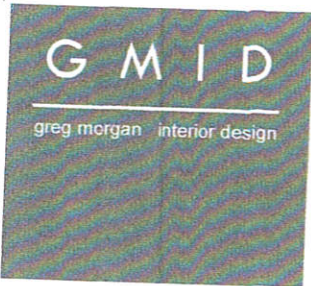
1 ROOF PLAN
SCALE: 1/4" = 1'-0"

A3

LEGEND

- NEW WOOD FRAMED WALL
- SD HARDWIRED SMOKE DETECTOR
- CM HARDWIRED CARBON MONOXIDE / SMOKE DETECTOR

- GEN. NOTES**
- DOORS @ MAIN LEVEL TO BE 8'-0" HIGH U.N.O.
 - DIMENSIONS ARE TO FACE OF WOOD FRAMING. EXCEPT CABINETRY IS SHOWN IN FINISHED SIZES.
 - SEE EXTERIOR ELEVATIONS FOR EXTERIOR DOOR & WINDOW INFORMATION.
 - VERIFY REQUIRED FIRE-SAFETY CLEARANCES.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL STRUCTURAL INFORMATION & FOR OBTAINING STRUCTURAL ENGINEERING IF NECESSARY.



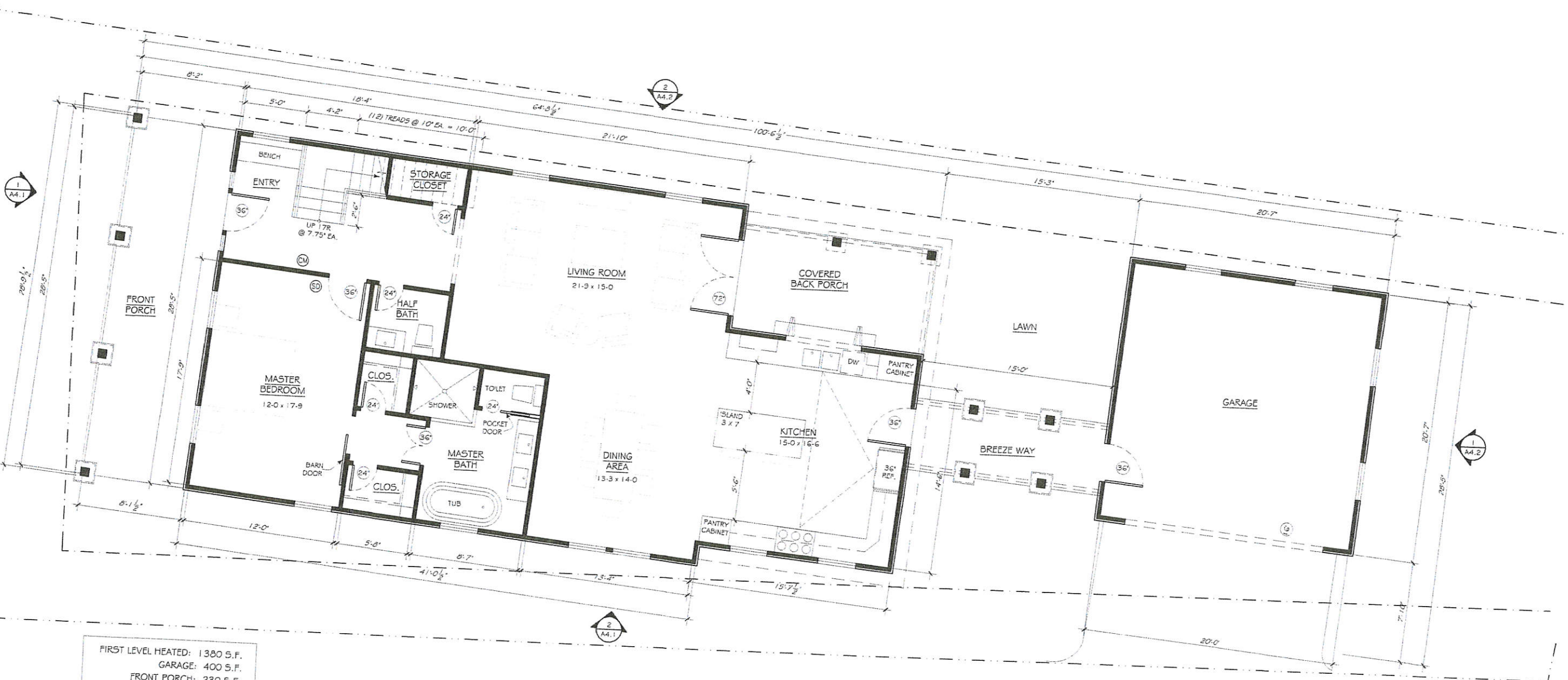
- 06 DEC 2018 OWNER REVIEW
- 29 OCT 2018 OWNER REVIEW
- 12 SEP 2018 PROGRESS REVIEW
- 20 JUL 2018 OWNER REVIEW
- 17 JUL 2018 OWNER REVIEW
- 07 AUG 2015 A.R.B. REVIEW
- 31 JUL 2015 OWNER REVIEW

HAPEVILLE RESIDENCE
 NEW CONSTRUCTION
 903 MARGARET STREET, HAPEVILLE, GA.

JOB NO.
GROUND FLOOR PLAN

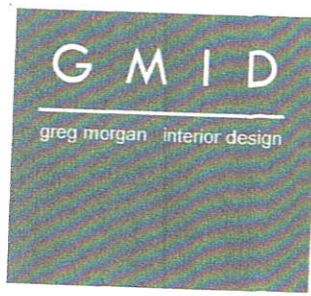
1 MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"

FIRST LEVEL HEATED: 1380 S.F.
 GARAGE: 400 S.F.
 FRONT PORCH: 230 S.F.
 BACK PORCH: 125 S.F.
 BREEZEWAY: 85 S.F.
 FIRST LEVEL GROSS: 2220 S.F.
 (PLUS)
 2ND LEVEL HEATED: 1125 S.F.
 TOTAL HOUSE GROSS: 3345 S.F.



LEGEND	
	NEW WOOD FRAMED WALL
	HARDWIRED SMOKE DETECTOR
	HARDWIRED CARBON MONOXIDE / SMOKE DETECTOR

- GEN. NOTES**
- DOORS @ SECOND LEVEL TO BE 7'-0" HIGH U.O.
 - DIMENSIONS ARE TO FACE OF WOOD FRAMING. EXCEPT CABINETRY IS SHOWN IN FINISHED SIZES.
 - SEE EXTERIOR ELEVATIONS FOR EXTERIOR DOOR & WINDOW INFORMATION
 - VERIFY REQUIRED FIRE-SAFETY CLEARANCES
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL STRUCTURAL INFORMATION & FOR OBTAINING STRUCTURAL ENGINEERING IF NECESSARY.



- 06 DEC 2018 OWNER REVIEW
- 29 OCT 2018 OWNER REVIEW
- 12 SEP 2018 PROGRESS REVIEW
- 20 JUL 2018 OWNER REVIEW
- 07 AUG 2015 A.R.B. REVIEW
- 31 JUL 2015 OWNER REVIEW

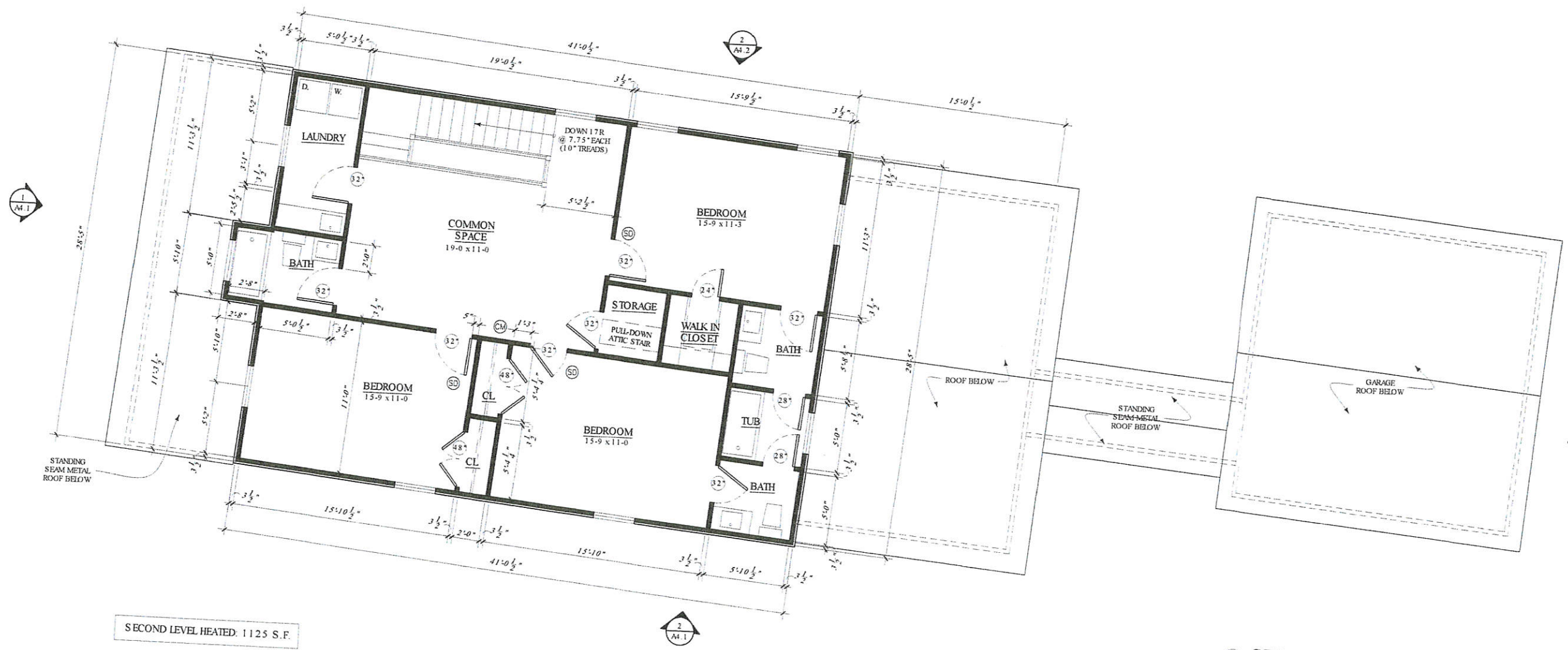
HAPEVILLE
RESIDENCE

NEW CONSTRUCTION
903 MARGARET STREET.
HAPEVILLE, GA.

SECOND
FLOOR PLAN

1 SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

A2



SECOND LEVEL HEATED: 1125 S.F.



A0



PLANNER'S REPORT

TO: Tonya Hutson
FROM: Lynn Patterson
RE: Design Review for 3290 North Whitney Avenue
DATE: 1/10/2019

BACKGROUND

The City received a design review application from Samuel Kirkland requesting new construction of a two-story, 2880 sf, 4 bed, 3 bath single family residence with a 400 sf 2 car detached garage at the rear of the dwelling at 3290 North Whitney Avenue, Hapeville. The property is zoned R-1, One-Family Detached and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

The exterior will be cement fiber siding with brick column bases and will have a concrete driveway.

CODE

Sec. 81-1-7. - Neighborhood conservation area.

(a) Site development standards.

- ✓ Except where indicated, setbacks shall be established by zoning.
- On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.
- ✓ Minimum building heights shall be established by zoning.

Within subareas D and E maximum building heights shall be as established by zoning, except that:

- Where this chapter provides a more-stringent standard as compared to the zoning code, the more-stringent standard shall prevail. The only exception to this shall be a use grandfathered under the zoning code.
- Portions of buildings equal to or less than five feet from a side or rear lot line shall be limited in height to the greater of 16 feet.
- Portions of buildings between five and ten feet of a side or rear lot line shall be limited in height to the greater of 25 feet.
- Portions of buildings ten) feet or greater from a side or rear lot line shall be limited in height to 35 feet.

5. Outside of subareas D and E maximum building heights shall be as established by zoning.

- ✓ All buildings shall provide first-story occupiable space, for the first ten feet of building depth along the enfronting facade.
- ✓ Sidewalks shall be located along all public and private streets. Sidewalks shall consist of two areas: a landscape area and a clear area.
- ✓ Developments less than one acre shall provide a minimum one-foot landscape zone and a minimum four-foot clear zone.

(b) *Supplemental area and fence standards.*

- ✓ Developments shall locate landscape supplemental areas adjacent to first-story residential uses and place a minimum of one tree every 50 feet in the supplemental area. See list of allowed trees in [section 93-2-14](#).
- ✓ Chain link fencing is not permitted in areas visible from a public right-of-way.
- On all lots a fence, wall, curb or hedge between six and 48 inches in height is encouraged at the back of the required sidewalk, except at openings to access steps, drives or pedestrian walkways.

Note: Neighbor's fence encroaches 4' into property.

(c) *Utility standards.*

- ✓ Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.
- When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may be provided as long as it is properly shielded and does not become an annoyance to adjacent property owners or the public. General area illumination with oversized flood lights is prohibited. Specifically, lighting shall be shielded so that the source of light is not visible from adjacent properties or the public right-of-way.
- ✓ Trees shall not be planted directly above storm drains.

Front light should be shown.

(d) *Parking and traffic standards.*

1. One-family detached dwellings and two-family dwellings shall meet the following requirements:
 - Driveways shall have a minimum width of nine feet and a maximum width of 15 feet. A grass strip in the middle of driveways is encouraged.
 - ✓ On-site parking shall be prohibited in the supplemental areas. This shall not be interpreted as restricting on-street parking located along a public street.
 - ✓ Garage access on single-family lots shall be prohibited in the front yard of the home.

Driveway dimensions not provided.

(e) *Roof and chimney standards.*

- ✓ Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty. *50-year architectural shingles.*
- ✓ Roof shingles shall be slate, cedar, or asphalt.
- Gutters shall be copper, aluminum or galvanized steel.
- Downspouts shall match gutters in material and finish.
- ✓ Roof forms shall be based on architectural style.
- ✓ All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- ✓ Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.

Gutter materials should be shown.

(f) *Street facing facade and style standards.*

1. Exterior facade materials shall be limited to:

- ✓ Full-depth brick;
Natural or cast stone;
 - ✓ Smooth natural-wood siding and/or cement-based siding;
Shake siding;
Painted fish-scale style shingles, but only when used in front gables;
True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
2. Exterior building materials shall not be:
- Simulated brick veneer, such as Z-Brick;
 - Exterior insulation and finish systems (EIFS);
 - Exposed concrete block;
 - Metal siding or other metal exterior treatment;
 - Glass curtain walls;
 - Liquid vinyl;
 - T-1-11 siding;
 - Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior façade may replace said siding or construct an addition faced in vinyl siding.
- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
 - ✓ Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11.
 - ✓ Foundations shall be constructed as a distinct building element that contrasts with façade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
 - ✓ All exterior stair risers visible from a street shall be enclosed.
 - ✓ Porches, stoops, and balconies may be located in the front or side yard.
 - ✓ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
 - Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
 - Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
 - ✓ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
 - ✓ Porch and stoop foundations shall be enclosed.
 - Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
 - ✓ Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
 - ✓ When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
 - ✓ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
 - Enfronting porches may have multistory verandas, living space, or balconies above.
 - ✓ Porch columns shall be spaced a maximum distance of eight feet on center.

- ✓ Front porch columns shall have foundation piers extending to grade.
- ✓ All porches shall be covered.

Porch materials should be provided.

Railing dimensions should be provided.

Porch finishes should be provided.

(g) Door and window standards.

- ✓ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- ✓ Doors that operate as sliders are prohibited along enfronting facades.
- ✓ Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- ✓ Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- ✓ Where used, window shutters shall match one-half the width of the window opening.
- ✓ Painted window or door glass is prohibited.
- ✓ Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- ✓ Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- ✓ Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.
- ✓ Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- ✓ Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

Walkway should be included in the plan.

Building numbers should be provided.

Ensure there are no GBGs.

(h) Detached one-family dwellings/two-family dwellings. In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.

- ✓ First stories. First stories shall be elevated above the grade between two and four feet, unless existing topography is greater or unless wheelchair access is desired and cannot be provided from the side or rear.
- Window sills. Enfronting first story window sills should be no less than two and one-half feet and no more than three and one-half feet above finished floor elevation.

Window sill heights should be provided.

4. Architectural style. Architecture is one of the most critical components of place, and nowhere is this more evident than on building facades. The design and character of street-facing facades is a reflection of both buildings and their users, and must be carefully considered for its impact on the overall sense of place.

New homes in the neighborhood conservation area should be designed to reflect the principal traditional styles found in the community. These include national folk, Queen Anne, ranch, Tudor revival, craftsman, and minimal traditional styles.

These styles, however, do not reflect the only styles historically found in Hapeville, which also includes a few occurrences of neocolonial revival. Where an applicant desires to utilize a style historically found in Hapeville, but not reflected in the six principal styles identified in subsections (4)a. through (4)e., they shall provide the design review committee with photo documentation of the relevant style in Hapeville, a description of the key features of such style, and written justification of such style's appropriateness for the community.

c. Craftsman.

Craftsman homes may include:

- ✓ A rectangular building footprint, with the short end facing a street.
Gabled roofs having gables with a minimum pitch of 20 and a maximum pitch of 40 degrees from horizontal and with roof lines running parallel or perpendicular to the street.
Decorative beams, brackets or braces under gables.
Exposed roof rafters where roofs overhang.
- ✓ Optional dormers.
- ✓ Windows that are taller than they are wide.
- ✓ Equal height windows along a single floor.
- ✓ Symmetrical or asymmetrical front facade.
- ✓ A front porch extending the entire width of the building or with a width of one-half of the building. Said porch shall include square columns that taper from bottom to top, but are not less than eight inches thick. Said columns shall be set atop stone or masonry bases extended to the ground. They may include optional square or rectangular balusters and handrails.

Outbuildings. In conventional development, outbuildings are often designed and located as an afterthought. Yet in traditional towns and cities, outbuildings serve to enrich the quality of design through their placement, design and use. In Hapeville, where outbuildings are provided on many residential lots, their design must be to the same high standards found in the community's neighborhoods.

The following standards shall apply to construction of new outbuildings in residential districts.

- ✓ On lots with one street frontage, set outbuildings back at least 15 feet behind the front facade of the principal building.
- On corner lots, outbuildings should be setback at least 15 feet behind the front façade of the principal building and with a setback greater than or equal to that of the façade along the side lot line.
Outbuilding may be linked to the principal building with covered walks, trellises or enclosed breezeway.

- Outbuildings shall be of compatible material and architectural style to the principal building.
- Outbuildings shall have a minimum height of 14 feet and a maximum height of that of the principal building or 25 feet, whichever is less.
- Outbuildings shall be set a minimum of ten feet from any other outbuilding on adjoining lots.

Applicant should provide plans for outbuilding.

Applicate should verify if outbuilding is at least ten feet from the adjoining lot.

RECOMMENDATIONS

The site plan is being reviewed through the Planning Commission on 1/16. The planner's report indicated all setbacks and height requirements have been met.

Items marked checked mean they are included in the application and compliant. Items marked with an open circle mean items have not been included or are not clearly illustrated. Underlined areas indicate potential or actual lack of compliance. Items marked with a closed circle mean they are not applicable. The builder is responsible to adhere to all architectural design standards as defined.

Upon review of the information provided by the Applicant, the following items have been found to be missing or deficient and should be addressed:

- **Front light should be shown.**
- **Driveway dimensions not provided.**
- **Gutter materials should be shown.**
- **Porch materials should be provided.**
- **Railing dimensions should be provided.**
- **Porch finishes should be provided.**
- **Walkway should be included in the plan.**
- **Building numbers should be provided.**
- **Ensure there are no GBGs.**
- **Window sill heights should be provided.**
- **Applicant should provide plans for outbuilding.**
- **Applicate should verify if outbuilding is at least ten feet from the adjoining lot.**

Once these items are addressed to the satisfaction of Staff/The Design Review Committee, the application can be approved.

CITY OF HAPEVILLE DESIGN REVIEW APPLICATION

SUBMITTAL DATE: 12/19/18

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: SAMUEL H. KIRKLAND Contact Number: [REDACTED]

Applicants Address: 260 Emily Drive, Lilburn, GA 30047

E-Mail: [REDACTED] Zoning Classification: RSF

Address of Proposed Work: 3290 NORTH WHITNEY Avenue

Parcel ID# (INFORMATION MUST BE PROVIDED): 14009800160337

Property Owner: JANN LEVESQUE Contact Number: [REDACTED]

Project Description (including occupancy type): BUILD NEW SINGLE FAMILY HOME WITH DETACHED GARAGE. 4 BED ROOMS, 3 BATH ROOMS

Contractors Name: SAM KIRKLAND Contact Number: [REDACTED]

Contact Person: SAM KIRKLAND Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

Applicants Signature

Date

12/18/18

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building
☐ Addition to Existing Residential Structure ☐ Accessory Structure
☐ Site Plan, Grading & Landscaping ☒ New Single Family Residential Construction
☐ Other

Total Square Footage of proposed New Construction: 2887

Total Square Footage of existing building: _____

Estimated Cost of Construction: \$244,125

List/Describe Building Materials on the exterior of the existing structure: N/A

List/Describe Building Materials proposed for the exterior facade of the new structure: _____

BRICKS AT FOUNDATION, CEMENT FIBER
SIDING, DOUBLE PANE LOWE WOOD WINDOWS,
50 YEAR ARCHITECTURAL SHINGLES.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOR_CH81ARDEST

☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.

☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.

☐ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.

☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.

☒ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.

☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

Samuel H. Kirkland [Signature] 12/18/18
Printed Name Signature Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

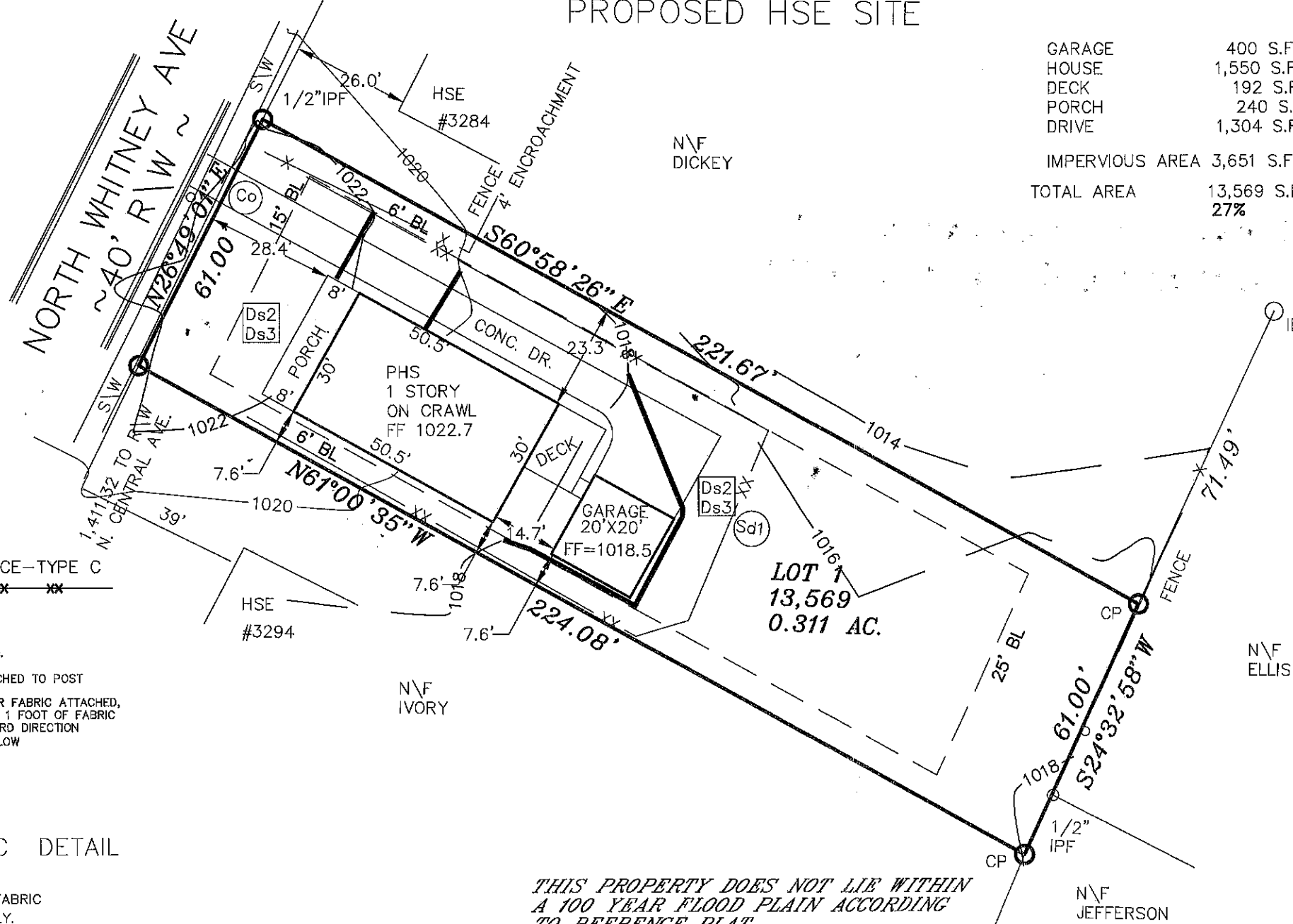
I SAMUEL H. KIRKLAND  swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.

LEGAL DESCRIPTION OF PROPERTY

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 98 OF THE 14TH DISTRICT OF FULTON COUNTY, CITY OF HAPEVILLE, GEORGIA, BEING LOT 1, AS PER SURVEY PREPARED FOR RACHEL TRAMMELL, RECORDED IN PLAT BOOK 305, PAGE 17, FULTON COUNTY, GEORGIA RECORDS, SAID PLAT IS INCORPORATED HEREIN BY REFERENCE THERETO.



PROPOSED HSE SITE



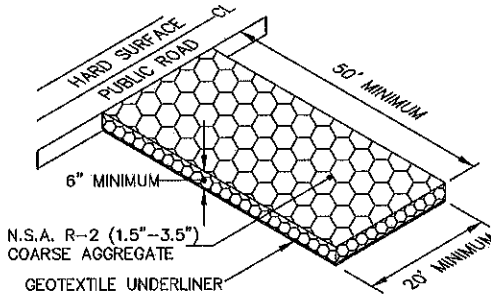
GARAGE	400 S.F.
HOUSE	1,550 S.F.
DECK	192 S.F.
PORCH	240 S.F.
DRIVE	1,304 S.F.
IMPERVIOUS AREA	3,651 S.F.
TOTAL AREA	13,569 S.F.
	27%

ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHTS-OF-WAY PUBLIC OR PRIVATE.

NO DETERMINATION OF FLOOD HAZARD HAS BEEN MADE FOR THIS PROPERTY BY THIS SURVEYOR.

NOTE: PROPERTY LINES SHOWN ON THIS SURVEY/PLAT REPRESENT PHYSICAL FIELD CONDITIONS BY EVIDENCE OF APPARENT POSSESSION (IRON PINS FOUND, OLD & ESTABLISHED FENCE LINES, OLD WALL LINES, SHRUB & HEDGE LINE, HOUSE LOCATIONS, ETC.) THEY MAY DIFFER AND BE IN CONTENTION FROM EVIDENCE FOUND AT THE APPLICABLE COUNTY COURTHOUSE. THEY MAY ALSO DIFFER FROM OTHER SURVEYOR OPINIONS AND/OR NEIGHBORS SURVEYS/PLATS. A FULL LAND TITLE REPORT OPINION ON ALL PROPERTIES, INCLUDING ADJACENT AND CONTIGUOUS PROPERTIES MAY BE NEEDED TO RESOLVE ALL POSSIBLE PROPERTY LINE DISPUTES OR DISCREPANCIES.

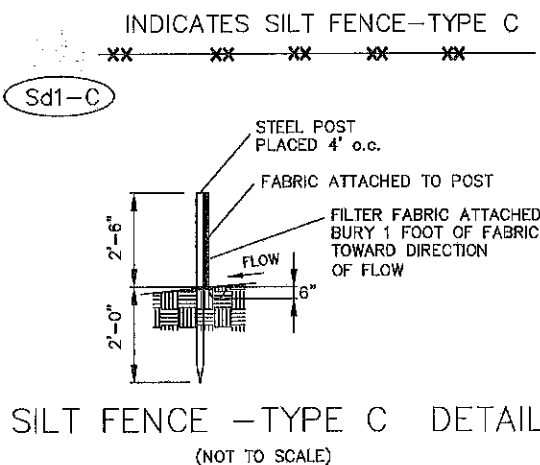
THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY. THIS SURVEY IS SUBJECT TO REVISIONS AND UPDATE UPON RECEIPT OF SAID TITLE COMMITMENT.



(Co) CRUSHED STONE CONSTRUCTION EXIT
NOT TO SCALE

EROSION CONTROL LEGEND

Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1	A. TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS



SILT FENCE -TYPE C DETAIL
(NOT TO SCALE)

NOTE: USE D.O.T. APPROVED FABRIC
USE STEEL POSTS- ONLY.

THIS PROPERTY DOES NOT LIE WITHIN
A 100 YEAR FLOOD PLAIN ACCORDING
TO REFERENCE PLAT.

PREPARED FOR:
JANN LEVESQUE

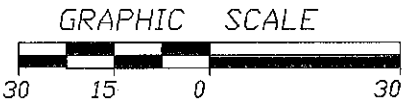
IN MY OPINION THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.

UBDIVISION:	NORTH WHITNEY AVE	P.B.305	Pg.17
LOT:	1	LAND LOT:	98
LOCK:		DISTRICT:	14TH
DATE:	12/14/18	REV:	
SCALE:	1" = 30'	COUNTY:	fulton, GA
		JOB NO.:	NORTHWHI

SAWHNEY AND ASSOCIATES
523 HASTINGS DR PH.# (678)-500-4356



UTILITIES PROTECTION CENTER
Call FREE
IN METRO ATLANTA
325-5000
THROUGHOUT GEORGIA
1-800-282-7411
THREE WORKING DAYS BEFORE YOU DIG

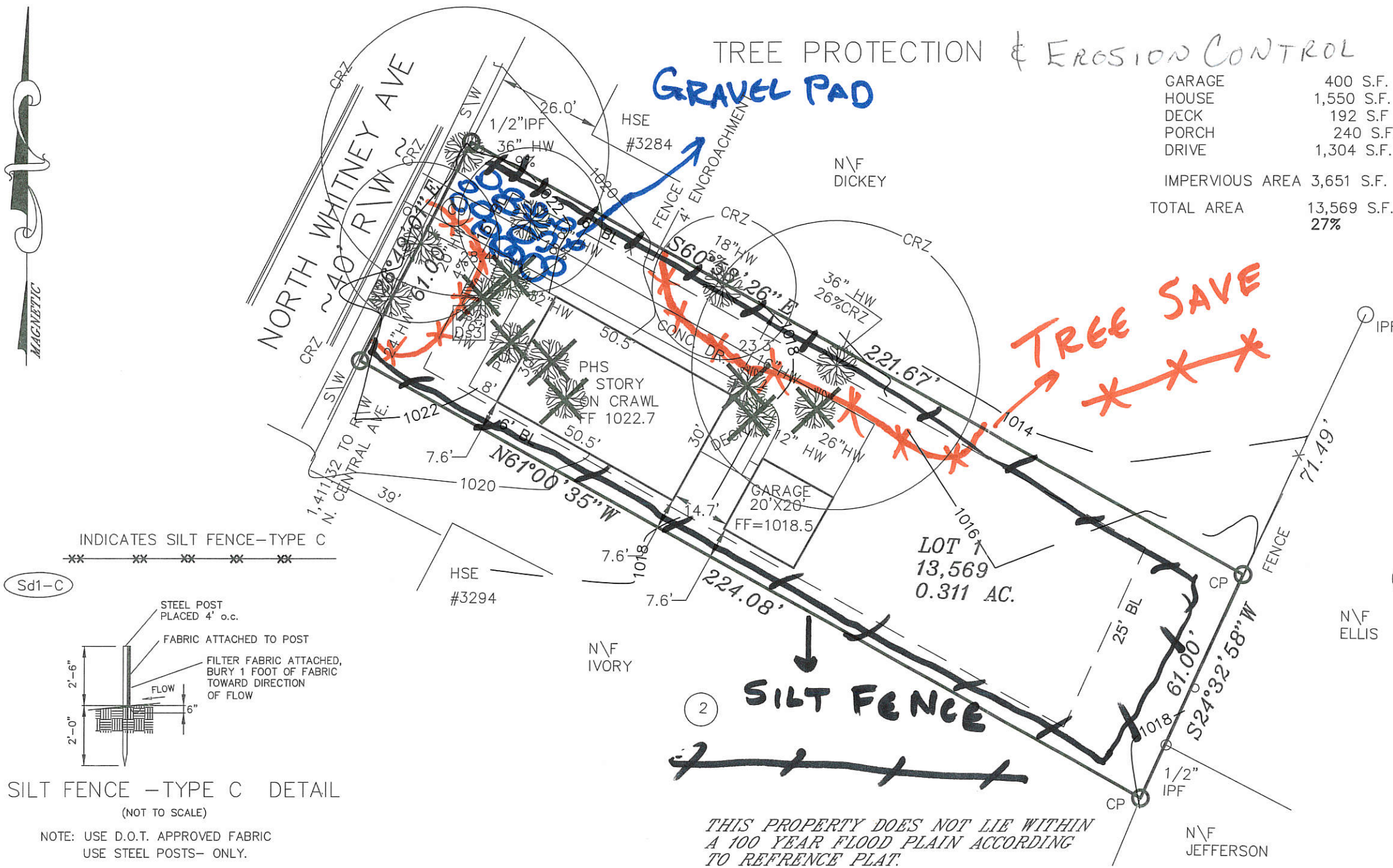


LEGEND

IPF=IRON PIN FOUND
IPS=IRON PIN SET
R/W=RIGHT OF WAY
MAG= MAGNETIC
P.O.B.=POINT OF BEGINNING
B/L=BUILDING LINE
D.E.=DRAINAGE EASEMENT
N/F=NOW OR FORMERLY
P = PREVIOUS
E = EXISTING
P/P = POWER POLE

CLOSURE DATA

FIELD CLOSURE=1\"/>

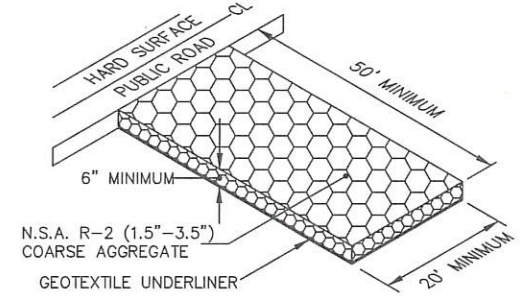


ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHTS-OF-WAY PUBLIC OR PRIVATE.

NO DETERMINATION OF FLOOD HAZARD HAS BEEN MADE FOR THIS PROPERTY BY THIS SURVEYOR.

NOTE: PROPERTY LINES SHOWN ON THIS SURVEY/PLAT REPRESENT PHYSICAL FIELD CONDITIONS BY EVIDENCE OF APPARENT POSSESSION (IRON PINS FOUND, OLD & ESTABLISHED FENCE LINES, OLD WALL LINES, SHRUB & HEDGE LINE, HOUSE LOCATIONS, ETC.) THEY MAY DIFFER AND BE IN CONTENTION FROM EVIDENCE FOUND AT THE APPLICABLE COUNTY COURTHOUSE. THEY MAY ALSO DIFFER FROM OTHER SURVEYOR OPINIONS AND/OR NEIGHBORS SURVEYS/PLATS. A FULL LAND TITLE REPORT OPINION ON ALL PROPERTIES, INCLUDING ADJACENT AND CONTIGUOUS PROPERTIES MAY BE NEEDED TO RESOLVE ALL POSSIBLE PROPERTY LINE DISPUTES OR DISCREPANCIES.

THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY. THIS SURVEY IS SUBJECT TO REVISIONS AND UPDATE UPON RECEIPT OF SAID TITLE COMMITMENT.



(Co) CRUSHED STONE CONSTRUCTION EXIT
NOT TO SCALE

EROSION CONTROL LEGEND

Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1	A. TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS

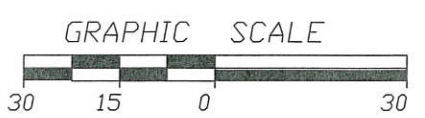
LEGEND

IPF=IRON PIN FOUND
IPS=IRON PIN SET
R/W=RIGHT OF WAY
MAG= MAGNETIC
P.O.B.=POINT OF BEGINNING
B/L=BUILDING LINE
D.E.=DRAINAGE EASEMENT
N/F=NOW OR FORMERLY
P = PREVIOUS
E = EXISTING
P/P = POWER POLE

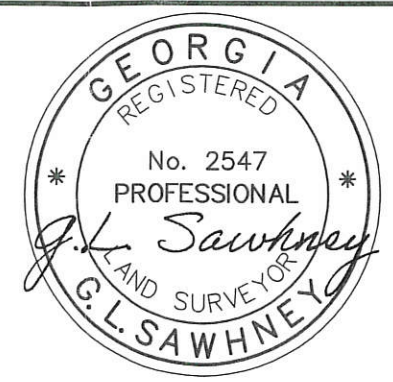
CLOSURE DATA

FIELD CLOSURE=1'IN 10,000+
ANGLE POINT ERROR=< 20"
EQUIPMENT USED=E.D.M. & THEODOLITE
ADJUSTMENT METHOD=COMPASS RULE
PLAT CLOSURE=1'IN 100,000+

UTILITIES PROTECTION CENTER
Call FREE
IN METRO ATLANTA
325-5000
THROUGHOUT GEORGIA
1-800-282-7411
THREE WORKING DAYS BEFORE YOU DIG



PREPARED FOR:		IN MY OPINION THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.	
JANN LEVESQUE			
SUBDIVISION: NORTH WHITNEY AVE		P.B.305	Pg.17
LOT: 1	LAND LOT: 98	DATE: 12/14/18	
BLOCK:	DISTRICT: 14TH	REV:	
SCALE: 1" = 30'	COUNTY: fulton, GA	JOB NO: NORTHWHI	
SAWHNEY AND ASSOCIATES 523 HASTINGS DR PH.# (678)-500-4356			
SHEET 2 OF 2			



LANDSCAPE PLAN
PROPOSED HSE SITE

GARAGE 400 S.F.
HOUSE 1,550 S.F.
DECK 192 S.F.
PORCH 240 S.F.
DRIVE 1,304 S.F.

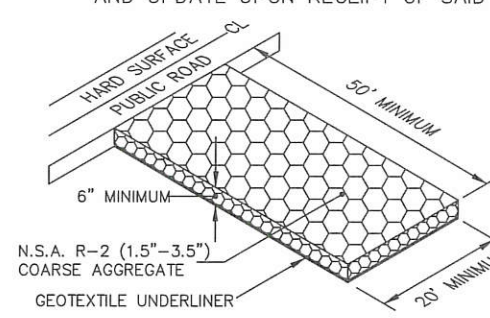
IMPERVIOUS AREA 3,651 S.F.
TOTAL AREA 13,569 S.F.
27%

ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHTS-OF-WAY PUBLIC OR PRIVATE.
NO DETERMINATION OF FLOOD HAZARD HAS BEEN MADE FOR THIS PROPERTY BY THIS SURVEYOR.
NOTE: PROPERTY LINES SHOWN ON THIS SURVEY/PLAT REPRESENT PHYSICAL FIELD CONDITIONS BY EVIDENCE OF APPARENT POSSESSION (IRON PINS FOUND, OLD & ESTABLISHED FENCE LINES, OLD WALL LINES, SHRUB & HEDGE LINE, HOUSE LOCATIONS, ETC.) THEY MAY DIFFER AND BE IN CONTENTION FROM EVIDENCE FOUND AT THE APPLICABLE COUNTY COURTHOUSE. THEY MAY ALSO DIFFER FROM OTHER SURVEYOR OPINIONS AND/OR NEIGHBORS SURVEYS/PLATS. A FULL LAND TITLE REPORT OPINION ON ALL PROPERTIES, INCLUDING ADJACENT AND CONTIGUOUS PROPERTIES MAY BE NEEDED TO RESOLVE ALL POSSIBLE PROPERTY LINE DISPUTES OR DISCREPANCIES.
THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY. THIS SURVEY IS SUBJECT TO REVISIONS AND UPDATE UPON RECEIPT OF SAID TITLE COMMITMENT.

XXX - AZALEAS OR OTHER SHRUBS
XXX - MECH SCREENING

GRASS AREAS

GRASS AREAS



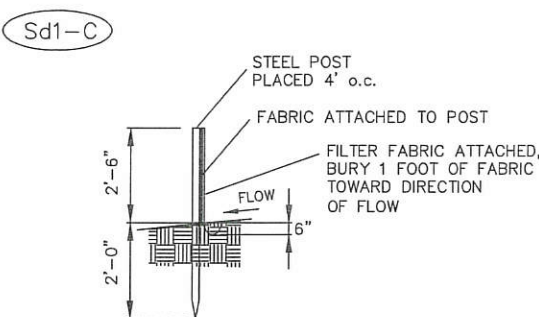
(Co) CRUSHED STONE CONSTRUCTION EXIT
NOT TO SCALE

EROSION CONTROL LEGEND

Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1	A. TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS

THIS PROPERTY DOES NOT LIE WITHIN A 100 YEAR FLOOD PLAIN ACCORDING TO REFERENCE PLAT.

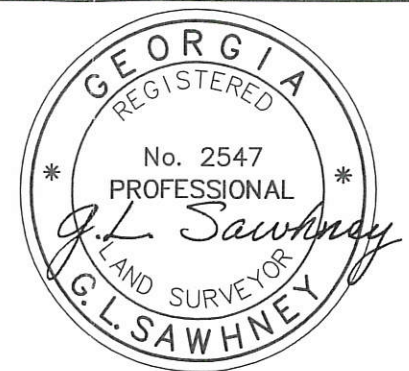
INDICATES SILT FENCE-TYPE C



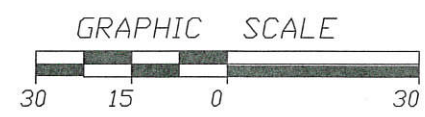
SILT FENCE -TYPE C- DETAIL
(NOT TO SCALE)

NOTE: USE D.O.T. APPROVED FABRIC
USE STEEL POSTS- ONLY.

PREPARED FOR: JANN LEVESQUE		IN MY OPINION THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.	
SUBDIVISION: NORTH WHITNEY AVE		P.B.305	Pg.17
LOT: 1	LAND LOT: 98	DATE: 12/14/18	
LOCK:	DISTRICT: 14TH	REV:	
SCALE: 1" = 30'	COUNTY: fulton, GA	JOB NO.: NORTHWHI	
SAWHNEY AND ASSOCIATES 523 HASTINGS DR PH.# (678)-500-4356			
SHEET 1 OF 2			



UTILITIES PROTECTION CENTER
Call FREE
IN METRO ATLANTA
325-5000
THROUGHOUT GEORGIA
1-800-282-7411
THREE WORKING DAYS BEFORE YOU DIG



LEGEND

IPF=IRON PIN FOUND
IPS=IRON PIN SET
R/W=RIGHT OF WAY
MAG= MAGNETIC
P.D.B.=POINT OF BEGINNING
B/L=BUILDING LINE
D.E.=DRAINAGE EASEMENT
N/F=NOW OR FORMERLY
P = PREVIOUS
E = EXISTING
P/P = POWER POLE

CLOSURE DATA

FIELD CLOSURE=1'IN 10,000+
ANGLE POINT ERROR=< 20"
EQUIPMENT USED=E.D.M. & THEODOLITE
ADJUSTMENT METHOD=COMPASS RULE
PLAT CLOSURE=1'IN 100,000+



FRONT ELEV.

SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. All work shall be performed in accordance with applicable codes and regulations.
2. All spans should be in accordance with all applicable codes and regulations.
3. All footings to rest on undisturbed soil.
4. Sill plate, ext. deck anchorage, footing depth, foundation wall thickness, roof ventilation to be per local code.
5. All dimensions shall be read or calculated. NEVER SCALED.
6. All rough openings on windows and doors to be by builder.
7. All rooms with water heaters + HVAC to be vented by code.
8. Designer or drafter will not be responsible for any errors in plans or construction.
9. Contractor to be responsible for accuracy of all dimensions + construction.

FRONT ELEVATION

DATE: 11/17	SCALE: AS NOTED	DRAWN BY: GLB
REV. 12/18		

PLAN NO.
000

SHEET NO.

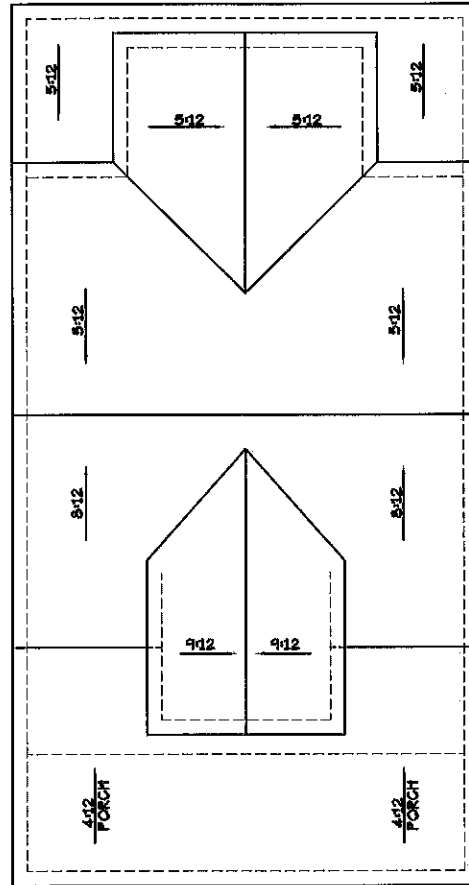
1

Southern Flair

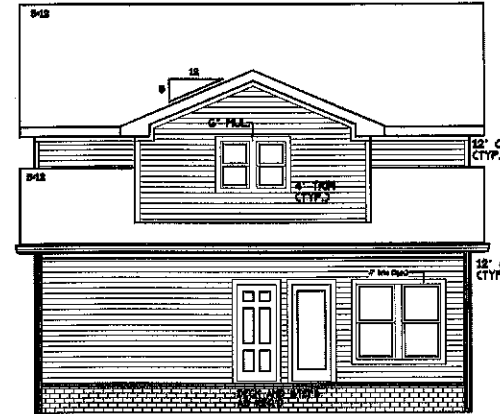
Residential & Commercial Renderings,
Drawings & Models

Gary L. Bailey
8550 Lake Run Dr.
Buckeye, Arizona 8542
(770) 867-3879

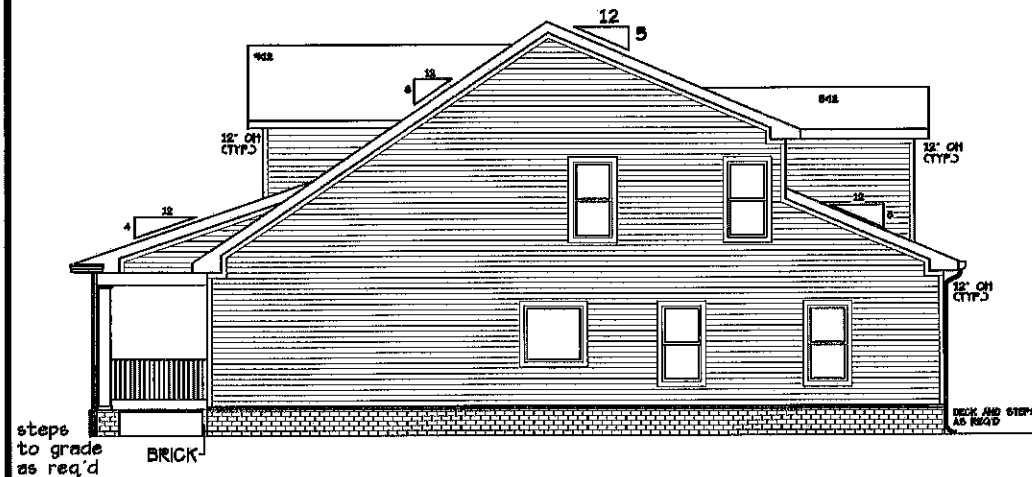
SAM KIRKLAND



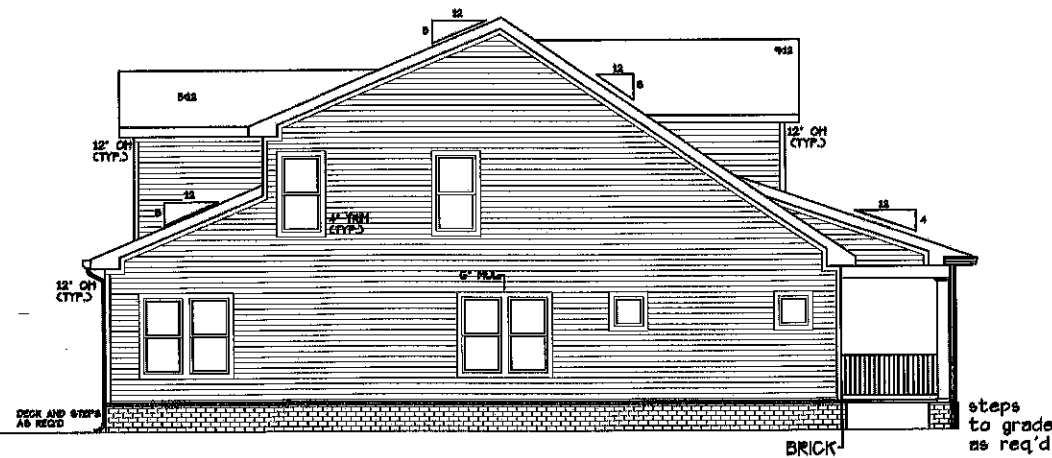
ROOF PLAN
SCALE: 1/8"=1'-0"



REAR ELEV.
SCALE: 1/8"=1'-0"



RIGHT ELEV.
SCALE: 1/8"=1'-0"



LEFT ELEV.
SCALE: 1/8"=1'-0"

Southern Flair

Residential & Commercial Renderings,
Drawings & Models

Gary L. Bailey
6636 Lake Run Dr.
Flowery Branch, Ga. 30542
(770) 867-3878

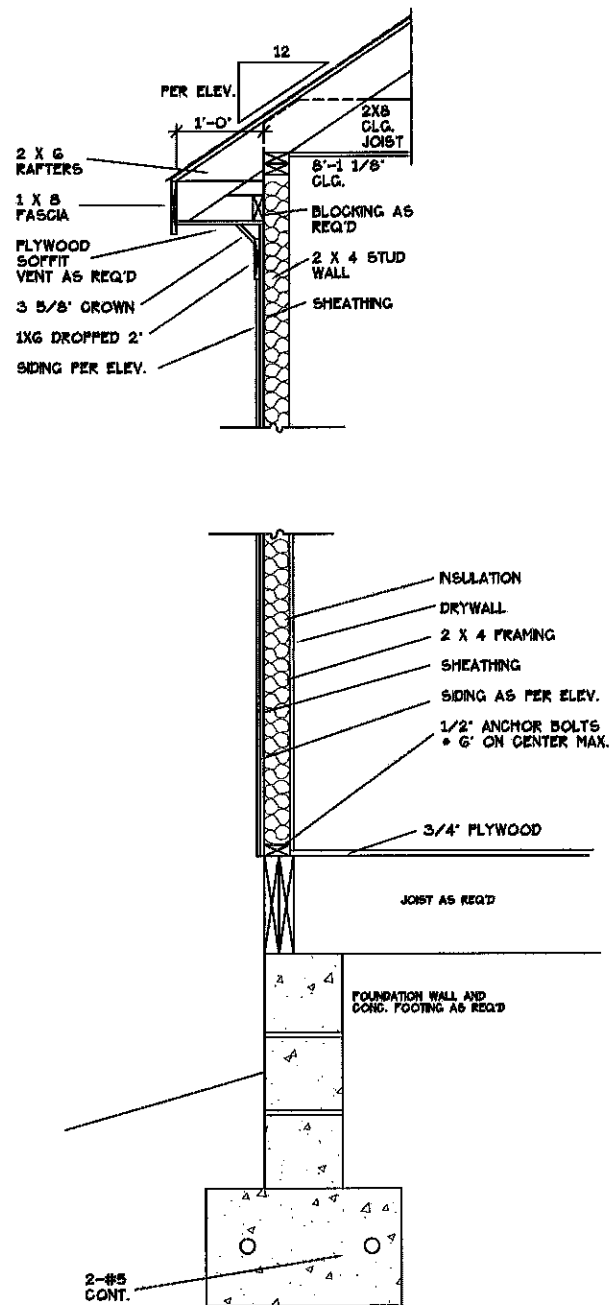
SAM KIRKLAND

ELEVATIONS/ROOF PLAN

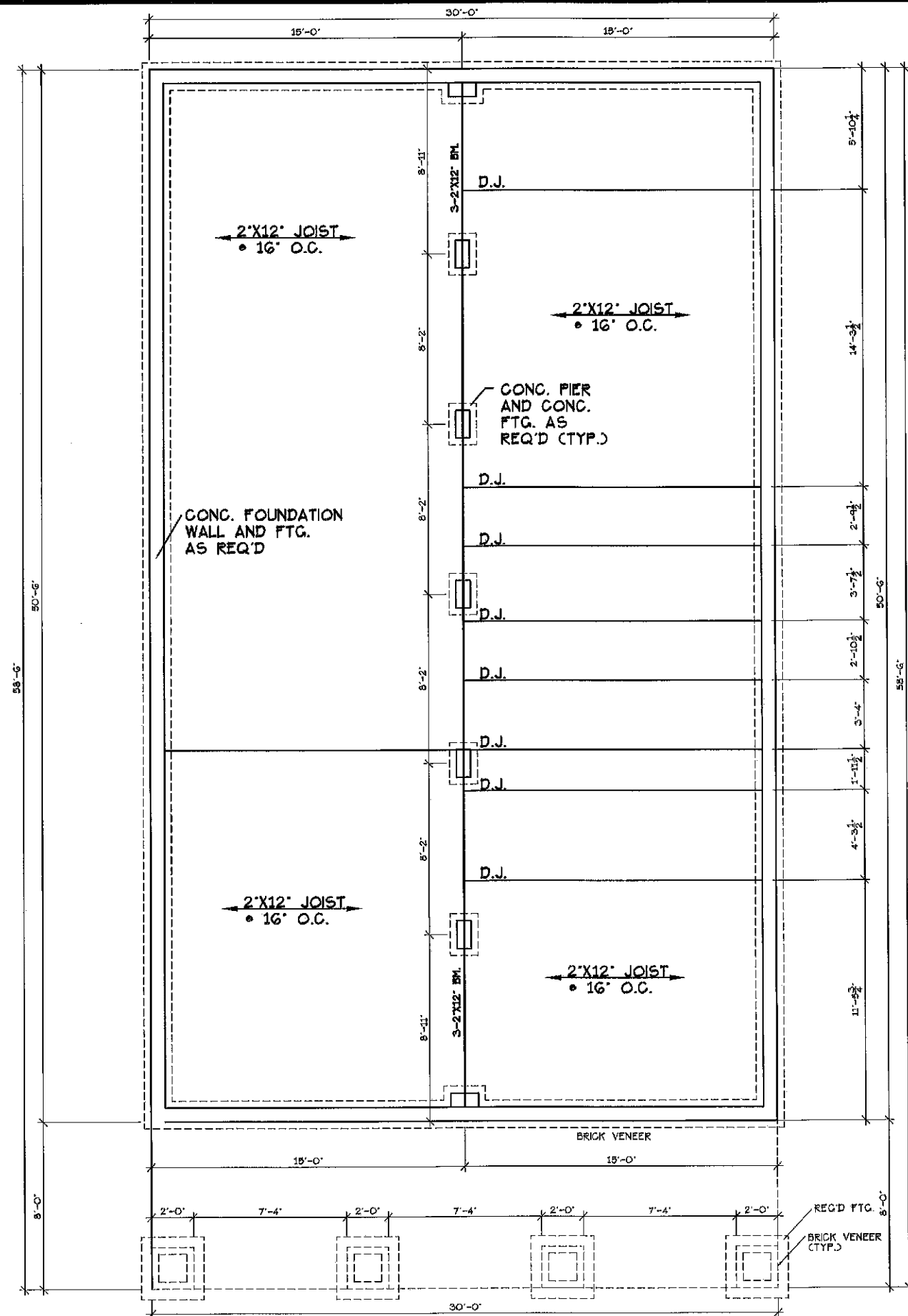
DATE: 11/17
REV 12/18
SCALE: AS NOTED
DRAWN BY: GLB

PLAN NO.
000

SHEET NO.
2



TYP. WALL SECTION
SCALE: 3/4"=1'-0"



FOUNDATION-CRAWL SPACE
& TYP. WALL SECTION

DATE: 12/18
SCALE: 1/4" = 1'-0"
DRAWN BY: GLB

PLAN NO.
000

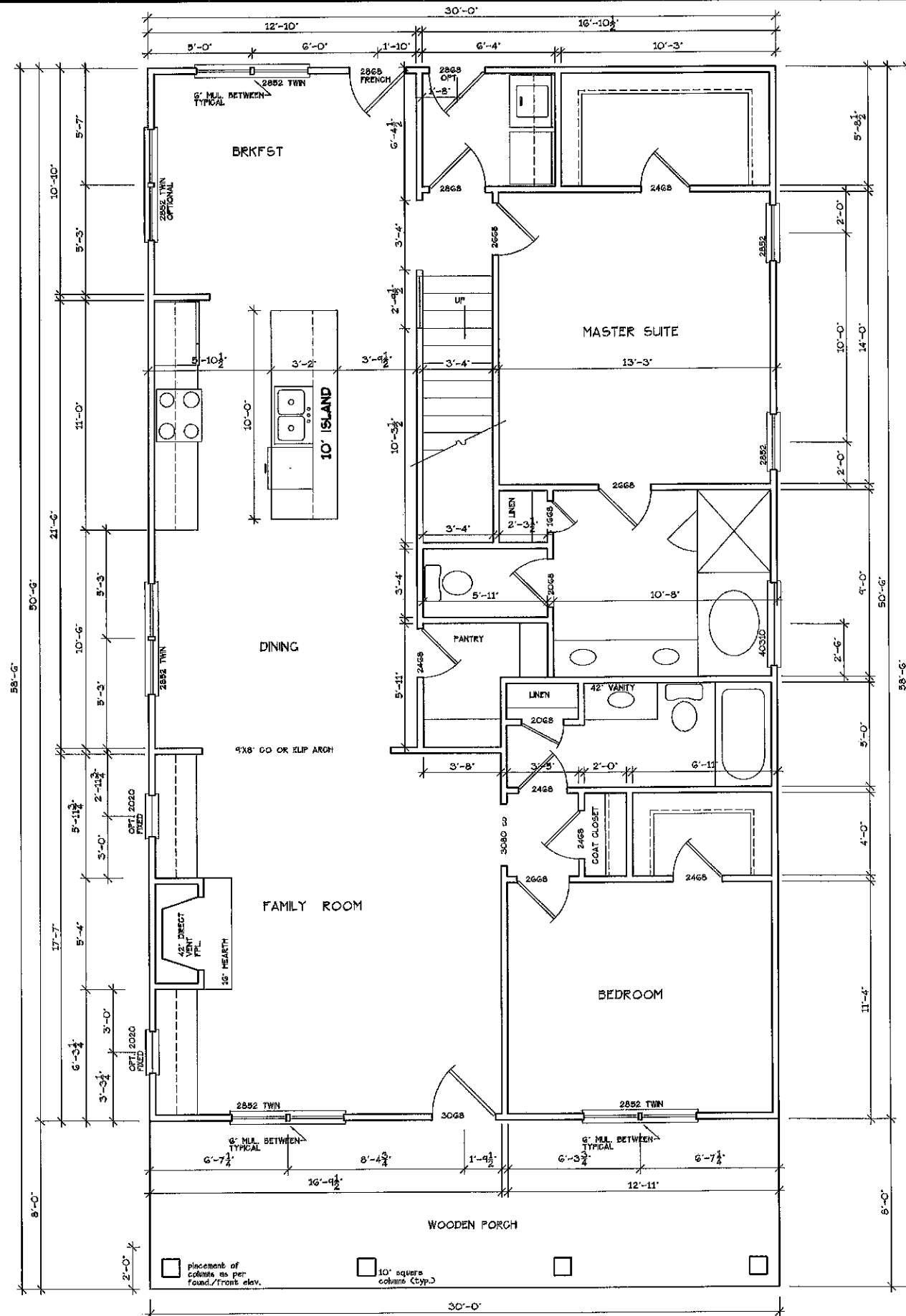
SHEET NO.
3

Southern Flair

Residential & Commercial Renderings,
Drawings & Models

Gary L. Bailey
6620 Lake Run Dr.
Flowery Branch, Ga. 30642
(770) 967-3679

Sam Kirkland



FIRST FLOOR PLAN

PLAN NO.
000
1515 SF

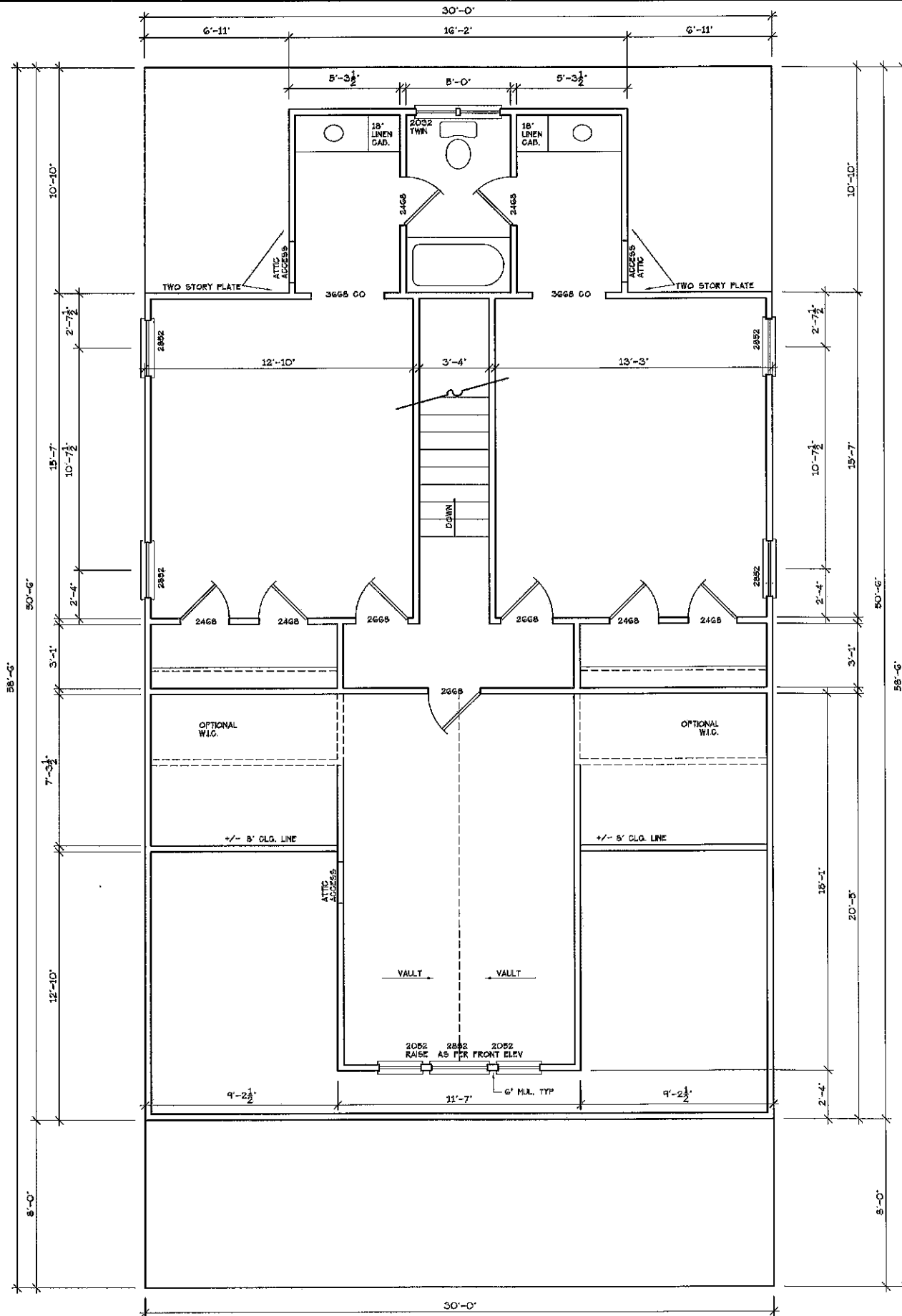
SHEET NO.

4

DATE: 11/17
REV. 12/18
SCALE: 1/4" = 1'-0"
DRAWN BY: GLB

Sam Kirkland

Southern Flair
Residential & Commercial Renderings,
Drawings & Models
Gary L. Bailey
6830 Lake Run Dr.
Flowery Branch, Ga. 30542
(770) 967-3679



SECOND FLOOR PLAN

PLAN NO.
000
972 SF

SHEET NO.
5

Sam Kirkland

Southern Flair
Residential & Commercial Renderings,
Drawings & Models
GARY L. BAILEY
6626 Lake Elm Dr.
Flowery Branch, Ga. 30542
(770) 867-3879

DATE: 11/17
REV. 12/18
SCALE: 1/4" = 1'-0"
DRAWN BY: GLB