

Planning Commission Meeting
700 Doug Davis Drive
Hapeville, Georgia 30354

April 9, 2019 6:00PM

AGENDA

1. Welcome And Introduction

2. Approval Of Minutes

- February 12, 2019

3. New Business

3.I. 325 Sunset Avenue Conditional Use Permit

Phil Ellen on behalf of Georgia Communities, Inc. is seeking approval of a conditional use permit to operate a senior living facility at 325 Sunset Avenue, Parcel Identification Number 14 009600060133. The property is zoned U-V, Urban Village.

- Public Comment

Documents:

[PLANNERS REPORT 325 SUNSET AVE CONDITIONAL USE PERMIT.PDF](#)
[325 SUNSET AVENUE - CONDITIONAL USE PERMIT APPLICATION.PDF](#)

3.II. 525 King Arnold Street Site Plan Review

Will Bryant on behalf of Fulton County Library System is seeking site plan approval for the construction of a 5,975-sf library at 525 King Arnold Street, Parcel Identification Number 14 0095 LL0701 and 14 0095 LL0131. The properties are zoned V, Village.

- Public Comment

Documents:

[525 KING ARNOLD STREET - SITE PLAN APPLICATION.PDF](#)
[PLANNERS REPORT SITE PLAN 525 KING ARNOLD ST REVISED.PDF](#)
[ENGINEERS REPORT - 525 KING ARNOLD ST SITE PLAN REVIEW -2.PDF](#)
[FIRE MARSHAL REPORT - 525 KING ARNOLD STREET.PDF](#)

3.III. Veterinarians, Animal Hospitals And Kennels Text Amendment

Consideration to amend the code for veterinarians, animal hospitals and kennels, of the Code of Ordinances for the City of Hapeville.

- Public Comment

Documents:

[VETERINARY TEXT AMENDMENT.PDF](#)

4. Old Business

4.I. Accessory Uses/Buildings Text Amendment

Consideration and Action of an Ordinance to amend Section 93-2-5, Accessory uses, accessory buildings, yard requirements of accessory buildings, outbuildings and fences, of the Code of Ordinances for the City of Hapeville, Georgia.

- Public Comment

4.II. Chart Of Dimensional Requirements Residential Building Height

Discussion regarding the height requirements for new residential development. *This item was discussed at the February 12, 2019 meeting.*

- Public Comment

4.III. Proposed Zoning Code Amendments

Open discussion regarding proposed zoning code amendments.

- Public Comment

5. Next Meeting Date - May 14, 2019 At 6:00PM

6. Adjourn



DEPARTMENT OF PLANNING AND ZONING

PLANNER'S REPORT

To: Adrienne Senter
From: Lynn M. Patterson
Date: March 21, 2019
RE: Conditional Use Permit – 325 Sunset Avenue

BACKGROUND

The City of Hapeville received a request for a Conditional Use Permit from Georgia Communities, Inc. to operate a senior living facility within a new development located at 325 Sunset Avenue. Prior to submission of the site plan and required approvals, the property will be replatted such that the parking will be added to the developed parcel. The properties are zoned U-V, Urban Village. The property is currently vacant.

Multifamily uses are permitted as a Conditional Use within the U-V Zoning District and are subject to the provisions of Article 3.2 below:

CODE

ARTICLE 11.2. - U-V ZONE (URBAN VILLAGE)

Sec. 93-11.2-5. - Conditional uses.

Specific uses may be permitted as conditional uses, provided conformance to the purpose and intent of the applicable code. Such uses are:

- (9) All multifamily uses shall be conditional uses in U-V zone. In addition to meeting the conditional use provisions, all multifamily uses in U-V shall comply with [subsection] 93-11.2-3(19).

Sec. 93-11.2-3. - Permitted uses.

- (19) Residential density limitations shall be as follows:

- a. The maximum permitted residential density of a master planned development shall be 40 units per acre as calculated based on the sum of all residential uses and the total acreage of the project, including multiple parcels or city blocks, but not rail lines, public streets, or other areas not owned by the applicant;
- b. The built residential density of individual parcels or blocks within a master planned development may be greater or less than 40 units per acre, provided the project's combined average maximum permitted residential density is not exceeded; and
- c. Any changes to an approved site plan shall require approval of the city planning commission and shall be reviewed based on the geographic extent of the original approved site plan, shall not exceed maximum density requirements of the original application, and shall indicate all built or planned improvements.

The property will have 74 units across a two acre development, which is compliant.

ARTICLE 3.2 – Conditional Uses

Sec. 93-3.2-1. - Permit required.

Zoning districts established herein permit certain uses which are allowable therein provided they meet specified conditions, as set forth therein and here. No such use shall be permitted until a conditional use permit has been issued authorizing such use. The procedures for granting such permits shall be the same as for amendments to the zoning ordinance or zoning map.

Sec. 93-3.2-2. - Review of applications.

Those conditions specified in the zoning district regulations shall be considered to be the minimum standards which must be met before the conditional use application may be considered by the planning commission for review and recommendation and the mayor and council for decision. In deciding upon whether or not a conditional use meets the minimum standards and promotes the health, safety, morals, or general welfare of the city, the mayor and council shall utilize the applicable standards of review of [section 93-25-6](#).

Sec. 93-3.2-3. - Issuance of permit.

If the mayor and council, after applying the evidence to the standards of review, have been convinced that the allowance of the conditional use will promote the health, safety, morals, or general welfare of the city, a conditional use permit may be granted, subject to those provisions that may be imposed by the mayor and council.

Sec. 93-3.2-4. - Procedures regarding delays in use of condition.

If a building permit, grading permit or occupation tax permit has not issued and construction (if any is necessary) begun within a 12-month period after such conditional use is approved, the conditional use may be withdrawn at a meeting of the mayor and council. The mayor and council may then reinstate the prior zoning district and regulations. In the alternative, the mayor and council may extend the conditional use for 12 months and any number of subsequent 12-month periods by only one such period at a time.

Sec. 93-3.2-5. - Special use permit procedures.

Mayor and Council may in considering a special use permit following a public hearing impose reasonable conditions deemed necessary to the protection or benefit of owners of adjacent and nearby properties to ensure compatibility of the proposed development or use with surrounding uses. The decision of mayor and council concerning consideration of a special use shall be given to the applicant in writing, by certified U.S. mail to the address indicated in the application. Aggrieved applicants shall have 30 calendar days from the date of receipt of the notice in which to petition the superior court of Fulton County for writ of certiorari.

Sec. 93-3.2-6. - Special use permit criteria and standards.

(a) *Special use permit criteria.* Special uses are compatible uses of land or the improvement of structures within a zoning district that reasonably require special consideration and therefore, are not allowed "by right." The following standards shall be considered in evaluating the appropriateness of all proposed special uses of property:

- (1) Impact on the use or development of adjacent properties, or the surrounding area, as concerns public health, safety or general welfare;
The use of the property for a senior living facility would not adversely affect the public health, safety or general welfare of the surrounding area. It addresses a latent need for affordable, senior housing as the City's population is aging. A recent (draft) study from the ARC indicates that housing prices have risen 49% over the past decade and that XX% of the population is burdened by housing costs. Senior housing and those that include affordable housing units can help to address this need with regard to general welfare.
- (2) Capacity of the lot to accommodate the use and satisfy the dimensional requirements of the ordinance;
Once re-platted, the property will accommodate all dimensional requirements, including parking. The conditional use should be granted with the condition that the additional property must be included in any site plan.
- (3) Compatibility with adjacent properties and other land uses in the vicinity;
The area has been designated as medium intensity mixed use in the future land use map. This encourages higher densities and multi-family developments. Directly across Sunset Avenue is

St. John's Catholic School. There is a residential neighborhood to the north. Along King Arnold, Sunset and North Central Avenue, there are a mix of residential and commercial in the vicinity. The proposed use for a multifamily facility is compatible.

- (4) Potential nuisance or hazardous characteristics, specifically as concerns the number of individuals projected to use such facility or nature of the activity;
There are no concerns related to the nature of a senior living facility with regard to potential nuisance or hazardous characteristics. The project is a senior housing facility which will include residents, visitors, staff and potentially community offerings for seniors.
- (5) Impact on traffic movement, availability of off-street parking, options for buffering or protective screening, hours and manner of operation, lighting, signs and access to the property; and
There is expected to be an increase in traffic adjacent to the site, but this will be mitigated by the proximity of the development to North Central Avenue and Interstate 75. Parking is adequate at the site. Operating hours will be continuous as this is a residential development. The property will be accessed by an existing curb cut on Sunset Avenue.
- (6) Conformance of the special use to other requirements of the ordinance.
The property will be in compliance with Section 93-11.2-3(19) (see above).

RECOMMENDATION

The proposed use of a senior living facility is compatible with the U-V Zoning District and poses no foreseeable conflict with the intent of the district. The conditional use application is recommended for approval. Any site plan will be required to accommodate all parking needs.

19-PC-04-08

**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

Name of Applicant Georgia Communities, Inc.

Mailing Address: 745 Ponce de Leon Terrace

Telephone 256-490-4866 Mobile # same Email phil@georgiacommunities.org

Property Owner (s) Patricia Murray

Mailing Address 2911 Veazey Road, Greensboro, GA, 30642

Telephone _____ Mobile # [REDACTED]

Address/Location of Property: 325 Sunset Avenue

Parcel I.D. # **(INFORMATION MUST BE PROVIDED):** 1400960060133

Present Zoning Classification: Urban Village Size of Tract: 1.71 acre(s)

Present Land Use: Undeveloped land

Please check the following as it applies to this application

☐ Site Plan Review

☒ Conditional Use Permit

☐ Temporary Use Permit

Other (Please State) _____

I hereby make application to the City of Hapeville, Georgia for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves the right to enforce any and all ordinances. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered too. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

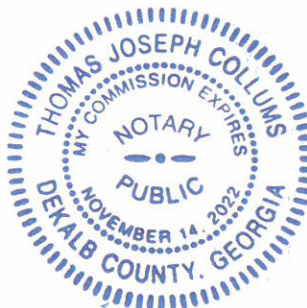
[Signature]
Applicant's signature

Date: March 11, 2019

Sworn to and subscribed before me

This 12th day of March, 2019.

[Signature]
Notary Public



**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

WRITTEN SUMMARY

In detail, provide a summary of the proposed project in the space provided below. (Please type or print legibly.)

Project Overview

Hapeville Station Senior Residences is a proposed 74-unit community that will serve seniors ages 55 and above. The development will be located at 325 Sunset Avenue at the southwest corner of Sunset Avenue and King Arnold Street. This location is ideal for independent senior living, as it provides convenient access to amenities such as the Hapeville Senior Center and Downtown Arts District, as well as on-site access to public transportation. We believe the proposed use is highly responsive to the city's recent Comprehensive Plan Update / LCI Study noting opportunities for residential development within downtown's gateway zones. In addition to contributing to the ongoing revitalization of the area, Hapeville Station is being intentionally planned to promote innovative aging-in-place strategies for local seniors. Our team is partnering with Georgia Tech's HomeLab research initiative to deploy technologies that promote health, wellness, and independence for older adults.

Request

The site for Hapeville Station is currently zoned Urban Village. This application package is being submitted to formally request a conditional use approval from the city, as required for proposed multifamily uses in the Urban Village zone.

CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

369 North Central Ave Hapeville

325 Sunset Ave Hapeville

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant Georgia Communities, Inc.

Address of Applicant
745 Ponce de Leon Terrace, Atlanta, GA 30306

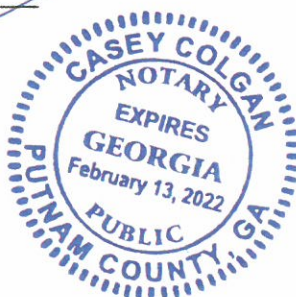
Telephone of Applicant
256-490-4866

Patricia Murray
Signature of Owner

Patricia Murray
Print Name of Owner

Personally Appeared Before Me this 8th day of March, 2019.

Casey
Notary Public



Site Plan Checklist – Please include with your application.

A site plan is used to determine the practical ability to develop a particular property within the City of Hapeville. Information relating to environmental condition, zoning, development impact, consistency with the Hapeville Comprehensive Plan and relevant town master plans will be considered in the decision process. To be considered, a site plan **must** contain the following information:

(Please **initial** each item on the list above certifying the all required information has been included on the site plan)

PE A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. Please complete and submit all forms contained within the application for site plan review.

PE Site plans shall be submitted indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn.

PE The locations, size (sf) and height (ft) of all existing and proposed structures on the site. Height should be assessed from the base of the foundation at grade to the peak of the tallest roofline.

PE Site plans shall include the footprint/outline of existing structures on adjoining properties. For detached single-family residential infill development, the front yard setback shall be assessed based on the average setback of existing structures on adjoining lots. Where practical, new construction shall not deviate more than ten (10) feet from the average front yard setback of the primary residential structure on an adjoining lot. Exemption from this requirement due to unnecessary hardship or great practical difficulty can be approved at the discretion of the Planning Commission. To be considered for an exemption, the applicant must submit a "Request for Relief" in writing with their site plan application, including the conditions that necessitate relief (i.e. floodplain, wetland encroachment, excessive slope, unusual lot configuration, legally nonconforming lot size, unconventional siting of adjoining structures, etc).

- PE
_____ The location and general design cross-section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances. A walkway from the primary entrance directly to the public sidewalk is required for all single-family residential development.
- PE
_____ The locations, area and number of proposed parking spaces. Please refer to Article 22.1 Chart of Dimensional Requirements to determine the correct number of parking spaces for your particular type of development.
- PE
_____ Existing and proposed grades at an interval of five (5) feet or less.
- PE
_____ The location and general type of all existing trees over six (6) inch caliper and, in addition, an identification of those to be retained. Requirements for the tree protection plan are available in Code Section 93-2-14(f). Please refer to Sec. 93-2-14(y) to determine the required tree density for your lot(s).
- PE
_____ A Landscape Plan: The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in Section 93-23-18.
- PE
_____ The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed, outdoor furniture (seating, lighting, telephones, etc.). Detached single-family residential development may be exempt from this requirement.
- PE
_____ The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms. Detached single-family residential development may be exempt from this requirement.
- PE
_____ The identification and location of all refuse collection facilities, including screening to be provided. Detached single-family residential development may be exempt from this requirement.

*We have included photos of similarly scaled developments in lieu of elevations

- PE Provisions for both on-site and offsite storm-water drainage and detention related to the proposed development.
- PE Location and size of all signs. Detached single-family residential development may be exempt from this requirement.
- PE Typical elevations of proposed building provided at a reasonable scale (1/8" = 1'0") and include the identification of proposed exterior building materials. Exterior elevations should show all sides of a proposed building.
- PE Site area (square feet and acres).
- PE Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.
- PE Floor area in nonresidential use by category. Detached single-family residential development may be exempt from this requirement.
- PE Total floor area ratio and/or residential density distribution.
- PE Number of parking spaces and area of paved surface for parking and circulation
- PE At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, storm water and erosion control, etc. of the proposed development.

Please **initial** each item on the list above certifying the all required information has been included on the site plan, sign and submit this form with your site plan application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Applicant Signature: 
Date March 11, 2014

Legal Description

ALL that tract or parcel of land lying and being in Land Lot 96 of the 14th District of Fulton County, Georgia, and being more particularly described as follows:

BEGINNING at the Southwest corner of King Arnold Street and Sunset Avenue (formerly Sunset Street), if said street lines were extended to form an angle instead of a curve; running thence South along the West side of Sunset Avenue, 390.83 feet to an iron pin found; thence North 78 degrees 42 minutes 54 seconds West along the North line of property now or formerly owned by Wendy's, 193.15 feet to an iron pin found; thence North 01 degree 07 minutes 43 seconds East, 399.9 feet to an iron pin found on the Southwesterly side of King Arnold Street; thence Southeasterly along the Southwesterly side of King Arnold Street, 191.51 feet to a point on the West side of Sunset Avenue, if extended, and the point of beginning; LESS AND EXCEPTING that portion of the above described property used in rounding the corner of King Arnold Street and Sunset Avenue.

Known as 325 Sunset Avenue, Hapeville, GA 30354

HAPEVILLE STATION SENIOR RESIDENCES

Project Report

City of Hapeville Planning Commission Application

March 12, 2019





Project Overview

Hapeville Station Senior Residences is a proposed 74-unit community that will serve seniors ages 55 and above. The development will be located at 325 Sunset Avenue at the southwest corner of Sunset Avenue and King Arnold Street. This location is ideal for independent senior living, as it provides convenient access to amenities such as the Hapeville Senior Center and Downtown Arts District, as well as on-site access to public transportation. We believe the proposed use is highly responsive to the city's recent Comprehensive Plan Update / LCI study noting opportunities for residential development within downtown's gateway zones. In addition to contributing to the ongoing revitalization of the area, *Hapeville Station* is being intentionally planned to promote innovative aging-in-place strategies for local seniors. Our team is partnering with Georgia Tech's HomeLab research initiative to deploy technologies that promote health, wellness and independence for older adults.

Conditional Use Request

The site for *Hapeville Station Senior Residences* is currently zoned Urban Village. This information package is being submitted to formally request a conditional use approval from the city, as required for proposed multifamily uses in the Urban Village zone.

Development Character

Hapeville Station will deliver 74 one-bedroom and two-bedroom units within a single, 4-story building. The development will fully comply with the city's architectural requirements and will seek to promote the pedestrian-friendly environment sought within the Urban Village zone. The development's scale, orientation on the site, and façade are being carefully designed to integrate with the downtown corridor as it transitions to low-density residential neighborhoods. Attached to this summary as Exhibit A are recent developments reflecting the scale, exterior and interior amenities that will be included in *Hapeville Station*, courtesy of our architect Martin Riley & Associates.

Property Details

Georgia Communities, Inc. will be purchasing 325 Sunset Avenue (parcel I.D. 1400960060133), totaling 1.71 acres, from current owner Patricia Murray. Our Purchase & Sale Agreement demonstrating site control is attached to this form as Exhibit B. We will also be entering an agreement with Ms. Murray to utilize 0.51 acres of the adjacent parcel (#14009600060125), as shown on our site plan, to accommodate the required 74 off-street parking spaces. We will be



jointly submitting the required documentation to the city's Board of Appeals for approval of our proposed parking plan, as allowed in Section 93-23-12 of Hapeville's Code of Ordinances. The combined total acreage of the Hapeville Station concept is 2.22 acres.

Development Schedule

Georgia Communities, Inc. will be applying to the Georgia Department of Community Affairs (DCA) for an allocation of housing tax credits necessary to finance the project. Each year DCA allocates tax credits in a competitive process in order to increase the supply of workforce and senior housing. Through the equity raised from the sale of credits, we will be able to deliver a market-rate quality development that maintains affordability for prospective senior residents. Rental rates are expected to range from \$550 to \$800, well below available rents at comparable developments.

Although DCA does not publish its internal deadlines for selecting applications, based on prior experience we anticipate the following:

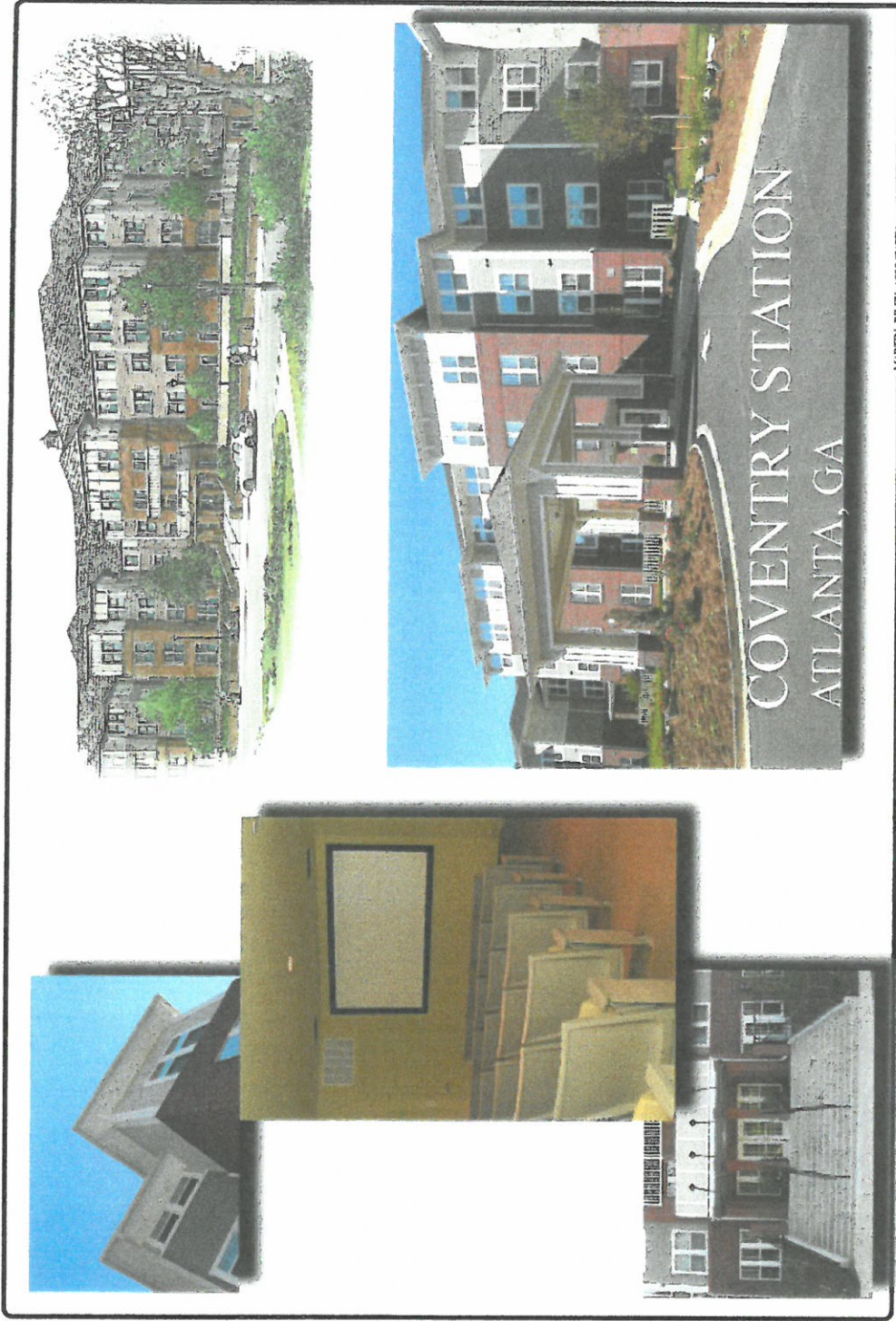
- May 23- application for *Hapeville Station* submitted to DCA
- November 1, 2019- DCA provides notice of selection
- February 28, 2020- anticipated closing date and commencement of construction
- October 2021- construction completion

Project Team

Georgia Communities, Inc. and co-developer Paladin, Inc. have extensive experience in the successful development and ownership of workforce and senior housing. Our combined portfolio totals 35 properties and 1,596 units across the Southeast. We specialize in partnering with local communities to create high-quality housing that is managed with excellence over the long-term. Occupancy across our portfolio stands at 96%, with lengthy wait lists typical in our senior communities. We seek to deliver housing concepts that help seniors live active, healthy lives in their own communities, and we are excited for the opportunity to deliver this experience at *Hapeville Station*.

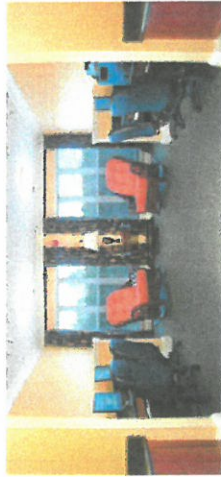


Exhibit A – Similar Project Concepts



ASHFORD PARKSIDE SENIOR RESIDENCES



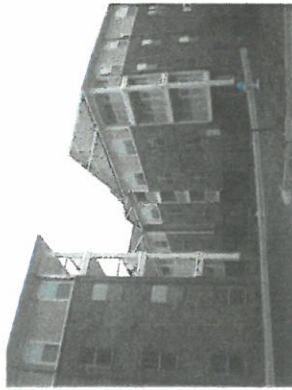


ALLEGRE POINT

DEKALB COUNTY, GEORGIA







GALLERIA MANOR OF SMYRNA
SMYRNA, GA

7/19/2010

COMMERCIAL PURCHASE AND SALE AGREEMENT

Offer Date: MARCH 11, 2019



2019 Printing

A. KEY TERMS AND CONDITIONS

1. **Purchase and Sale.** The undersigned buyer(s) ("Buyer") agree to buy and the undersigned seller(s) ("Seller") agree to sell the real property described below including all fixtures, improvements and landscaping therein ("Property") on the terms and conditions set forth in this Agreement.
 - a. **Property Identification:** Address: 325 Sunset Ave + 0.514 acres of 369 N. CENTRAL AVE
 City HAPEVILLE, County _____, Georgia, Zip Code _____
 MLS Number: _____ Tax Parcel I.D. Number: 14009600060133
 - b. **Legal Description:** The legal description of the Property is [select one of the following below]:
☒ (1) attached as an exhibit hereto;
☐ (2) the same as described in Deed Book _____, Page _____ of the land records of the above county; OR
☐ (3) Land Lot(s) _____ of the _____ District, _____ Section/ GMD, _____ Lot _____, Block _____, Unit _____, Phase/Section _____ of _____ Subdivision/Development, according to the plat recorded in Plat Book _____, Page _____, et. seq., of the land records of the above county.
2. **Purchase Price of Property to be Paid by Buyer.**
 \$ 1,340,000
3. **Closing Costs.**
 Seller's Contribution at Closing: \$ - 0 -
4. **Closing and Possession.**
 - a. **Closing Date:** On or before 2/28/20
 - b. **Seller Retains Possession of Property Through:** closing
5. **Holder of Earnest Money ("Holder").**
Old Republic National Title Co.
6. **Closing Attorney/Law Firm.**
Coleman Talley LLP
7. **Earnest Money.** Earnest Money shall be paid by ☒ check ☐ cash or ☐ wire transfer of immediately available funds as follows:
☒ a. \$ 7,500 as of the Offer Date. binding agreement date - see special stip #1
☐ b. \$ 22,500 within 10 days from the Binding Agreement Date.
☐ c. 75,000 see special stip #1 thru May 23, 2019
8. **Due Diligence Period:** Property is being sold subject to a Due Diligence Period of 10 days from the Binding Agreement Date.
9. Buyer shall have _____ days from the Binding Agreement Date in which to furnish written title objections to Seller.
10. Seller shall deliver Due Diligence Materials to Buyer within _____ days from Binding Agreement Date.
11. Buyer ☒ may OR ☐ may not assign this Agreement in accordance with the terms of this Agreement.
12. Disputes regarding earnest money shall be resolved by a reasonable interpretation by ☐ Holder; OR ☒ arbitration.
13. **Brokerage Relationships in this Transaction.**
 - a. **Selling Broker is** Lake Area Realty and is:
 - (1) ☐ representing Buyer as a client.
 - (2) ☒ working with Buyer as a customer.
 - (3) ☐ acting as a dual agent representing Buyer and Seller.
 - (4) ☐ acting as a designated agent where: _____
 has been assigned to exclusively represent Buyer.
 - b. **Listing Broker is** Lake Area Realty and is:
 - (1) ☒ representing Seller as a client.
 - (2) ☐ working with Seller as a customer.
 - (3) ☐ acting as a dual agent representing Buyer and Seller.
 - (4) ☐ acting as a designated agent where: _____
 has been assigned to exclusively represent Seller.
- c. **Material Relationship Disclosure:** The material relationships required to be disclosed by either Broker are as follows: _____

14. **Time Limit of Offer.** The Offer set forth herein expires at _____ o'clock _____, m. on the date _____.

Buyer(s) Initials P.E.

Seller(s) Initials SM

THIS FORM IS COPYRIGHTED AND MAY ONLY BE USED IN REAL ESTATE TRANSACTIONS IN WHICH F. Patrick Leonard IS INVOLVED AS A REAL ESTATE LICENSEE. UNAUTHORIZED USE OF THE FORM MAY RESULT IN LEGAL SANCTIONS BEING BROUGHT AGAINST THE USER AND SHOULD BE REPORTED TO THE GEORGIA ASSOCIATION OF REALTORS® AT (770) 451-1831.

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CF04, Commercial Purchase and Sale Agreement, Page 1 of 7, 01/01/19

B. CORRESPONDING PARAGRAPHS FOR SECTION A

1. **Purchase Price and Method of Payment.** The Purchase Price shall be paid in U.S. Dollars at closing by wire transfer of immediately available funds, or such other form of payment acceptable to the closing attorney.
2. **Due Diligence.** Buyer has paid Seller the sum of \$25, the receipt of which is hereby acknowledged by Seller, as option money for Buyer having the right to terminate this agreement during the Due Diligence Period. Prior to closing, Buyer and Buyer's agents shall have the right to enter upon Property at Buyer's expense, and at reasonable times, to inspect, survey, examine, and test Property as Buyer may deem necessary as part of Buyer's acquisition of Property. Buyer shall indemnify and hold Seller and all Brokers harmless from and against any and all claims, injuries, and damages to persons and/or property arising out of or related to the exercise of Buyer's rights hereunder. During the Due Diligence Period Buyer may evaluate Property, the feasibility of the transaction, the availability and cost of financing, and any other matter of concern to Buyer. During the Due Diligence Period, Buyer shall have the right to terminate this Agreement upon notice to Seller if Buyer determines, based on an evaluation of the above, that it is not desirable to proceed with the transaction. In such event, Holder shall promptly refund Buyer's earnest money in accordance with the earnest money paragraph below.
3. **Earnest Money.**
 - a. **Receipt:** In the event Buyer terminates this Agreement during the Due Diligence Period or does not otherwise close this transaction, Buyer shall promptly return all Due Diligence materials to Seller. The earnest money shall be deposited into Holder's escrow/trust account (with Holder being permitted to retain the interest if the account is interest bearing) not later than: (a) five (5) banking days after the Binding Agreement Date hereunder or (b) five (5) banking days after the date it is actually received if it is received after the Binding Agreement Date. If Buyer writes a check for earnest money and the same is deposited into Holder's escrow/trust account, Holder shall not be required to return the earnest money until the check has cleared the account on which the check was written. In the event any earnest money check is dishonored for any reason by the bank upon which it is drawn, Holder shall promptly give notice to Buyer and Seller. Buyer shall have 3 banking days after notice to deliver good funds to Holder. In the event Buyer does not timely deliver good funds, Seller shall have the right to terminate this Agreement upon written notice to Buyer.
 - b. **Entitlement to Earnest Money:** Subject to the Disbursement of earnest money paragraph below:
 - (1) Buyer shall be entitled to the earnest money upon: (a) failure of the parties to enter into a binding agreement; (b) failure of any contingency or condition to which this Agreement is subject; (c) termination of this Agreement due to the default of Seller; (d) the termination of this Agreement in accordance with a specific right to terminate set forth in the Agreement; or (e) upon the closing of Property.
 - (2) Seller shall be entitled to the earnest money if this Agreement is terminated due to the default of Buyer. In such event, Holder may pay the earnest money to Seller by check, which if accepted and deposited by Seller, shall constitute liquidated damages in full settlement of all claims of Seller. It is agreed to by the parties that such liquidated damages are not a penalty and are a good faith estimate of Seller's actual damages, which damages are difficult to ascertain.
 - c. **Disbursement of Earnest Money:** Holder shall disburse Earnest Money only as follows: (a) at Closing; (b) upon a subsequent written agreement signed by Buyer and Seller; (c) as set forth below in the event of a dispute regarding earnest money; or (d) the failure of the parties to enter into a binding agreement (where there is no dispute over the formation or enforceability of the Agreement). No party shall seek damages from Holder, nor shall Holder be liable for any such damages, for any matter arising out of or related to the performance of Holder's duties hereunder.
 - d. **Disputes Regarding Earnest Money:** In the event Buyer or Seller notifies Holder of a dispute regarding the disposition of Earnest Money that Holder cannot resolve, Holder shall settle the dispute in accordance with method selected on the cover page of this Agreement.
 - (1) **Reasonable Interpretation by Holder:** In the event earnest money disputes are to be resolved by Holder herein, Holder may disburse the earnest money upon a reasonable interpretation of the Agreement, provided that Holder first gives all parties 10 days notice stating to whom and why the disbursement will be made. Any party may object to the proposed disbursement by giving written notice of the same to Holder within the ten (10) day notice period. Objections not timely made in writing shall be deemed waived. If Holder receives an objection and after considering it, decides to disburse the earnest money as originally proposed, Holder may do so and send notice to the parties of Holder's action. If Holder decides to modify its proposed disbursement, Holder shall first send a new ten (10) day notice to the parties stating the rationale for the modification and to whom the disbursement will now be made. If there is a dispute over the earnest money which the parties cannot resolve after a reasonable period of time, and where Holder has a bona fide question as to who is entitled to the earnest money, Broker may interplead the earnest money into a court of competent jurisdiction. Holder shall be reimbursed for and may deduct from any funds interpleaded, its costs and expenses, including reasonable attorney's fees actually incurred. The prevailing defendant in the interpleader lawsuit shall be entitled to collect its attorney's fees and court costs and the amount deducted by Holder from the non-prevailing defendant.
 - (2) **Arbitration:** In the event arbitration is selected as the method to resolve earnest money disputes, such disputes shall be resolved by arbitration in accordance with the Federal Arbitration Act 9 U.S.C. § 1 et. seq. and the rules and procedures of the arbitration company selected to administer the arbitration. Upon making or receiving a demand for arbitration, the parties shall work together in good faith to select a mutually acceptable arbitration company with offices in Georgia to administer and conduct the arbitration. If the parties cannot mutually agree on an arbitration company, the company shall be selected as follows. Each party shall simultaneously exchange with the other party a list of three arbitration companies with offices in Georgia acceptable to that party to administer and conduct the arbitration. If there is only one (1) arbitration company that is common to both lists, that company shall administer and conduct the arbitration. If there is more than one arbitration company that is common to both lists, the parties shall either mutually agree on which arbitration company shall be selected or flip a coin to select the arbitration company. If there is not initially a common arbitration company on the lists, the parties shall repeat the process by expanding their lists by two each time until there is a common name on the lists selected by the parties. The decision of the arbitrator shall be final and the arbitrator shall have authority to award attorneys' fees and allocate the costs of arbitration as part of any final award.

4. **Seller's Obligations at Closing.** At Closing, Seller shall deliver to Buyer: (a) a Closing Statement; (b) Limited Warranty Deed; (c) FIRPTA Affidavit (indicating that Seller is not a "foreign person" or "foreign corporation" as that term is defined in Section 1445(f)(3) of the Internal Revenue Code of 1986); (d) an Affidavit of Seller's Residence Regarding Georgia Withholding Tax, establishing that Seller is exempt from the requirements of O.C.G.A. § 48-7-128, the Georgia Withholding Statute (or Affidavit of Exemption or Affidavit of Seller's Gain, if withholding is required); (e) a transfer tax declaration form properly signed and executed by Seller; and, (f) all documents which Seller must execute under the terms of this Agreement to cause the Title Company to deliver to Buyer the Title Policy, including, without limitation, a title affidavit from Seller to Buyer and to the Title Company in the form customarily used in Georgia commercial real estate transactions so as to enable the Title Company to issue Buyer the Title Policy with all standard exceptions deleted and subject only to the Permitted Exceptions and evidence reasonably satisfactory to Title Company of its due and proper authority and power to perform its obligations hereunder. In addition, Seller shall deliver to Buyer at Closing all documents/items indicated in Exhibit "C", if any. (All documents to be delivered by Seller under this paragraph, including all documents/items indicated in Exhibit "C" are collectively "Seller's Closing Documents".)
5. **Conditions to Closing.**
- a. **Conditions in Favor of Buyer:** The obligation of Buyer to consummate the transaction contemplated herein is conditioned upon the following conditions precedent as of the Closing Date:
- (1) All representations and warranties of Seller made herein shall remain true and correct;
 - (2) Seller shall have performed all of the covenants undertaken by Seller in this Agreement to be performed by Seller at or prior to Closing;
 - (3) Seller shall have delivered to the Buyer properly executed originals of Seller's Closing Documents;
 - (4) There shall have been no material adverse change in the physical condition of Property, except as otherwise provided for in this Agreement; and
 - (5) The issuance at Closing of the Title Policy (or marked binder), with all standard exceptions deleted and subject only to the Permitted Exceptions.
- b. **Conditions in Favor of Seller:** The obligation of Seller to consummate the transaction contemplated herein is conditioned upon the following conditions precedent as of the Closing Date:
- (1) All representations and warranties of Buyer made herein shall remain true and correct;
 - (2) Buyer shall have performed all of the covenants undertaken by Buyer in this Agreement to be performed by Buyer at or prior to Closing; and
 - (3) Buyer shall have: (a) delivered to the Seller properly executed originals of the transfer tax declaration form, title policy documents, closing statement, and any other documents identified in Exhibit "C" that require Buyer's signature; and (b) paid the Purchase Price, plus or minus prorations and adjustments, to Seller.
6. **Costs.**
- a. **Seller's Costs:** Seller shall pay the amount of Seller's Monetary Contribution at Closing, if any, referenced in this Agreement, the cost of recording any title curative document, including, without limitation, satisfactions of deeds to secure debt, quitclaim deeds and financing statement terminations; all deed recording fees and the fees of Seller's counsel.
- b. **Buyer's Costs:** Buyer shall pay the cost of Buyer's counsel and consultants; all transfer taxes; any costs in connection with Buyer's inspection of Property and any costs associated with obtaining financing for the acquisition of Property (including any intangibles tax, all deed recording fees and the cost of recording Buyer's loan documents); and the cost of any title examination, survey of the Property obtained by Buyer and any owner's or lender's title insurance.
7. **Taxes and Prorations.** Ad valorem property taxes, community association fees, solid waste and governmental fees and utility bills for which service cannot be terminated as of the date of closing; rents, tenant improvements costs and leasing commissions on Property for the calendar year in which the Closing takes place shall be prorated as of 12:01 a.m. on the Closing Date. In the event ad valorem property taxes are based upon an estimated tax bill or tax bill under appeal, Buyer and Seller shall, upon the issuance of the actual tax bill or the appeal being resolved, promptly make such financial adjustments between themselves as are necessary to correctly prorate the tax bill. In the event there are tax savings resulting from a tax appeal, third party costs to handle the appeal may be deducted from the savings for that tax year before re-prorating. Any pending tax appeal shall be deemed assigned to Buyer at closing.
8. **Title.**
- a. **Warranties of Seller:** Seller warrants that at Closing, Seller shall convey good and marketable, fee simple title to Property to Buyer by limited warranty deed, subject only to the following exemptions:
- (1) Liens for ad valorem taxes not yet due and payable;
 - (2) Those exceptions to which Buyer does not object or which Buyer waives in accordance with the Title Objections paragraph below.
 - (3) Those Permitted Exceptions attached hereto and incorporated herein as an exhibit to which Buyer has agreed not to object. For all purposes under this Agreement, "Good and marketable, fee simple title" with respect to Property shall be such title: (a) as is classified as "marketable" under the Title Standards of the State Bar of Georgia; and (b) as is acceptable to and insurable by a title insurance company doing business in Georgia ("Title Company"), at standard rates on an American Land Title Association Owner's Policy ("Title Policy").

- b. **Title Objections:** Seller shall have until the Closing to cure all valid title objections ("Title Cure Period"). Seller shall satisfy any existing liens or monetary encumbrances identified by Buyer as title objections which may be satisfied by the payment of a sum certain prior to or at Closing. Except for Seller's obligations in the preceding sentence, if Seller fails to cure any other valid title objections of Buyer within the Title Cure Period (and fails to provide Buyer with evidence of Seller's cure satisfactory to Buyer and to the Title Company), Buyer may, as Buyer's sole remedies: (1) rescind the transaction contemplated hereby, in which case, Buyer shall be entitled to the return of Buyer's earnest money; (2) waive any such objections and elect to close the transaction contemplated hereby irrespective of such title objections and without reduction of the Purchase Price; or (3) extend the Closing Date for a period of time not to exceed fifteen (15) days to allow Seller further time to cure such valid title objections. Failure to act in a timely manner under this paragraph shall constitute a waiver of Buyer's rights hereunder. Buyer shall have the right to re-examine title prior to Closing and notify Seller at Closing of any title objections which appear of record after the date of Buyer's initial title examination and before Closing.
9. **Destruction of Property Prior to Closing.** If the Property is destroyed or substantially destroyed prior to Closing, Seller shall give Buyer prompt notice thereof, which notice shall include Seller's reasonable estimate of: (1) the cost to restore and repair the damage; (2) the amount of insurance proceeds, if any, available for the same; and (3) whether the damage will be repaired prior to Closing. Upon notice to Seller, Buyer may terminate this Agreement within 7 days of receiving such notice from Seller. If Buyer does not terminate this Agreement, Buyer shall be deemed to have accepted Property with the damage and shall receive at Closing: (1) any insurance proceeds which have been paid to Seller but not yet spent to repair the damage; and (2) an assignment of all unpaid insurance proceeds on the claim.
10. **Representations and Warranties.**
- a. **Seller's Representations and Warranties:** As of the Binding Agreement Date and the Closing Date, Seller makes the representations and warranties to Buyer, if any, as indicated in Exhibit "D", if attached.
- b. **Buyer's Representations and Warranties:** As of the Binding Agreement Date and the Closing Date, Buyer represents and warrants to Seller that Buyer has the right, power and authority to enter into this Agreement and to consummate the transaction contemplated by the terms and conditions of this Agreement; and the persons executing this Agreement on behalf of Buyer have been duly and validly authorized by Buyer to execute and deliver this Agreement and shall have the right, power and authority to enter into this Agreement and bind Buyer.
11. **Brokerage.** Seller has agreed to pay Listing Broker(s) a real estate commission pursuant to that certain brokerage engagement agreement entered into between the parties and incorporated herein by reference ("Listing Agreement"). Pursuant to the terms of the Listing Agreement, the Listing Broker has agreed to share that commission with the Selling Broker.
- The closing attorney is hereby authorized and directed to pay the Broker(s) at closing, their respective commissions out of the proceeds of the sale. If the sale proceeds are insufficient to pay the full commission, the party owing the commission shall pay any shortfall at closing. If more than one Broker is involved in the transaction, the closing attorney is directed to pay each Broker its respective portion of said commission. The acceptance by the Broker(s) of a partial real estate commission at the closing shall not relieve the Seller of the obligation to pay the remainder thereof after the closing unless the Broker(s) have expressly and in writing agreed to accept the lesser amount in full satisfaction of the Broker(s) claim to a commission.
12. **Disclaimer.** Buyer and Seller have not relied upon any advice or representations of Brokers other than what is included in this Agreement. Brokers shall have no duty to advise Buyer and Seller on any matter relating to the Property which could have been revealed through a survey, title search, Official Georgia Wood Infestation Report, inspection by a professional home inspector or construction expert, utility bill review, an appraisal, inspection by an environmental engineering inspector, consulting governmental officials or a review of this Agreement and transaction by an attorney, financial planner, mortgage consultant or tax planner. Buyer and Seller should seek independent expert advice regarding any matter of concern to them relative to the Property and this Agreement.
13. **Assignment.** If Buyer does not have the right to assign this Agreement, then Buyer cannot assign this Agreement without the prior written permission of Seller. Any such approved assignment shall not release the original Buyer from any liabilities or obligations herein. Notice of such assignment shall be delivered to the Seller within 2 working days of execution, but not less than 5 days from closing. If Buyer has the right to assign this Agreement, then this Agreement may be assigned by the Buyer to any legal entity of which the Buyer or a principal or principals of Buyer own at least a 25% interest.
14. **Time Limit of Offer.** The Time Limit of the Offer shall be the date and time referenced herein when the Offer expires unless prior to that date and time both of the following have occurred: (a) the Offer has been accepted by the party to whom the Offer was made; and (b) notice of acceptance of the Offer has been delivered to the party who made the Offer.

C. OTHER TERMS AND CONDITIONS

1. **Notices.**
- a. **Generally:** All notices given hereunder shall be in writing, legible and signed by the party giving the notice. In the event of a dispute regarding notice, the burden shall be on the party giving notice to prove delivery. The requirements of this notice paragraph shall apply even prior to this Agreement becoming binding. Notices shall only be delivered: (1) in person; (2) by courier, overnight delivery service or by certified or registered U.S. mail (hereinafter collectively "Delivery Service"); or (3) by e-mail or facsimile. The person delivering or sending the written notice signed by a party may be someone other than that party.

- b. **Delivery of Notice:** A notice to a party shall be deemed to have been delivered and received upon the earliest of the following to occur: (1) the actual receipt of the written notice by a party; (2) in the case of delivery by a Delivery Service, when the written notice is delivered to an address of a party set forth herein (or subsequently provided by the party following the notice provisions herein), provided that a record of the delivery is created; (3) in the case of delivery electronically, on the date and time the written notice is electronically sent to an e-mail address or facsimile number of a party herein (or subsequently provided by the party following the notice provisions herein). Notice to a party shall not be effective unless the written notice is sent to an address, facsimile number or e-mail address of the party set forth herein (or subsequently provided by the party following the notice provisions herein).
- c. **When Broker Authorized to Accept Notice for Client:** Except where the Broker is acting in a dual agency capacity, the Broker and any affiliated licensee of the Broker representing a party in a client relationship shall be authorized agents of the party and notice to any of them shall for all purposes herein be deemed to be notice to the party. Notice to an authorized agent shall not be effective unless the written notice is sent to an address, facsimile number or e-mail address of the authorized agent set forth herein (or subsequently provided by the authorized agent following the notice provisions herein). Except as provided for herein, the Broker's staff at a physical address set forth herein of the Broker or the Broker's affiliated licensees are authorized to receive notices delivered by a Delivery Service. The Broker, the Broker's staff and the affiliated licensees of the Broker shall not be authorized to receive notice on behalf of a party in any transaction in which a brokerage engagement has not been entered into with the party or in which the Broker is acting in a dual agency capacity. In the event the Broker is practicing designated agency, only the designated agent of a client shall be an authorized agent of the client for the purposes of receiving notice.

2. **Default.**

- a. **Rights of Buyer or Seller:** A party defaulting under this Agreement shall be liable for the default. The non-defaulting party may pursue any lawful remedy against the defaulting party.
- b. **Rights of Broker:** In the event a party defaults under this Agreement, the defaulting party shall pay as liquidated damages to every broker involved in this transaction with whom the defaulting party does not have a brokerage engagement agreement an amount equal to the share of the commission the broker would have received had the transaction closed. For purposes of determining the amount of liquidated damages to be paid by the defaulting party, the written offer(s) of compensation to such broker and/or other written agreements establishing such broker's commission are incorporated herein by reference. The liquidated damages referenced above are a reasonable pre-estimate of the Broker(s) actual damages and are not a penalty. In the event a Broker referenced herein either has a brokerage engagement agreement or other written agreement for the payment of a real estate commission with a defaulting party, the Broker shall only have such remedies against the defaulting party as are provided for in such agreement.
- c. **Attorney's Fees:** In any litigation or arbitration arising out of this Agreement, including but not limited to breach of contract claims between Buyer and Seller and commission claims brought by a broker, the non-prevailing party shall be liable to the prevailing party for its reasonable attorney's fees and expenses.

3. **Other Provisions.**

- a. **Condemnation:** Seller shall: (1) immediately notify Buyer if the Property becomes subject to a condemnation proceeding; and (2) provide Buyer with the details of the same. Upon receipt of such notice, Buyer shall have the right, but not the obligation for 7 days thereafter, to terminate this Agreement upon notice to Seller in which event Buyer shall be entitled to a refund of all earnest money and other monies paid by Buyer toward the Property without deduction or penalty. If Buyer does not terminate the Agreement within this time frame, Buyer agrees to accept the Property less any portion taken by the condemnation and if Buyer closes, Buyer shall be entitled to receive any condemnation award or negotiated payment for all or a portion of the Property transferred or conveyed in lieu of condemnation.
- b. **Duty to Cooperate:** All parties agree to do all things reasonably necessary to timely and in good faith fulfill the terms of this Agreement. Buyer and Seller shall execute and deliver such certifications, affidavits, and statements required by law or reasonably requested by the closing attorney, mortgage lender and/or the title insurance company to meet their respective requirements.
- c. **Electronic Signatures:** For all purposes herein, an electronic or facsimile signature shall be deemed the same as an original signature; provided, however, that all parties agree to promptly re-execute a conformed copy of this Agreement with original signatures if requested to do so by the buyer's mortgage lender or the other party.
- d. **Entire Agreement, Modification and Assignment:** This Agreement constitutes the sole and entire agreement between all of the parties, supersedes all of their prior written and verbal agreements and shall be binding upon the parties and their successors, heirs and permitted assigns. No representation, promise or inducement not included in this Agreement shall be binding upon any party hereto. This Agreement may not be amended or waived except upon the written agreement of Buyer and Seller. This Agreement may not be assigned by Buyer except with the written approval of Seller. Any assignee shall fulfill all the terms and conditions of this Agreement.
- e. **Extension of Deadlines:** No time deadline under this Agreement shall be extended by virtue of it falling on a Saturday, Sunday or federal holiday except for the date of closing.
- f. **GAR Forms:** The Georgia Association of REALTORS®, Inc. ("GAR") issues certain standard real estate forms. These GAR forms are frequently provided to the parties in real estate transactions. No party is required to use any GAR form. Since these forms are generic and written with the interests of multiple parties in mind, they may need to be modified to meet the specific needs of the parties using them. If any party has any questions about his or her rights and obligations under any GAR form he or she should consult an attorney. The parties hereto agree that the GAR forms may only be used in accordance with the licensing agreement of GAR. While GAR forms may be modified by the parties, no GAR form may be reproduced with sections removed, altered or modified unless the changes are visible on the form itself or in a stipulation, addendum, exhibit or amendment thereto.
- g. **Governing Law and Interpretation:** This Agreement may be signed in multiple counterparts each of which shall be deemed to be an original and shall be interpreted in accordance with the laws of Georgia. No provision herein, by virtue of the party who drafted it, shall be interpreted less favorably against one party than another. All references to time shall mean the time in Georgia. If any provision herein is to be unenforceable, it shall be severed from this Agreement while the remainder of the Agreement shall, to the fullest extent permitted by law, continue to have full force and effect as a binding contract.

- h. **No Authority to Bind:** No Broker or affiliated licensee of Broker, by virtue of this status, shall have any authority to bind any party hereto to any contract, provisions herein, amendments hereto, or termination hereof. However, if authorized in this Agreement, Broker shall have the right to accept notice on behalf of a party. Additionally, any Broker or real estate licensee involved in this transaction may perform the ministerial act of filling in the Binding Agreement Date. In the event of a dispute over the Binding Agreement Date, it may only be resolved by the written agreement of the Buyer and Seller.
- i. **Notice of Binding Agreement Date:** The Binding Agreement Date shall be the date when a party to this transaction who has accepted an offer or counteroffer to buy or sell real property delivers notice of that acceptance to the party who made the offer or counteroffer in accordance with the Notices section of the Agreement. Notice of the Binding Agreement Date may be delivered by either party (or the Broker working with or representing such party) to the other party. If notice of accurate Binding Agreement Date is delivered, the party receiving notice shall sign the same and immediately return it to the other party.
- j. **Repairs:** All agreed upon repairs and replacements shall be performed in a good and workmanlike manner prior to closing.
- k. **Survival of Agreement:** The following shall survive the closing of this Agreement: (1) the obligation of a party to pay a real estate commission; (2) any warranty of title; (3) all representations of Seller regarding the Property; (4) the section on condemnation; and (5) any obligations which the parties herein agree shall survive the closing or may be performed or fulfilled after the closing.
- l. **Warranties Transfer:** Seller agrees to transfer to Buyer, at closing, subject to Buyer's acceptance thereof (and at Buyer's expense, if there is any cost associated with said transfer), Seller's interest in any existing manufacturer's warranties, service contracts, termite treatment and/or repair guarantee and/or other similar warranties which, by their terms, may be transferable to Buyer.
- m. **Terminology:** As the context may require in this Agreement: (1) the singular shall mean the plural and vice versa; and (2) all pronouns shall mean and include the person, entity, firm, or corporation to which they relate. The letters "N.A." or "N/A", if used in this Agreement, shall mean "Not Applicable", except where the context would indicate otherwise.
- n. **Time of Essence:** Time is of the essence of this Agreement.

4. **Definitions.**

- a. **Banking Day:** A "Banking Day" shall mean a day on which a bank is open to the public for carrying out substantially all of its banking functions. For purposes herein, a "Banking Day" shall mean Monday through Friday excluding federal holidays.
- b. **Binding Agreement Date:** The "Binding Agreement Date" shall be the date when a party to this transaction who has accepted an offer or counteroffer to buy or sell real property delivers notice of that acceptance to the party who made the offer or counteroffer in accordance with the Notices section of the Agreement.
- c. **Broker:** In this Agreement, the term "Broker" shall mean a licensed Georgia real estate broker or brokerage firm and its affiliated licensees unless the context would indicate otherwise.
- d. **Business Day:** A "Business Day" shall mean a day on which substantially all businesses are open for business. For all purposes herein, a "Business Day" shall mean Monday through Friday excluding federal holidays.

5. **Beware of Cyber Fraud:** Fraudulent e-mails attempting to get you to wire money to criminal computer hackers are increasingly common in real estate transactions. Under this scam, computer hackers fraudulently assume the online identity of the actual mortgage lender, closing attorney and/or real estate broker with whom you are working in the real estate transaction. Posing as a legitimate company, they then direct you to wire money to them. In many cases, the fraudulent e-mail is sent from what appears to be the authentic web page of the legitimate company responsible for sending the wiring instructions. You should use great caution in sending or receiving funds based solely on wiring instructions sent to you by e-mail. Independently verifying the wiring instructions with someone from the company sending them is the best way to prevent fraud. In particular, you should treat as highly suspect any follow up e-mails you receive from a mortgage lender, closing attorney and/or real estate broker directing you to wire funds to a revised account number. Never verify wiring instructions by calling a telephone number provided along with a second set of wiring instructions since you may end up receiving a fraudulent verification from the computer hackers trying to steal your money. Independently look up the telephone number of the company who is supposed to be sending you the wiring instructions to make sure you have the right one.

6. **Exhibits and Addenda.** All exhibits and/or addenda attached hereto, listed below, or referenced herein are made a part of this Agreement. If any such exhibit or addendum conflicts with any preceding paragraph, said exhibit or addendum shall control:

☒ Exhibit "A" Legal Description

☐ Exhibit "B" Due Diligence Materials

☐ Exhibit "C" Addition to Seller's Closing Documents

☒ Exhibit "D" Seller's Warranties and Representations - *Exhibit C*

☐ Exhibit "E" Permitted Title Exceptions

☒ Other *EXHIBIT B SCHEMATIC SITE PLAN*

☐ Other _____

☐ Other _____

☐ Other _____

SPECIAL STIPULATIONS: The following Special Stipulations, if conflicting with any exhibit, addendum, or preceding paragraph (including any changes thereto made by the parties), shall control:

☒ Additional Special Stipulations are attached.

Buyer Acceptance and Contact Information**1 Buyer's Signature**

Print or Type Name

Phil Ellen

Date

3/12/19

Buyer's Address for Receiving Notice

745 Ponce de Leon Terrace NE

Atlanta, GA 30306

Buyer's Phone Number: ☐ Cell ☐ Home ☐ Work

256-470-4166

Buyer's E-mail Address

phil.ellen@aol.com

2 Buyer's Signature

Print or Type Name

Date

Buyer's Address for Receiving Notice

Buyer's Phone Number: ☐ Cell ☐ Home ☐ Work

Buyer's E-mail Address

☐ Additional Signature Page (F267) is attached.**Selling Broker/Affiliated Licensee Contact Information**

LAKE AREA REALTY, LLC

Selling Brokerage Firm

Broker/Affiliated Licensee Signature

Date

F. Patrick Leonard, JR

3/11/19

Print or Type Name

GA Real Estate License #

706-473-2306

Licensee's Phone Number

Fax Number

Licensee's E-mail Address

REALTOR® Membership

1040 Founders Row, Suite B

Broker's Address

Greensboro, GA 30642

Broker's Phone Number

Fax Number

46490

MLS Office Code

Brokerage Firm License Number

Seller Acceptance and Contact Information**Seller's Signature**

Print or Type Name

Patricia Murray

Date

3-11-19

Seller's Address for Receiving Notice

Seller's Phone Number: ☐ Cell ☐ Home ☐ Work

Seller's E-mail Address

2 Seller's Signature

Print or Type Name

Date

Seller's Address for Receiving Notice

Seller's Phone Number: ☐ Cell ☐ Home ☐ Work

Seller's E-mail Address

☐ Additional Signature Page (F267) is attached.**Listing Broker/Affiliated Licensee Contact Information**

LAKE AREA REALTY, LLC

Listing Broker Firm

Broker/Affiliated Licensee Signature

Date

F. Patrick Leonard, JR

3/11/19

Print or Type Name

GA Real Estate License #

Licensee's Phone Number

Fax Number

Licensee's E-mail Address

REALTOR® Membership

Broker's Address

Broker's Phone Number

Fax Number

MLS Office Code

Brokerage Firm License Number

Binding Agreement Date: The Binding Agreement Date in this transaction is the date of _____
and has been filled in by _____.

SPECIAL STIPULATIONS

PAGE 1



2019 Printing

These Special Stipulations are part of the Agreement with an Offer Date of 3-11-2019
for the purchase and sale of that certain Property known as, 325 Sunset Ave + 0.514 ACRES of
369 N. Central Ave, Hapeville, Georgia

[NOTE: The language set forth in this special stipulation(s) is furnished by the parties and is particular to this transaction.]

1. Earnest Money: At binding agreement date, Buyer shall pay \$7,500 in non-refundable earnest money to the seller. This \$7,500 is only refundable in the event that the seller defaults. In addition, within 10 days of the binding agreement date, Buyer shall deposit \$22,500 with Old National Title Company, 1125 Sanctuary Parkway, Suite 140, Alpharetta, GA 30009 Attn: Robbie J. Dimon. The \$22,500 deposit shall be immediately refundable to Buyer upon the request by Buyer to the Escrow Agent: (A) any time prior to the expiration of the Due Diligence period; (B) in the event that Buyer does not submit an application as outlined below; (C) in the event of any breach of this Agreement by Seller; or (D) as may otherwise be specifically set forth in this agreement. In the event that the Buyer has not terminated this agreement, on May 23, 2019, escrow agent is authorized to transfer the \$22,500 to the Seller by overnight check or wire transfer, at which time it becomes non-refundable. After May 23, 2019 transfer, the \$22,500 is only refundable in the event that the seller defaults. If the Buyer receives notification of selection to receive tax credit funding from DCA (selection is typically November), the Buyer will make a \$75,000 non-refundable payment to the Seller within 5 business days of said notification. This \$75,000 is only refundable in the event that the seller defaults. All payments listed above shall be applied to the Purchase Price at closing. If Buyer fails to consummate the transaction as required under the terms of the Contract, Seller shall retain the Deposit as full and final liquidated damages. If Seller fails to consummate the transaction as required under the terms of this contract, the Deposit shall be returned to Buyer and Buyer shall be entitled to such remedies as set forth in the contract, including specific performance. Buyer and seller agree that GAR form 507 will be utilized to govern transfer of all earnest money payments to the Seller's general fund and will be unrestricted.
2. Buyer shall have the right to assign its rights and to delegate its duties under this agreement without notice or consent from Seller.
3. Closing date: On or before February 28, 2020. Additionally, Buyer will have two ninety (90) day extensions, collectively referred to as the Extension Period, of the closing date available upon the payment of additional non-refundable earnest money of \$25,000 each, payable to the seller at the time, which shall be applied to the purchase price.
4. Seller and Buyer shall cause an easement agreement in substantially the same form as attached to be recorded in the Fulton County, GA deed records, at Closing whereby Seller shall grant Buyer an access easement to and from the Property and Sunset Ave. With the execution of this agreement, Buyer and Seller have executed the attached Memorandum of Commercial Purchase and Sale Agreement which shall be recored, at Buyer's expense, in Fulton County, GA deed records.

Buyer's/Tenants Initials: P.L.

Seller's/Landlord's Initials: GM

Selling/Leasing Broker's Initials: PL
(or Broker's Affiliated Licensee)

Listing Broker's Initials: PL
(or Broker's Affiliated Licensee)

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F246, Special Stipulations, 01/01/19

SPECIAL STIPULATIONS

PAGE 2



2019 Printing

These Special Stipulations are part of the Agreement with an Offer Date of 3-11-19
for the purchase and sale of that certain Property known as, 325 SUNSET AVE + 0.514 ACRES,
of 369 N. Central Ave, Hapeville, Georgia _____.

[NOTE: The language set forth in this special stipulation(s) is furnished by the parties and is particular to this transaction.]

5. Assignment: Seller shall have the right to assign (sell) the Contract. The Assignment Agreement would require Assignee to succeed to all of the rights and obligations of the assignor and shall, for all purposes, hereof, be substituted as and deemed the "Seller". The Seller has the right to market this agreement and disclose this agreement to interested parties.
6. In the event that the Buyer does not perform the items listed in the special stipulations section of this agreement, Seller at their discretion, may terminate this agreement by notification to buyer in writing. Buyer has 10 days from notification to remedy.
7. In the event of conflict in language between the contract and its exhibits and the language of the special stipulations, the special stipulations shall take priority.

Buyer's/Tenants Initials: _____

P.L.

Seller's/Landlord's Initials: _____

SM

Selling/Leasing Broker's Initials:
(or Broker's Affiliated Licensee)

PL

Listing Broker's Initials:
(or Broker's Affiliated Licensee)

PL

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F246, Special Stipulations, 01/01/19

EXHIBIT A: LEGAL DESCRIPTION

LEGAL DESCRIPTION

All that certain 2 acres, more or less, tract or parcel of land situated and lying in Land Lot 96, 14th District, Hapeville, Fulton County, Georgia at the intersection of King Arnold Street and Sunset Avenue, as depicted on the drawing attached on the following page and incorporated herein and being portions of that certain real property possessing Tax ID #s 14 009600060133 and 14 009600060125.

The final legal description for the Property shall be modified and finalized according to a survey plat provided by Buyer, approved by Seller, and recorded prior to Closing.

EXHIBIT C: SELLER'S WARRANTIES AND REPRESENTATIONS

(a) **Seller.** Seller represents, warrants and covenants to Buyer and the Title Company, as of the Binding Agreement Date (with such representations and warranties to be re-made as of Closing) that:

(i) Seller has the right, power and authority to enter into this Agreement and to sell the Property in accordance with the terms hereof, and Seller has granted no option to any other person or entity to purchase the Property. The undersigned person executing this Agreement, whether individually or on behalf of an entity, is duly authorized to do so. This Agreement and the consummation of the transaction hereunder by, or on behalf of, Seller have been duly and validly authorized by all necessary parties including, without limitation, members, officers, shareholders, partnerships, corporations or limited liability companies.

(ii) To the best of Seller's knowledge, the Property complies with, conforms to and obeys all laws existing on the date of Closing of all governmental authorities or agencies having jurisdiction over the Property, and any requirement contained in any hazard insurance policy covering the Property or board of fire underwriters or other body exercising similar functions which are applicable to the Property or to any part thereof or which are applicable to the use or manner of use, occupancy, possession or operation of the Property.

(iii) To the best of Seller's actual knowledge, but without additional inquiry, neither the Property nor any portion thereof violates any zoning, building, fire, health, pollution, subdivision, environmental protection or waste disposal ordinance, code, law or regulation or any requirement contained in any hazard insurance policy covering the Property; and Seller shall give prompt notice to Buyer of any such violation which shall be received by Seller prior to Closing.

(iv) Seller has not received notice of and has no knowledge of any suits, judgments, or violations relating to or at the Property of any zoning, building, fire, health, pollution, environmental protection, or waste disposal ordinance, code, law or regulation which has not been heretofore corrected; that there is no suit or judgment presently pending or, to the best knowledge and belief of Seller, threatened which would create a lien upon the Property in the hands of Buyer after Closing; and Seller shall give prompt notice to Buyer of any such suit or judgment filed, entered or threatened prior to Closing.

(v) There are no known pending, threatened or contemplated eminent domain proceedings affecting the Property or any part thereof; and Seller shall give prompt notice to Buyer of any such proceedings which occur or are threatened prior to Closing.

(vi) Seller has not received notice of and has no actual knowledge of pending or contemplated changes in the present status of zoning of the Property, and Seller shall give prompt notice to Buyer of any such proposed changes of which Seller is aware prior to the Closing.

(vii) The Seller is not involved in any bankruptcy, reorganization or insolvency proceeding.

(viii) All taxes, assessments, water charges and sewer charges affecting the Property or any part thereof due and payable at the time of the Closing shall have been, or will be at Closing, paid in full. All current special assessments which are or will become a lien known to

the Seller at the time of Closing on the Property shall also have been paid and discharged at Closing (in pro rata shares between Seller and Buyer), whether or not payable in installments.

(ix) There are no leases affecting the Property, no parties in possession of the Property nor any parties entitled to possession thereof.

(x) All service contracts, if any, (except those specifically approved by Buyer which shall be assigned to Buyer at Closing) shall be terminated and paid in full as of the Closing Date.

(xi) The Property is or will be at Closing, subdivided as an independent and conveyable parcel in accordance with all applicable rules, regulations, zoning and ordinances.

(xii) The Property has or will have prior to Closing, a unique tax parcel number separate from other property owned by Seller.

(xiii) The Property has or will have prior to Closing vehicular and pedestrian access to a public right-of-way, SPECIFICALLY, SUNSET AVENUE.

(xiv) Hazardous Materials. To the best of Seller's knowledge: (i) the Property has not in the past been used and is not presently being used for the handling, storage, manufacturing, refining, transportation or disposal of "toxic material", "hazardous substances" or "hazardous waste"; (ii) there has not been and is not presently leeching or drainage of waste materials or hazardous substances into the groundwater beneath or adjacent to the Property; (iii) no buried, semi-buried or otherwise placed tanks, storage vessels, drums, or containers of any kind located on the Property used for the storage of hazardous waste, hazardous substances or toxic material; (iv) there are no asbestos containing materials located on the Property; (v) no construction material used in any improvements located at the Property contains any substance or material presently known to be a hazardous substance or toxic material; (vi) Seller has not disposed upon the Property any hazardous substances on or below the surface of the Property or within two thousand (2,000) feet of the boundary thereof including, without limitation, contamination of the soil, subsoil or groundwater; and (vii) the Property is not in violation of any law, rule or regulation of any government entity having jurisdiction thereof or which exposes Buyer to liability to third parties. The terms "hazardous waste", "hazardous substances" and "toxic material" include, without limitation, any flammable explosives, radioactive materials, hazardous materials, hazardous wastes, hazardous or toxic substances or related materials defined in the Comprehensive Environmental Response Compensation, and Liability Act of 1980, as amended (42 U.S.C. Sect. 9601 et seq.), the Hazardous Materials Transportation Act, as amended (49 U.S.C. Sect. 5101 et seq.), the Resource Conservation and Recovery Act, as amended (42 U.S.C. Sect. 6901 et seq.), the regulations adopted and publications promulgated pursuant to the foregoing and any other federal, state or local environmental law, ordinance, rule or regulation. Furthermore, Seller has not received a summons, citation, directive, letter or other communication, written or oral, from any governmental authority as to any of the above environmental concerns.

(A) Without limiting the other provisions of this Agreement, Seller shall cooperate, at no cost to Seller, with Buyer's investigation of matters relating to the foregoing provisions of this Section and provide access to and copies of all data and/or documents in Seller's or Seller's agent's possession dealing with potentially hazardous materials used at the Property and any disposal practices followed. Seller agrees that Buyer

may make inquiries of governmental agencies regarding such matters, without liability to Buyer for the outcome of such discussions.

(xv) Seller has provided Buyer true and complete copies of all surveys, appraisals, engineering reports and other related documentation available to Seller and all amounts due for the services performed for the same have been paid in full.

(xvi) While this Agreement is in effect, Seller shall not solicit, accept or negotiate other offers with respect to the Property or execute any deeds, easements, rights-of-way affecting the Property or subject the Property to any additional covenant, easement, restriction or encumbrance.

(xvii) Nondisclosure of Information. In consideration of, and as a material inducement to, Buyer entering into this Agreement, Seller agrees not to disclose or permit disclosure of this Agreement, the parties involved in the Project, or any Information to third parties or to employees of Seller other than attorneys, consultants and agents who are required to have the information in order to carry out the discussions regarding this Agreement and have entered into similar confidentiality agreements. The Seller agrees that it shall take all necessary measures to protect the secrecy of and avoid disclosure or use of Information of Buyer in order to prevent such Information from falling into the public domain or the possession of persons other than those persons authorized under this Agreement to have any such information. The provisions of this Section shall survive the Closings or any expiration or termination of this Agreement. "Information" includes, without limitation, plans, specifications, drawings, designs, financial information, reports, contracts, emails, names of parties involved, and all record-bearing media (electronic or otherwise) containing or disclosing such information.

**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

Name of Applicant ~~Will Bryant~~ Will Bryant
Mailing Address: 434 Marietta St. NW Atlanta GA
Telephone 678 944 049 Mobile # _____ Email wbryant@mcmillanpazdanzsmith.com
Property Owner (s) Al Collins (Fulton County)
Mailing Address 1836 Conally Drive East Point GA 30344
Telephone 404-730-1822 Mobile # _____
Address/Location of Property: 525 King Arnold St. Hapeville GA
14 0095 LLO701 / 14 0095 LLO131

Parcel I.D. # **(INFORMATION MUST BE PROVIDED):** _____

Present Zoning Classification: Village Size of Tract: _____ acre(s)

Present Land Use: Library

Please check the following as it applies to this application

☒ Site Plan Review
☐ Conditional Use Permit
☐ Temporary Use Permit
Other (Please State) _____

I hereby make application to the City of Hapeville, Georgia for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves the right to enforce any and all ordinances. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered too. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

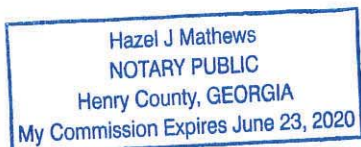
[Signature]
Applicant's signature

Date: 2/17/2019

Sworn to and subscribed before me

This 02 day of Feb., 2019.

Hazel J Mathews
Notary Public



CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION

WRITTEN SUMMARY

In detail, provide a summary of the proposed project in the space provided below. (Please type or print legibly.)

The proposed project is to provide a new library for the constituents of the City of Hapeville by the Fulton County Library System. The existing library has structural & functional problems that prohibit its continued use and renovation. As such the Fulton County Library System has elected to construct a new 5,850 sq ft facility. The building has been designed to move closer to the street, and provide a unique public building specifically for Hapeville. Additional parking will be constructed behind the library to help serve need at the adjacent park, senior center, and future Hapeville Health Center. The parking lot currently is being designed with pervious pavement to address water quality & quantity. Landscaping (still in development) will feature indigenous plantings requiring no irrigation. The project will be a LEED project featuring windows for daylighting, bike racks, preferred parking for low emitting vehicles, and reduced heat island strategies.

**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

525 King Arnold Street

Hapeville, GA

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant

Will Bryant

Address of Applicant

434 Marietta St. NW Atlanta, GA

Telephone of Applicant

678 944 0149



Signature of Owner

ALFRED COLLINS

Print Name of Owner

Personally Appeared Before Me this 02 day of Feb, 2019.

Hazel J Mathews
Notary Public

Hazel J Mathews
NOTARY PUBLIC
Henry County, GEORGIA
My Commission Expires June 23, 2020

Site Plan Checklist – Please include with your application.

A site plan is used to determine the practical ability to develop a particular property within the City of Hapeville. Information relating to environmental condition, zoning, development impact, consistency with the Hapeville Comprehensive Plan and relevant town master plans will be considered in the decision process. To be considered, a site plan **must** contain the following information:

(Please **initial** each item on the list above certifying the all required information has been included on the site plan)

- ☒ A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. Please complete and submit all forms contained within the application for site plan review.
- ☒ Site plans shall be submitted indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn.
- ☒ The locations, size (sf) and height (ft) of all existing and proposed structures on the site. Height should be assessed from the base of the foundation at grade to the peak of the tallest roofline.
- ☒ Site plans shall include the footprint/outline of existing structures on adjoining properties. For detached single-family residential infill development, the front yard setback shall be assessed based on the average setback of existing structures on adjoining lots. Where practical, new construction shall not deviate more than ten (10) feet from the average front yard setback of the primary residential structure on an adjoining lot. Exemption from this requirement due to unnecessary hardship or great practical difficulty can be approved at the discretion of the Planning Commission. To be considered for an exemption, the applicant must submit a "Request for Relief" in writing with their site plan application, including the conditions that necessitate relief (i.e. floodplain, wetland encroachment, excessive slope, unusual lot configuration, legally nonconforming lot size, unconventional sitting of adjoining structures, etc).

WAB
X

The location and general design cross-section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances. A walkway from the primary entrance directly to the public sidewalk is required for all single-family residential development.

WAB
✓

The locations, area and number of proposed parking spaces. Please refer to Article 22.1 Chart of Dimensional Requirements to determine the correct number of parking spaces for your particular type of development.

WAB
✓

Existing and proposed grades at an interval of five (5) feet or less.

✓

in progress

The location and general type of all existing trees over six (6) inch caliper and, in addition, an identification of those to be retained. Requirements for the tree protection plan are available in Code Section 93-2-14(f). Please refer to Sec. 93-2-14(y) to determine the required tree density for your lot(s).

✓

in progress

A Landscape Plan: The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in Section 93-23-18.

WAB
✓

The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed, outdoor furniture (seating, lighting, telephones, etc.). Detached single-family residential development may be exempt from this requirement.

WAB
✓

The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms. Detached single-family residential development may be exempt from this requirement.

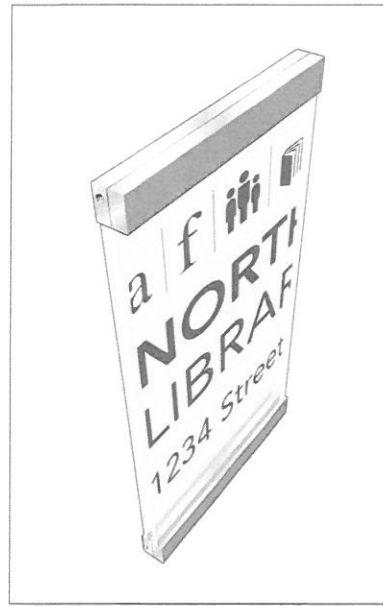
WAB
✓

The identification and location of all refuse collection facilities, including screening to be provided. Detached single-family residential development may be exempt from this requirement.

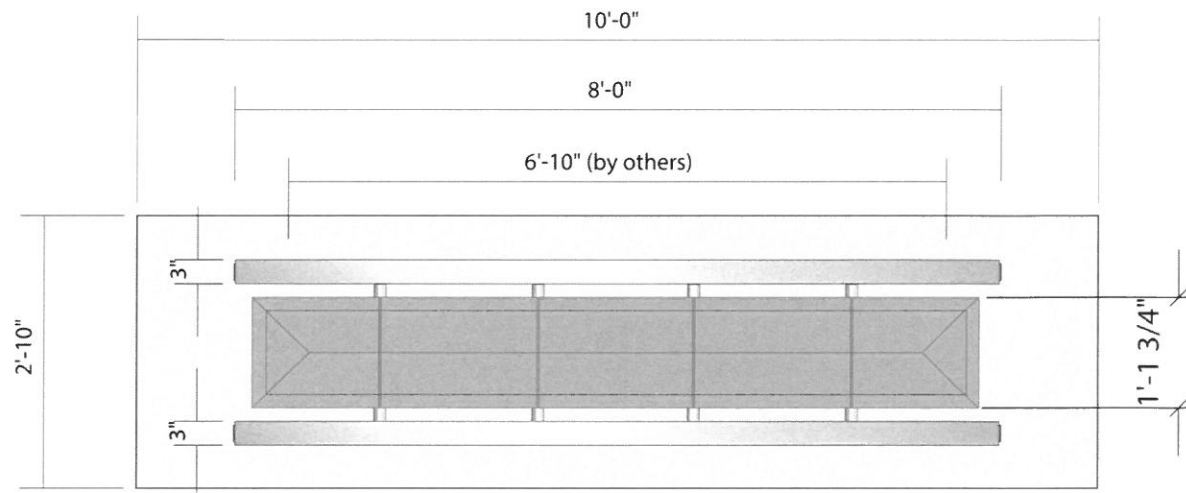
- WHB
Provisions for both on-site and offsite storm-water drainage and detention related to the proposed development.
- WHB
Location and size of all signs. Detached single-family residential development may be exempt from this requirement.
- WHB
Typical elevations of proposed building provided at a reasonable scale (1/8" = 1'0") and include the identification of proposed exterior building materials. Exterior elevations should show all sides of a proposed building.
- WHB
Site area (square feet and acres).
- WHB
Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.
- WHB
Floor area in nonresidential use by category. Detached single-family residential development may be exempt from this requirement.
- WHB
Total floor area ratio and/or residential density distribution.
- WHB
Number of parking spaces and area of paved surface for parking and circulation
- WHB
At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, storm water and erosion control, etc. of the proposed development.

Please **initial** each item on the list above certifying the all required information has been included on the site plan, sign and submit this form with your site plan application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Applicant Signature: W. B. F.
Date 2/1/2019



SAMPLE MONUMENT SIGN, MATERIALS AND COLORS TBD
SEE ARCHITECTURAL SITE PLAN (A010) FOR LOCATION



2 Sign Type X1.2 - Detail
SG.X.01 (NTS)

1 Sign Type X1.2 - Plan View
SG.X.01 (1/2" = 1'-0")

Green standing seam metal roof material to match the roof of building.

M01 1/2" thk.glass panel; first surface clear; left and right return, and second surface sandblasted.
(See detail at right.)

Second surface graphics etched and filled with opaque paint.

P02

P01

Narrow beam, high intensity white LED edge lighting (top and bottom)

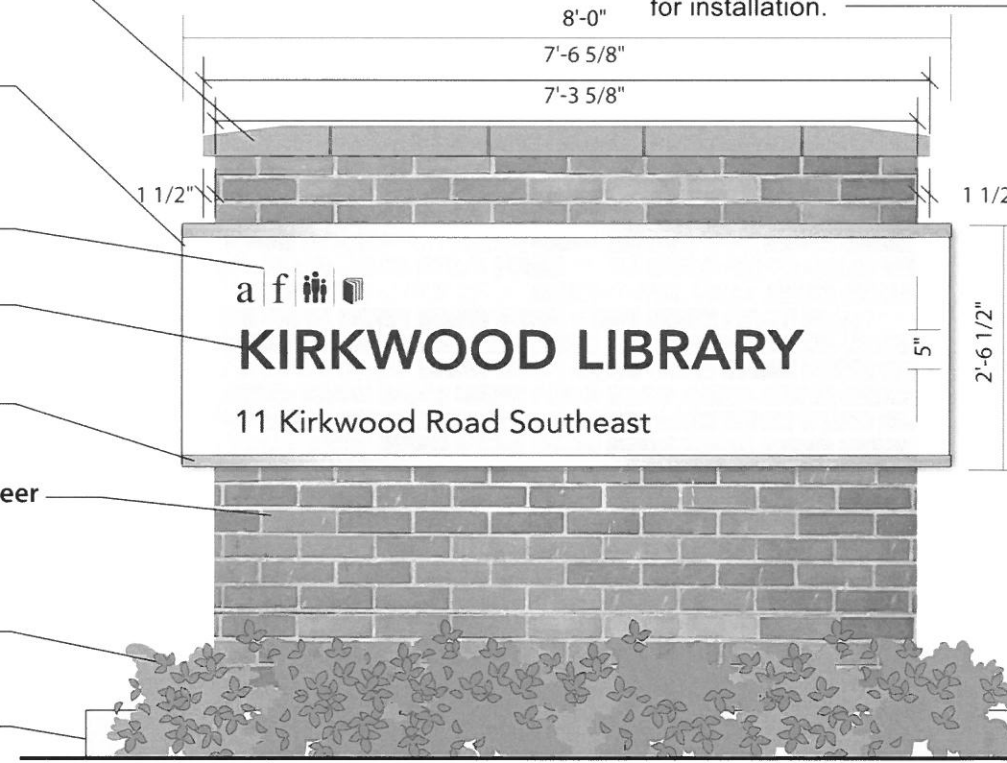
Base material: CMU Core with Brick Veneer
See AE drawing

Treat masonry with graffiti proof coating.

Landscaping
(by others)

Poured concrete base and foundation

NOTE: General contractor to coordinate embeds with sign fabricator to provide mounting method for installation.



3 Sign Type X1.2 - Main ID - Freestanding (horizontal)
SG.X.01 (1/2" = 1'-0")

NOTE: General contractor to coordinate embeds with sign fabricator to provide mounting method for installation.

M01 1/2" thk.glass panel; first surface clear; left and right return, and second surface sandblasted.

P07 Graffiti coat, first surface.

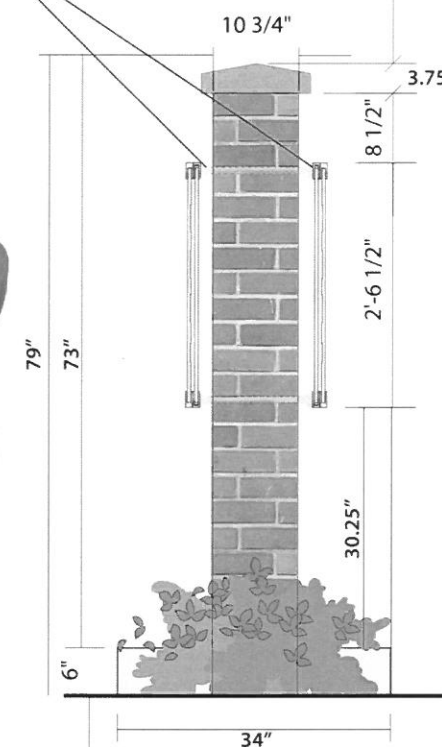
Second surface graphics via etched and filled with opaque paint.

M02 Etched glass panel

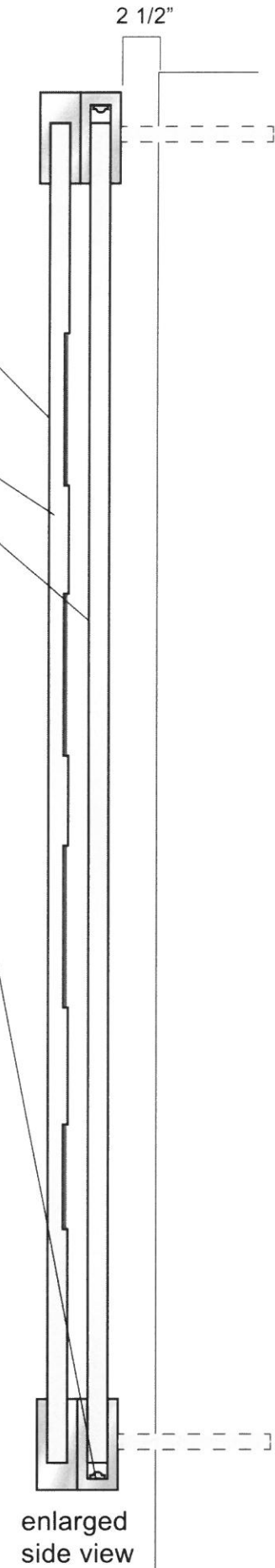
Narrow beam, high intensity white LED edge lighting (top and bottom)
Traxon Nano neutral white, 36 watt with photo cell sensor or similar.

Assembly weight (each side):
(*)280lbs

Required power:
Standard line voltage from 110 V - 277 V single phase.



4 Sign Type X1.2 - Side View
SG.X.01 (1/2" = 1'-0")



Customer:
FCLS

Project:
FCLS Monument
Kirkwood Library

Salesperson:
Don

Designer:
Josh

Date: 8/31/2018

Details:

All details noted at left.

Drawing is on scale
(1/2" = 1')

Address:
11 Kirkwood Road SE
Atlanta, GA 30317

File Name:
Kirkwood Library_1



LANDSCAPE DEVELOPMENT PLAN
FOR

HAPEVILLE
LIBRARY

HAPEVILLE, GA

PREPARED FOR:

FULTON COUNTY LIBRARY
SYSTEM

HAPEVILLE, GA

03/01/19

DRAWING INDEX

- HS-1 NOTES AND ABBREVIATIONS
HS-2 HARDSCAPE IMPROVEMENT PLAN
HS-3 LAYOUT PLAN
HS-4 GRADING AND DRAINAGE PLAN
HS-5 HARDSCAPE DETAILS
LS-1 LANDSCAPE IMPROVEMENT PLAN
LS-2 LANDSCAPE DETAILS

SYMBOLS:

	EXISTING TREE LOCATION
	COORDINATE POINTS
	NORTHINGS / EASTING POINT
	PROPOSED TREE LOCATION
	HIGH POINT / LOW POINT
	LIGHT FIXTURE (POLE LIGHT)
	LIGHT FIXTURE (PATHWAY / BOLLARD LIGHT)
	AREA DRAIN
	AREA DRAIN REFERENCE NUMBER
	SUBSURFACE DECK DRAIN
	PROPERTY LINE / RIGHT-OF-WAY
	EASEMENT LINE
	DRAINAGE SWALE
	STORM DRAIN LINE
	CENTERLINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	LIMIT OF WORK
	MATCHLINE
	ELEVATION REFERENCE
	SECTION REFERENCE
	DETAIL REFERENCE
	TITLES
	DIMENSION TO FACE OF MATERIAL OR CENTERLINE

MATERIALS LEGEND:

	TOPSOIL BACKFILL D-SOIL-PATT EARTH SCALE 1/4" = 1' COLOR 30
	UNDISTURBED SUBGRADE / COMPACTED SUBGRADE / SOIL D-SOIL-PATT EARTH SCALE 1/4" = 1' COLOR 30
	SAND / MORTAR D-SOIL-PATT AIR-SAND SCALE 1/4" = 1' COLOR 30
	MULCH / ASPHALT BINDER COURSE D-SOIL-PATT AIR-SAND SCALE 1/4" = 1' COLOR 30
	CAST-IN-PLACE CONCRETE D-SOIL-PATT AIR-CONC SCALE 1/4" = 1' COLOR 30
	ARCHITECTURAL PRECAST CONCRETE D-SOIL-PATT AIR-CONC SCALE 1/4" = 1' COLOR 30
	CONCRETE MASONRY UNIT D-SOIL-PATT AIR-CONC SCALE 1/4" = 1' COLOR 30
	BRICK / ASPHALT SURFACE COURSE D-SOIL-PATT AIR-SAND SCALE 1/4" = 1' COLOR 30
	BRASS / BRONZE / COPPER D-SOIL-PATT AIR-SAND SCALE 1/4" = 1' COLOR 30
	STEEL D-SOIL-PATT AIR-SAND SCALE 1/4" = 1' COLOR 30
	PLYWOOD D-SOIL-PATT AIR-SAND SCALE 1/4" = 1' COLOR 30
	SHIM D-SOIL-PATT AIR-SAND SCALE 1/4" = 1' COLOR 30
	PEA GRAVEL D-SOIL-PATT AIR-SAND SCALE 1/4" = 1' COLOR 30
	EXCAVATED SOIL D-SOIL-PATT AIR-SAND SCALE 1/4" = 1' COLOR 30
	CULTIVATED SOIL / SOIL BACKFILL D-SOIL-PATT AIR-SAND SCALE 1/4" = 1' COLOR 30
	PLANTING SOIL MIX D-SOIL-PATT AIR-SAND SCALE 1/4" = 1' COLOR 30
	COMPACTED SUBBASE D-SOIL-PATT AIR-SAND SCALE 1/4" = 1' COLOR 30
	DRAINAGE GRAVEL D-SOIL-PATT AIR-SAND SCALE 1/4" = 1' COLOR 30
	TERRAZZO D-SOIL-PATT AIR-SAND SCALE 1/4" = 1' COLOR 30
	STONE D-SOIL-PATT AIR-SAND SCALE 1/4" = 1' COLOR 30
	SEALANT & JOINT FILLER D-SOIL-PATT AIR-SAND SCALE 1/4" = 1' COLOR 30
	PREFORMED JOINT FILLER D-SOIL-PATT AIR-SAND SCALE 1/4" = 1' COLOR 30
	ALUMINUM D-SOIL-PATT AIR-SAND SCALE 1/4" = 1' COLOR 30
	FINISHED WOOD D-SOIL-PATT AIR-SAND SCALE 1/4" = 1' COLOR 30
	ROUGH WOOD D-SOIL-PATT AIR-SAND SCALE 1/4" = 1' COLOR 30
	SHARP SCREENINGS / CONCRETE SAND D-SOIL-PATT AIR-SAND SCALE 1/4" = 1' COLOR 30
	PLASTIC D-SOIL-PATT AIR-SAND SCALE 1/4" = 1' COLOR 30

GENERAL GRADING NOTES:

- THE CONTRACTOR SHALL COMPLY WITH ALL EROSION CONTROL REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL COMPLY WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION TO MAINTAIN STABLE AND SAFE EXCAVATIONS.
- THE CONTRACTOR SHALL INSTALL TREE PROTECTION FENCE INDICATED ON THE DRAWINGS PRIOR TO COMMENCING GRADING WORK. LEAVE PROTECTION IN PLACE AND MAINTAIN UNTIL CONSTRUCTION WORK HAS BEEN COMPLETED AND ALL DANGER OF DAMAGE HAS PASSED OR AS OTHERWISE DIRECTED BY THE OWNER.
- GRADING AND CONSTRUCTION IN PROXIMITY OF EXISTING TREES INDICATED ON THE DRAWINGS TO REMAIN OR WITHIN TREE PROTECTION AREAS SHALL BE DONE WITH EXTREME CARE SO AS NOT TO DAMAGE THE ROOT SYSTEM OF TREES AND TO COMPACT SOIL IN THE AREA.
- NO GRADING AND CONSTRUCTION IS TO OCCUR WITHIN A 10 FOOT RADIUS FROM ANY TREE TRUNK.
- FINISH GRADING IN TREE PROTECTION AREA INDICATED ON THE DRAWINGS SHALL BE DONE UNDER DIRECT SUPERVISION OF THE LANDSCAPE ARCHITECT IN THE FIELD. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT 48 HOURS PRIOR TO THIS SITE VISIT.

GENERAL LAYOUT NOTES:

- BASE TOPOGRAPHICAL AND EXISTING CONDITIONS TAKEN FROM DRAWINGS FURNISHED BY KIMLEY HORN AND ASSOCIATES, CIVIL ENGINEER.
- DRAWINGS PREPARED FROM CIVIL AND ARCHITECTURAL DRAWINGS, NOT AS-BUILT DATA PREPARED BY TVS ARCHITECTS, AND PREPARED BY KIMLEY HORN AND ASSOCIATES, CIVIL ENGINEER.
- DO NOT SCALE THESE DRAWINGS.
- UTILITY WORK IS NOT INDICATED ON THIS DRAWING. REFER TO CIVIL DRAWINGS FOR WORK RELATED TO UTILITIES.
- ALL CURVES TO BE TRUE RADII WITHOUT STRAIGHT SEGMENTS.
- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE FROM BACK OF CURB, TO FACE OF WALL, TO OUTSIDE EDGE OF PAVEMENTS, FROM COLUMN CENTERLINES TO HARDSCAPE CENTERLINES, TO CENTERLINE OF PAVEMENTS, TO OUTSIDE EDGE OF PAVEMENTS, TO CENTERLINES OF STAIRS, FROM EDGE OF PAVEMENT TO FACE OF WALL.
- CHANGES IN LAYOUT MAY BE MADE AT THIS TIME TO ACCOMMODATE DESIGN INTENT OR FIELD CONDITIONS. NO ADDITIONAL PAYMENT WILL BE MADE TO THE CONTRACTOR FOR THIS WORK.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- NOTIFY THE OWNER OR LANDSCAPE ARCHITECT IN WRITING OF CONDITIONS ENCOUNTERED IN THE FIELD CONTRADICTORY TO THOSE SHOWN ON THE DRAWINGS.
- ALL WALLS, COLUMNS, SIDEWALKS, PATHWAYS, FENCES AND STAIRWAYS SHALL BE COMPLETELY LAID OUT AND STAKED WITH VISIBLE MARKERS. THE STAKES SHALL BE APPROVED IN THE FIELD BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT 48 HOURS PRIOR TO SITE VISIT.
- BENCH AND LITTER RECEPTACLE LAYOUT SHOWN IS APPROXIMATE. LAYOUT TO BE APPROVED IN THE FIELD BY LANDSCAPE ARCHITECT.

SHEET ISSUE	NO	DATE	DESCRIPTION	BY
	03/01/2019	100% CONSTRUCTION DOCUMENTS		

SHEET TITLE
HARDSCAPE
IMPROVEMENTS

SHEET NO
HS-1

PROJ NO
017306.00

FULTON COUNTY LIBRARY SYSTEM

HAPEVILLE LIBRARY

525 KING ARNOLD STREET
HAPEVILLE, GA



THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT. THEY ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS PROHIBITED. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. THE USER ASSUMES ALL LIABILITY FOR ANY SUCH ERRORS OR OMISSIONS. THESE PLANS ARE NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

NOTE: ELECTRONIC FILES WILL BE PROVIDED
TO CONTRACTORS FOR USE IN FIELD LAYOUT



SHEET TITLE
LAYOUT PLAN

SHEET NO.

HS-3

PROJ. NO.

017506.00

NO.	DATE	DESCRIPTION	BY
03/12/2019	100% CONSTRUCTION DOCUMENTS		

FULTON COUNTY LIBRARY SYSTEM

HAPEVILLE LIBRARY

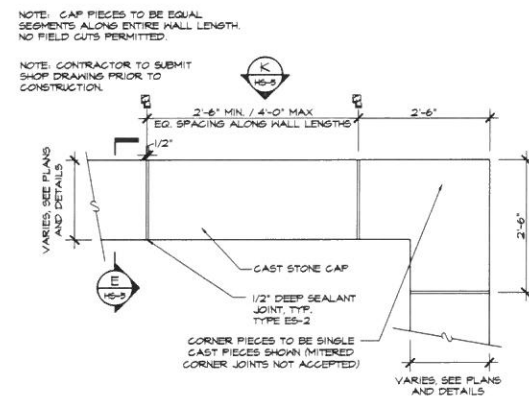
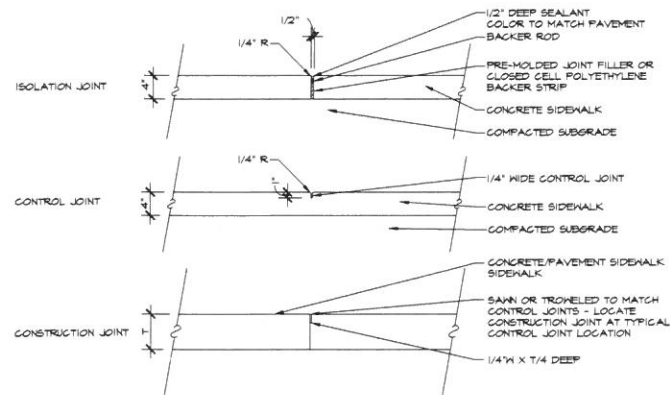
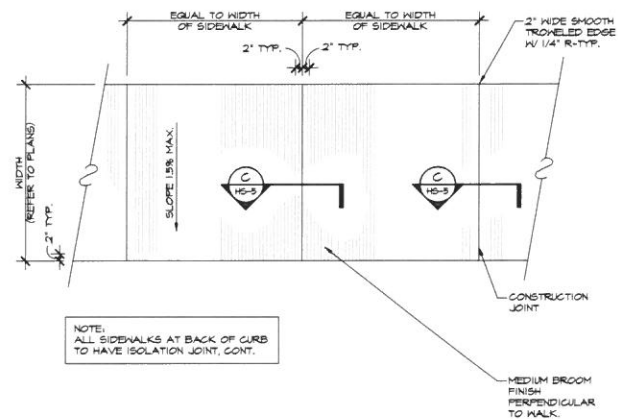
525 KING ARNOLD STREET
HAPEVILLE, GA

FIGOR
REGISTERED ARCHITECT
No. 902
ROBERT T. WUONES



mcmillan pazdan smith
ARCHITECTURE

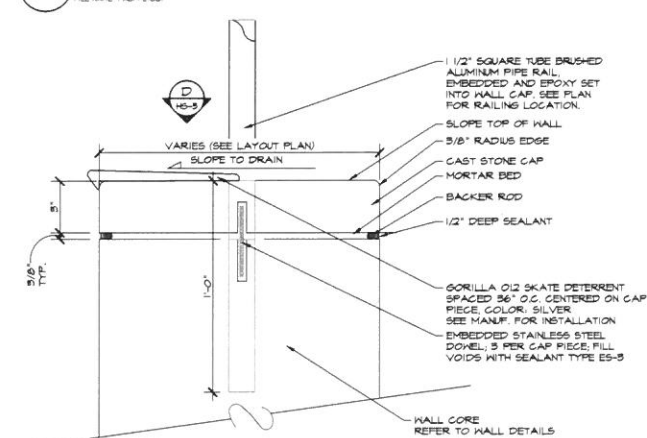
ARCHITECTS • INTERIORS • EXTERIORS • GRAPHICS • SPECIALTIES
4335 HUNTERS HILL ROAD, SUITE 100, BENTON, MS 39207-1000
(662) 386-1000



B CONCRETE SIDEWALK - PLAN
HS-5 SCALE 1/2"=1'-0"
P.L. NAME: FAC# 100

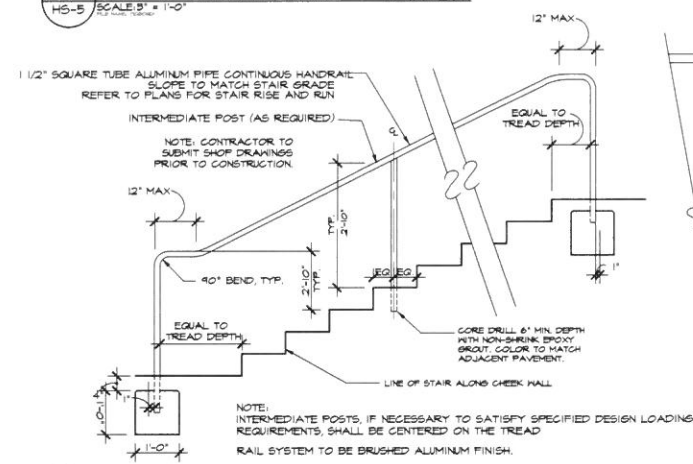
CONCRETE PAVEMENT/SIDEWALK ISOLATION, CONTROL, CONSTRUCTION JOINT SECTIONS

CAST STONE
WALL CAP - PARTIAL PLAN
HS-5 SCALE: 3/4" = 1'-0"



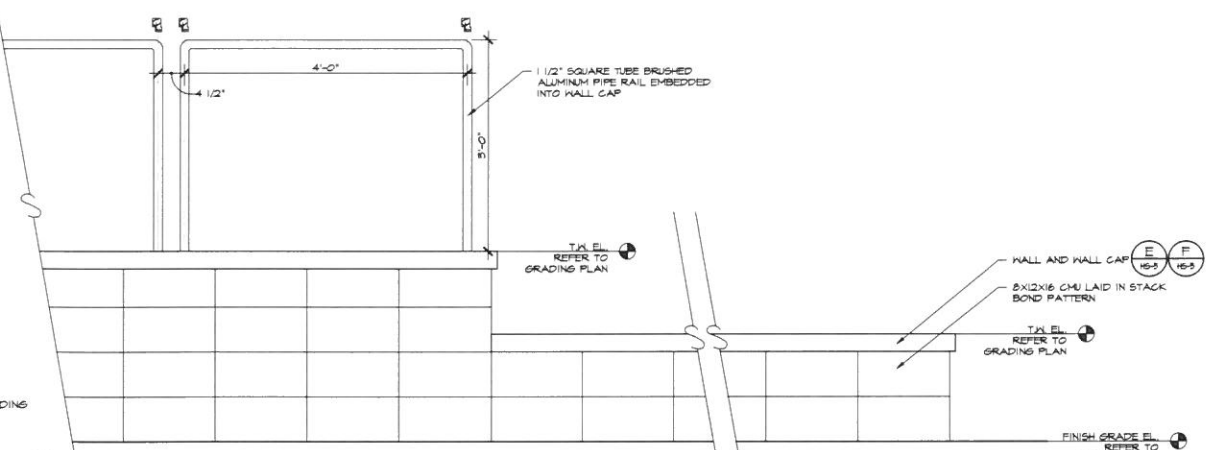
E RETAINING WALL - SECTION
HS-5 SCALE: 1" = 1'-0"

F CAST STONE WALL CAP - SECTION
HS-5 SCALE: 3" = 1'-0"

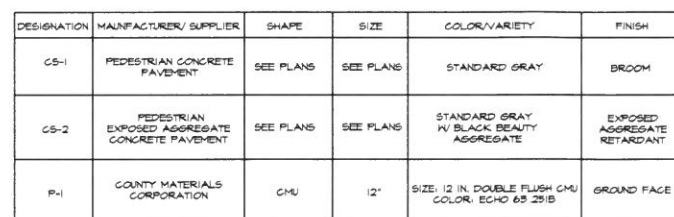


HS-5 CIP CONCRETE STAIR - SECTION
SCALE: 1" = 1'-0"


STAIR HANDRAIL - ELEVATION
 SCALE: N.T.S.

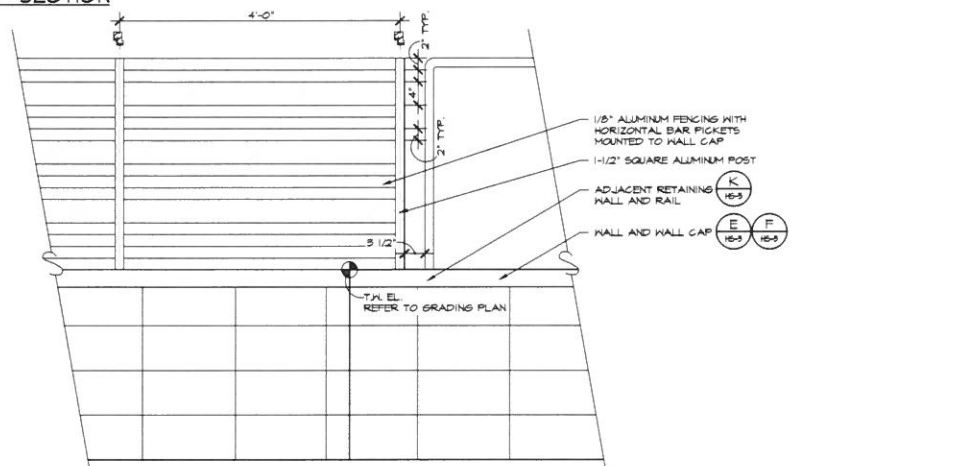


K RETAINING WALL - SECTION
HS-5 SCALE: 1" = 1'-0"

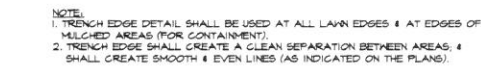
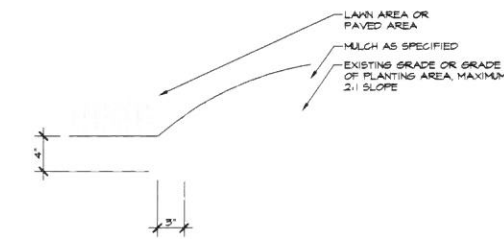
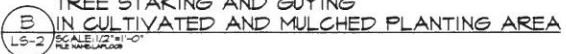
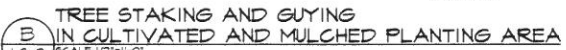
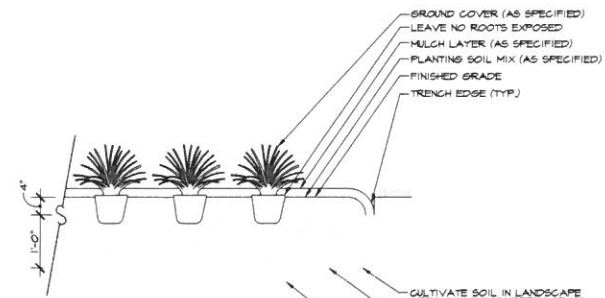
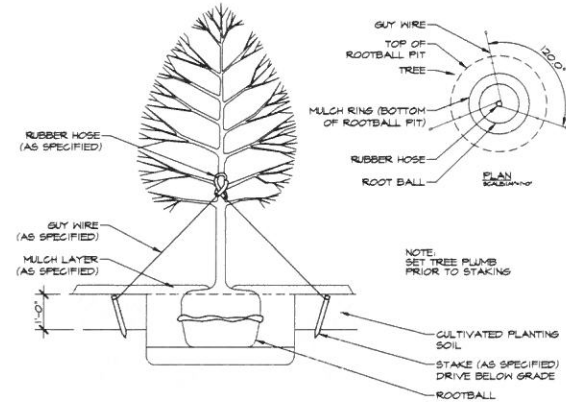


M PERPENDICULAR CURB RAMP
HS-5 SCALE: N.T.S.

N MATERIALS SCHEDULE
HS-5 SCALE: 1"=1'-0"



0 TRASH BIN AREA SCREEN - ELEVATION
HS-5 SCALE: 1" = 1'-0"



QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOT	COMMENT
5	<i>Quercus emula</i>	White Oak	B 5-4	6-8	6-8	B4B	Single straight trunk, dense, uniform branching, single central leader
102	<i>Desfontainia Virgata</i>	Virgata Jade Plant		5-6	6-24	5-30	Dense form, good color, well rooted in pot
33	<i>Gardenia odoratissima</i>	August Beauty, Gardenia		6-24	6-24	5-30	Dense form, good color, well rooted in pot
44	<i>Tex. cornuta</i>	Cornea Holly		4-2	12-5	5-30	Dense form, good color, well rooted in pot
42	<i>Vaccinium corymbosum</i>	Ma. Sierrens Dwarf Vaym		12-5	5-6	5-30	Dense form, good color, well rooted in pot
6-8	<i>Azalea graminifolia</i>	Grass Azalea				10-12	Trunk, rooted in soil, dense, compact growth
48-900	<i>Quercus laevis</i>	T.T.T. - Burr Oak Grass				30	
B&B 6-8		HARDWOOD MULCH					Gentle curve, fine, dense, good color

70800 05-12-2018

mcmillan pazdan | smith
ARCHITECTURE

38415



FULTON COUNTY LIBRARY SYSTEM

HAPEVILLE LIBRARY

525 KING ARNOLD STREET
HAPEVILLE, GA

NO	DATE	DESCRIPTION	BY
	03/01/2019	100% CONSTRUCTION DOCUMENTS	

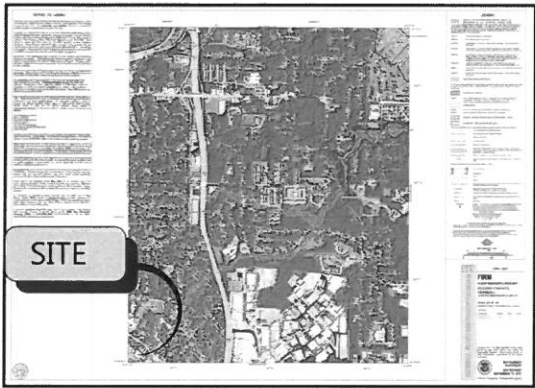
SHEET TITLE
LANDSCAPE
DETAILS

SHEET NO. PROJ. NO.
017506.00

LS-2



VICINITY MAP
N.T.S.



FEMA MAP

NOTE: BASED ON GRAPHIC DETERMINATION, THIS PROPERTY DOES NOT
LIE IN A F E M A / F I R M SPECIAL FLOOD HAZARD AREA (ZONE "X"), PER
COMMUNITY PANEL NO. 13121C0367F DATED 9/18/13.

HAPEVILLE LIBRARY
TOTAL SITE AREA: 19.02 AC.
ZONING: V - VILLAGE

DEVELOPMENT TEAM

ARCHITECT
MCMILLAN PAZDAN SMITH ARCHITECTURE
434 MARIETTA STREET NW SUITE 105
ATLANTA, GEORGIA 30313
PHONE: 678-251-4602
CONTACT: JOE ALCOCK

CIVIL ENGINEER
ATWELL, LLC
1255 LAKES PKWY
BUILDING 100, SUITE 120
LAWRENCEVILLE, GA 30043
PHONE: (866) 850-4200
CONTACT: THEO STONE

SURVEYOR
ATWELL
1255 LAKES PARKWAY
BUILDING 100, SUITE 120
LAWRENCEVILLE, GA 30043
PHONE: (866) 850-4200
CONTACT: DAVID ANDERSON

OWNER
ATLANTA-FULTON PUBLIC LIBRARY
ONE MARGARET MITCHELL SQUARE
ATLANTA, GA 30303
PHONE: 404-762-4065

GOVERNING AGENCIES AND UTILITY CONTACTS

PLANNING AND ZONING
CITY OF HAPEVILLE
3468 N. FULTON AVE
HAPEVILLE, GA 30354
PHONE: 404-669-2100
CONTACT: LEM EUBANKS

WATER & SEWER
CITY OF HAPEVILLE
3468 N. FULTON AVE
HAPEVILLE, GA 30354
PHONE: 404-669-2100

SITE DEVELOPMENT PLANS FOR HAPEVILLE LIBRARY

KING ARNOLD STREET
CITY OF HAPEVILLE, FULTON COUNTY, GEORGIA
TAX PARCELS: 14 0095



PROPOSED SITE
N.T.S.

SUBMITTAL DATE
SUBMITTAL - 2/19/19

PROJECT NARRATIVE

PROPOSED LIBRARY WITH ASSOCIATED PARKING AND SUBSURFACE
INFRASTRUCTURE AS REQUIRED.

NOTES

THE APPROVAL OF THESE PLANS AND THE ISSUANCE OF THIS LAND DISTURBANCE PERMIT DOES NOT IN ANY WAY SUGGEST THAT ALL OTHER REQUIREMENTS FOR THE LEGAL OR APPROPRIATE OPERATIONS FOR THIS ACTIVITY, WHICH MAY REQUIRE ADDITIONAL PERMITTING HAVE BEEN MET. THE ONUS IS ON THE OWNER/DEVELOPER/BUILDER TO DISCOVER WHAT ADDITIONAL PERMITTING OR APPROVALS MAY BE NECESSARY TO OPERATE FROM THIS POINT IN AN APPROPRIATE AND LEGAL MANNER. PLAN APPROVAL OR PERMIT ISSUANCE DOES NOT ABSOLVE THE APPLICANT FROM COMPLYING WITH ALL APPLICABLE LAWS, STANDARDS, OR OTHER PERMITS WHICH MAY BE REQUIRED FOR THIS PROJECT.

ATTENTION IS DRAWN TO THE FACT THAT THE SCALE OF THESE DRAWINGS MAY HAVE BEEN DISTORTED DURING THE REPRODUCTION PROCESS.

IF ANY CONFLICTS, DISCREPANCIES OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED



AERIAL MAP
N.T.S.

SITE AREA	
TOTAL PROPERTY AREA:	19.02± AC (828511± S.F.)
DISTURBED AREA:	0.94± AC (40946 400000± S.F.)
IMPERVIOUS AREA:	0.67± AC (29185 200000± S.F.)
PERVIOUS AREA:	0.64± AC (27878 400000± S.F.)
ZONING CLASSIFICATION	
JURISDICTION:	CITY OF HAPEVILLE / FULTON COUNTY
ZONING:	V - VILLAGE
ADJACENT ZONING:	V - VILLAGE
BUILDING SETBACKS	
FRONT:	15
SIDE:	15
REAR:	15
BUILDING SUMMARY	
PROPOSED BUILDING AREA:	5,975 SF
BUILDING AREA LIMIT:	
BUILDING HEIGHT LIMIT:	35' / 2.5 STORIES
PARKING SUMMARY	
PARKING REQUIREMENTS:	30 SPACES MIN.
PARKING PROVIDED:	31 SPACES (2 H.C., 1 VAN)
LANDSCAPING SUMMARY	
PARKING ISLANDS:	6 X 18 - 1 PER 10 SPACES
FRONT LANDSCAPE BUFFER:	----
SIDE LANDSCAPE BUFFER:	----
REAR LANDSCAPE BUFFER:	----

Sheet List Table	
Sheet Number	Sheet Title
C-0	COVER
C-0.1	GEN NOTES
1 OF 1	SURVEY BY ATWELL
C-1.0	DEMOLITION PLAN
C-2.0	ESPCP PHASE 1
C-2.1	ESPCP PHASE 2
C-2.2	ESPCP PHASE 3
C-2.3	ESPCP NOTES
C-2.4	ESPCP NOTES
C-2.5	EROSION DETAILS
C-2.6	EROSION DETAILS
C-2.7	EROSION DETAILS
C-2.8	EROSION DETAILS
C-3.0	SITE PLAN
C-4.0	GRADING PLAN
C-5.0	UTILITY PLAN
C-6.0	STORM PROFILES AND CROSS SECTIONS
C-7.0	CONSTRUCTION DETAILS
C-7.1	CONSTRUCTION DETAILS
C-7.2	CONSTRUCTION DETAILS
C-7.3	CONSTRUCTION DETAILS



Know what's below.
Call before you dig.

THE LOCATION OF UTILITIES LOCATED BY
UTILITIES ARE SHOWN IN AN APPROXIMATE
MAP ONLY AND ARE NOT BEING
INDEPENDENTLY VERIFIED BY THE OWNER OR ITS
SUPERVISOR. THE CONTRACTOR SHALL
INDEPENDENTLY VERIFY THE LOCATION OF ALL
EXISTING UTILITIES BEFORE COMMENCING
WORK AND AGREE TO BE FULLY RESPONSIBLE
FOR ANY AND ALL DAMAGES WHICH MAY BE
OCCASIONED BY THE CONTRACTOR'S FAILURE TO
VERIFY UTILITIES AND PROCEED WITH ANY AND ALL
UNDERGROUND UTILITIES.

NOTICE
CONSTRUCTION SITE SAFETY IS THE SOLE
RESPONSIBILITY OF THE CONTRACTOR. NOTWITH-
STANDING, THE OWNER NOW THEREAFTER WILL
BE RESPONSIBLE TO MAINTAIN AN APPROPRIATE
SAFETY OF THE WORK OF PERSONS ENGAGED IN
THE WORK OF ANY NEARBY TRAIL LINES OR OF
ANY OTHER PERSONS.

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24 HOUR
EMERGENCY CONTACT
JOE ALCOCK
678-251-4602

ATWELL
866.850.4200 www.atwell-group.com
1255 LAKES PARKWAY, BUILDING 100, SUITE 120
LAWRENCEVILLE, GA 30043
866.850.4200



COA # PE 005804

LL95 14TH DISTRICT

KING ARNOLD STREET

CITY OF HAPEVILLE

FULTON COUNTY, GEORGIA

MCMILLAN PAZDAN SMITH ARCHITECTURE

HAPEVILLE LIBRARY

SITE DEVELOPMENT PLANS

COVER

DATE

2/19/19

REVISIONS



CSWCC LEVEL #

CERT. NO. 0000021547

DRAWN BY: TS

CHECKED BY: TS

PROJECT MANAGER: THEO STONE

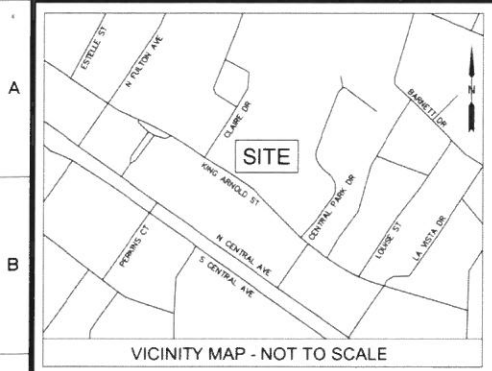
JOB # 17003047

FILE CODE: FILE CODE

SHEET NO.

C-0

BOTTOM RIGHT

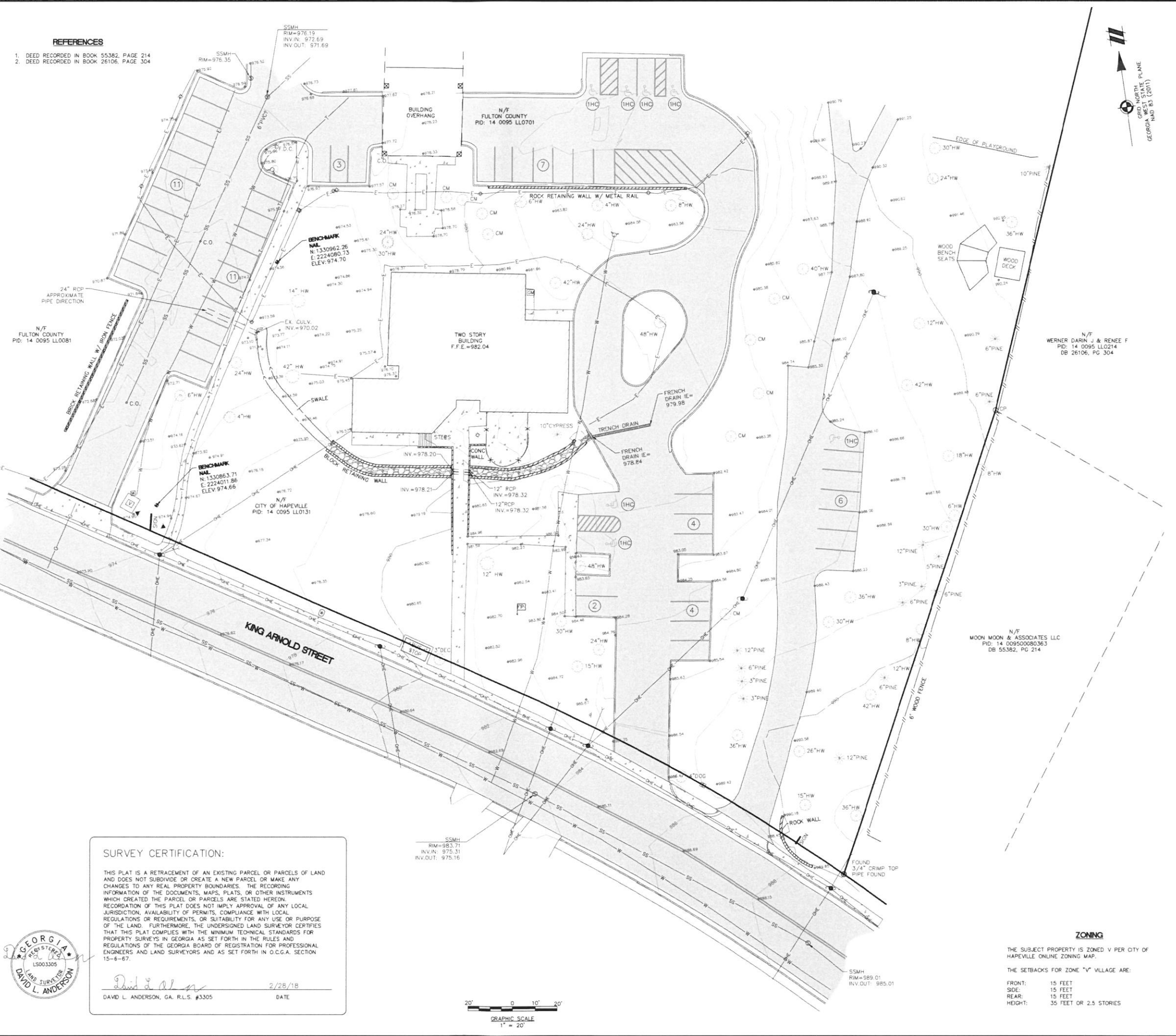


DATUMS

Horizontal: Grid North, NAD83, West Zone (North American Datum of 1983), U.S. Survey Foot, Fulton County, Georgia.
Vertical: NAVD88 (North American Vertical Datum of 1988)
Geoid: Geoid12A Conus

- SURVEY NOTES**
- All easements and rights of way of which the surveyor has knowledge are shown hereon; others may exist of which the surveyor has no knowledge and of which there is no observable evidence.
 - The property shown hereon is subject to all easements and restrictions of record both written and unwritten.
 - According to the Flood Insurance Rate Map (FIRM) for Fulton County, Georgia, (Community-panel number 13121C 0367 F, dated Sept. 18, 2013), the subject property lies within Zone X, defined as "areas determined to be outside the 0.2% annual chance floodplain."
 - The locations of underground utilities shown hereon are based on visible structures and maps and/or field located markings provided by the utility companies servicing that utility and are approximate only. The property shown hereon may be served by underground utilities which are not shown hereon. All Utility Companies should be contacted before beginning any design or construction.
 - North arrow and bearings shown hereon are based on GA West Zone - NAD 83 adjusted 2011, Using Global Positional System (GPS) and obtained by RTK observations on 2-12-2018 using the Trimble VRS System. All distances are horizontal ground measurements expressed in U.S. Survey Feet.
 - The field data upon which this plot is based has a closure precision of one foot in 20,000 feet and an angular error of 4 seconds per angle point and was adjusted using the least squares method.
 - Equipment used for measurement:
Angular: Trimble S6 Robotic Total Station
Linear: Trimble S6 Robotic Total Station
GPS: Trimble R6 GPS Receiver
 - This plot was prepared for the exclusive use of the person, persons, or entity named hereon. This Plot does not extend to any unnamed person, persons or entity without express written certification by the surveyor naming said person, persons, or entity.
 - State, County, & Local Buffers and Setbacks might exist on the subject property that are not shown hereon.
 - Contours and spot elevations shown hereon are based on U.S.G.S. datum (NAVD 88). Site Benchmarks are shown hereon.
 - This survey is not valid without the Original Signature and Seal of a Georgia Licensed Surveyor.
 - There was no observable evidence of Human Burials or Cemeteries on the Subject Property at the time of the field survey.
 - Atwell LLC does not warrant the existence or nonexistence of any wetlands or hazardous wastes located on the Subject Property.

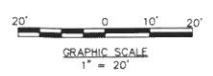
LEGEND	
	SIGN
	GROUND LIGHT
	LIGHT POLE
	SPOT ELEVATION
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	WATER VAULT
	STORM SEWER MANHOLE
	SANITARY SEWER MANHOLE
	CLEANOUT
	FLAG POLE
	UTILITY POLE
	GUY WIRE
	ELECTRIC BOX
	BOLLARD
	GAS VALVE
	GAS METER
	PARKING COUNT
	HANDICAP PARKING COUNT
	HARDWOOD TREE
	PINE TREE
	BENCHMARK
	PROPERTY CORNER
	IRON PIN FOUND
	R/W MARKER
	MEASURED DISTANCE
	CALCULATED DISTANCE
	RECORD DISTANCE
	UNDERGROUND TELEPHONE
	STORM SEWER LINE
	SANITARY SEWER LINE
	WATER LINE
	GAS LINE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	CHAINLINK FENCE
	WROUGHT IRON FENCE
	WOODEN FENCE
	CORRUGATED METAL PIPE
	REINFORCED CONCRETE PIPE
	CRIMP TOP PIPE
	IRON ROD FOUND
	FINISHED FLOOR ELEVATION
	FIRE DEPARTMENT CONNECTION
	SANITARY SEWER MANHOLE



SURVEY CERTIFICATION:

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

David L. Anderson 2/28/18
DAVID L. ANDERSON, GA. R.L.S. #3305 DATE



ZONING

THE SUBJECT PROPERTY IS ZONED V PER CITY OF HAVENVILLE ONLINE ZONING MAP.

THE SETBACKS FOR ZONE "V" VILLAGE ARE:

FRONT:	15 FEET
SIDE:	15 FEET
REAR:	15 FEET
HEIGHT:	35 FEET OR 2.5 STORIES

Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL OTHER UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. WITHOUT THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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ATWELL
866.850.4200 www.atwell-group.com
1255 LAKE DANIELLE, CA 30043
770.423.0807
LSP# 001218

LOCATED IN
LAND LOT 95
14th DISTRICT
FULTON COUNTY, GEORGIA

TOPOGRAPHIC SURVEY
HAPEVILLE BRANCH LIBRARY
HAPEVILLE, GEORGIA
FOR
MCMILAN PAZDAN SMITH ARCHITECTURE
ATLANTA, GEORGIA

DATE
FEBRUARY 13, 2018

REVISIONS
SCALE 0 10 20 1" = 20 FEET
DR. MGB [CH. SJ]
P.M. D. ANDERSON
BOOK --
JOB 17003047
SHEET NO. 1 OF 1

CAD FILE: 17003047-HAPEVILLE.DWG



CAUTION NOTE:

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF THE UNDERGROUND UTILITIES, AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION OF ALL UTILITIES SHOWN AS WELL AS THOSE NOT SHOWN WITHIN THE CONSTRUCTION LIMITS. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

CAUTION NOTE:

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF THE UNDERGROUND UTILITIES, AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION OF ALL UTILITIES SHOWN AS WELL AS THOSE NOT SHOWN WITHIN THE CONSTRUCTION LIMITS. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.





[illegible]

1. THE CHECKLIST HAS BEEN PROVIDED ON SHEET C-2.5
2. SIGNATURE, SEAL, AND GSWCC LEVEL II CERTIFICATION NUMBER ARE SHOWN ON ALL SHEETS
3. THE DISTURBANCE FOR THIS PROJECT IS LESS THAN 50 ACRES AT ANY ONE TIME
4. 24-HOUR CONTACT:
NAME: JOE ALCOCK
PHONE: 678-251-4602
5. PRIMARY PERMITTEE:
ATLANTA-FULTON PUBLIC LIBRARY
ONE MARGARET MITCHELL SQUARE
ATLANTA, GEORGIA 30303
404-762-4065
6. TOTAL SITE AREA: 19.02
TOTAL DISTURBED AREA: 0.94
7. CONSTRUCTION EXT IS LOCATED AT:
LATITUDE: 33°39'30.32"N
LONGITUDE: 84°24'34.76"W
8. INITIAL PLAN DATE IS SHOWN ON ALL SHEETS. ANY PLAN REVISIONS ARE SHOWN ON THE COVER SHEET AND THE SHEET AFFECTED BY THE REVISION.
9. CONSTRUCTION ACTIVITY DESCRIBING EXISTING LAND USE IS EASTING HAPEVILLE LIBRARY BRANCH. CONSTRUCTION WILL INCLUDE GRADING AND CONSTRUCTION OF NEW LIBRARY AND ASSOCIATED PARKING AND SUBSURFACE INFRASTRUCTURE AS REQUIRED

10. VICINITY MAP IS SHOWN ON C531
11. THE INITIAL RECEIVING WATER IS UNNAMED TRIBUTARY OF SOUTH RIVER. SENSITIVE ADJACENT AREAS INCLUDE (NO SENSITIVE ADJACENT AREAS)
12. I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY SUPERVISION.

2/19/19
DATE
DESIGN PROFESSIONAL'S SIGNATURE
DESIGN PROFESSIONAL'S NAME
GA PE #
GSWCC CERT #

13. I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA," (MANUAL), PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND DISTURBING ACTIVITY WAS PERMITTED. PROVISIONS FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NOTES PERMIT NO. PERMIT #

2/19/19
DATE
DESIGN PROFESSIONAL'S SIGNATURE
DESIGN PROFESSIONAL'S NAME
GA PE #
GSWCC CERT #

14. THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERMITTER CONTROL BMPs WITHIN SEVEN (7) DAYS AFTER INSTALLATION.

1. I CERTIFY THAT THE SITE WAS VISITED WITHIN SEVEN (7) DAYS OF THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERMITTER CONTROL BMPs.

2/19/19
DATE
DESIGN PROFESSIONAL'S SIGNATURE
DESIGN PROFESSIONAL'S NAME
GA PE #
GSWCC CERT #

INSPECTION REVEALED THE FOLLOWING DEFICIENCIES FROM THE APPROVED ES&PC PLAN.

THE PERMITTEE MUST CORRECT ALL DEFICIENCIES WITHIN TWO (2) BUSINESS DAYS OF THE RECEIPT OF THE INSPECTION REPORT UNLESS WEATHER RELATED SITE CONDITIONS ARE SUCH THAT ADDITIONAL TIME IS REQUIRED.

15. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25' OR 50' UNDISTURBED STREAM BUFFER AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS

(I) EXCEPT AS PROVIDED IN PART IV(B) BELOW, NO CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED WITHIN A 25 FOOT BUFFER ALONG THE BANKS OF ALL STATE WATERS, AS MEASURED HORIZONTALLY FROM THE POINT WHERE VEGETATION HAS BEEN WRESTED BY NORMAL STREAM FLOW OR WAVE ACTION, EXCEPT WHERE THE DIRECTOR HAS DETERMINED TO ALLOW A VARIANCE THAT IS AT LEAST AS PROTECTIVE OF NATURAL RESOURCES AND THE ENVIRONMENT IN ACCORDANCE WITH THE PROVISIONS OF O.C.G.A. 12-7-6, OR WHERE A DRAINAGE STRUCTURE OR A ROADWAY DRAINAGE STRUCTURE PROVIDED THAT ADEQUATE EROSION CONTROL MEASURES ARE INCORPORATED IN THE PROJECT PLANS AND SPECIFICATIONS AND ARE IMPLEMENTED. THE BUFFER SHALL NOT APPLY TO THE FOLLOWING ACTIVITIES PROVIDED THAT ADEQUATE EROSION CONTROL MEASURES ARE INCORPORATED INTO THE PROJECT PLANS AND SPECIFICATIONS AND ARE IMPLEMENTED:

- (1) PUBLIC DRINKING WATER SYSTEM RESERVOIRS.
- (2) STREAM CROSSINGS FOR WATER LINES PROVIDED THAT THE STREAM CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER.
- (3) STREAM CROSSINGS FOR SEWER LINES PROVIDED THAT THE STREAM CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER.
- (4) BUFFER CROSSINGS FOR FENCES PROVIDED THAT THE CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER, AND NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER.
- (5) STREAM CROSSINGS FOR AERIAL UTILITY LINES PROVIDED THAT: (A) THE MIN UTILITY LINE RIGHT-OF-WAY WIDTH DOES NOT EXCEED 100 LINEAR FEET; (B) UTILITY LINES ARE ROUTED AND CONSTRUCTED SO AS TO MINIMIZE THE NUMBER OF STREAM CROSSINGS AND DISTURBANCES TO THE BUFFER; (C) ONLY TREES AND TREE DEBRIS ARE REMOVED FROM WITHIN THE BUFFER RESULTING IN ONLY MINOR SOIL EROSION (I.E., DISTURBANCE TO UNDERLYING VEGETATION IS MINIMIZED); AND (D) FUNCTIONAL NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER. THE PLAN SHALL INCLUDE A DESCRIPTION OF THE STREAM CROSSINGS WITH DETAILS OF THE BUFFER DISTURBANCE INCLUDING AREA AND LENGTH OF BUFFER DISTURBANCE. ESTIMATED LENGTH OF TIME OF BUFFER DISTURBANCE AND JUSTIFICATION.

(I) NO CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED WITHIN A 50 FOOT BUFFER, AS MEASURED HORIZONTALLY FROM THE POINT WHERE VEGETATION HAS BEEN WRESTED BY NORMAL STREAM FLOW OR WAVE ACTION, ALONG STATE WATERS CLASSIFIED AS TROUT STREAMS EXCEPT WHEN APPROVED IN WRITING BY THE DIRECTOR FOR ALTERNATE BUFFER REQUIREMENTS IN ACCORDANCE WITH THE PROVISIONS OF O.C.G.A. 12-7-6, OR WHERE A ROADWAY DRAINAGE STRUCTURE MUST BE CONSTRUCTED PROVIDED HOWEVER, THAT SMALL SPRINGS AND STREAMS CLASSIFIED AS TROUT STREAMS WHICH DISCHARGE AN AVERAGE ANNUAL FLOW OF 25 GALLONS PER MINUTE OR LESS SHALL HAVE A 25 FOOT BUFFER OR THEY MAY BE EXEMPT AT THE DISCRETION OF THE PERMITTEE. PURSUANT TO THE TERMS OF A RULE PROVIDING FOR A GENERAL VARIANCE PROMULGATED BY THE BOARD OF NATURAL RESOURCES INCLUDING NOTIFICATION OF SUCH TO EPO AND THE LOCAL ISSUING AUTHORITY OF THE LOCATION AND EXTENT OF THE PIPING AND PRESCRIBED METHODOLOGY FOR MINIMIZING THE IMPACT OF SUCH PIPING AND FOR MEASURING THE VOLUME OF WATER DISCHARGED BY THE STREAM. ANY SUCH PIPE MUST STOP SHORT OF THE DOWNSTREAM PERMITTEE'S PROPERTY AND THE PERMITTEE MUST COMPLY WITH THE BUFFER REQUIREMENT FOR ANY ADJACENT TRIBUTARY STREAMS. THE BUFFER SHALL NOT APPLY TO THE FOLLOWING ACTIVITIES PROVIDED THAT ADEQUATE EROSION CONTROL MEASURES ARE INCORPORATED INTO THE PROJECT PLANS AND SPECIFICATIONS AND ARE IMPLEMENTED:

- (1) PUBLIC DRINKING WATER SYSTEM RESERVOIRS.
- (2) STREAM CROSSINGS FOR WATER LINES PROVIDED THAT THE STREAM CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER.
- (3) STREAM CROSSINGS FOR SEWER LINES PROVIDED THAT THE STREAM CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER.
- (4) BUFFER CROSSINGS FOR FENCES PROVIDED THAT THE CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER.
- (5) STREAM CROSSINGS FOR AERIAL UTILITY LINES PROVIDED THAT: (A) THE MIN UTILITY LINE RIGHT-OF-WAY WIDTH DOES NOT EXCEED 100 LINEAR FEET; (B) UTILITY LINES ARE ROUTED AND CONSTRUCTED SO AS TO MINIMIZE THE NUMBER OF STREAM CROSSINGS AND DISTURBANCES TO THE BUFFER; (C) ONLY TREES AND TREE DEBRIS ARE REMOVED FROM WITHIN THE BUFFER RESULTING IN ONLY MINOR SOIL EROSION (I.E., DISTURBANCE TO UNDERLYING VEGETATION IS MINIMIZED); AND (D) FUNCTIONAL NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER. THE PLAN SHALL INCLUDE A DESCRIPTION OF THE STREAM CROSSINGS WITH DETAILS OF THE BUFFER DISTURBANCE INCLUDING AREA AND LENGTH OF BUFFER DISTURBANCE. ESTIMATED LENGTH OF TIME OF BUFFER DISTURBANCE AND JUSTIFICATION.

16. THERE ARE NO BUFFER ENCROACHMENTS ON THIS SITE

AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL

WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

HAZARDOUS WASTES

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL, STATE AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. THE JOB SITE SUPERINTENDENT, WHO WILL ALSO BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED, WILL INSTRUCT SITE PERSONNEL IN THESE PRACTICES. MATERIAL SAFETY DATA SHEETS (MSDS) FOR EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE SUCH PRODUCTS ARE STORED. THE STORM WATER DISCHARGE WILL BE CONTAINED ON SITE UNTIL APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORMWATER. IT SHALL BE THE RESPONSIBILITY OF THE JOB SITE SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN THE USE OF THE ES&PC PLAN.

SANITARY WASTES

A MINIMUM OF ONE PORTABLE SANITARY UNIT WILL BE PROVIDED FOR EVERY TEN (10) WORKERS ON THE SITE. ALL SANITARY WASTE WILL BE COLLECTED FROM THIS PORTABLE UNIT. A MINIMUM OF ONE TIME PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLETE COMPLIANCE WITH LOCAL AND STATE REGULATIONS.

ALL SANITARY WASTE UNITS WILL BE INSTALLED IN AN AREA WHERE THE LIKELIHOOD OF THE UNIT CONTRIBUTING TO STORM WATER DISCHARGE IS NEGLIGIBLE. ADDITIONAL CONTAINMENT BMPs MUST BE IMPLEMENTED, SUCH AS GRAVEL BARS OR SPECIALLY DESIGNED PLASTIC CONTAINERS AROUND THE BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF SANITARY WASTE UNITS MUST BE IDENTIFIED ON THE EROSION CONTROL PLAN, GRADING PHASE SHEET C48, BY THE CONTRACTOR ONCE LOCATIONS HAVE BEEN DETERMINED.

SANITARY SEWER WILL BE PROVIDED BY MUNICIPAL AUTHORITY / SEPTIC SYSTEM AT THE COMPLETION OF THIS PROJECT

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

- STORM WATER DOES NOT DISCHARGE INTO AN UNPAVED STREAM SEGMENT. SEE THIS SHEET FOR REQUIREMENTS.
- THERE IS NOT A TMDL IMPLEMENTATION PLAN FOR THE RECEIVING WATERS.
- THIS PROJECT DOES ALLOW CONCRETE WASH-DOWN ON SITE. WASH-OUT OF THE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED. BMPs FOR CONCRETE WASH-DOWN INCLUDE CONCRETE CLEANOUT AREA.
- SOIL CLEANUP AND CONTROL PRACTICES:
 - LOCAL, STATE AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND PROCEDURES WILL BE MADE AVAILABLE TO SITE PERSONNEL.
 - MATERIAL AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREAS. TYPICAL MATERIALS AND EQUIPMENT INCLUDE: BROOMS, RAKES, SHOVELS, PUMPS, RAGS, GLOVES, GOGGLES, CAT LITTER, SAND, SAWDUST AND PROPERLY LABELED PLASTIC AND METAL WASTE CONTAINERS.
 - SPILL PREVENTION PRACTICES AND PROCEDURES WILL BE REVIEWED AFTER A SPILL AND ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS.
 - ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. ALL SPILLS WILL BE REPORTED AS REQUIRED BY LOCAL, STATE AND FEDERAL REGULATIONS.
 - FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AFTER THE SPILL OCCURS AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED.
 - FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AFTER THE SPILL OCCURS.
 - FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA EPO WILL BE CONTACTED WITHIN 24 HOURS.
 - FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED.

THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1200 GALLONS OF PETROLEUM IS STORED ON-SITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 600 GALLONS. THE CONTRACTOR WILL NEED A SPILL PREVENTION CONTAINMENT AND COUNTERMEASURES PLAN PREPARED BY THAT LICENSED PROFESSIONAL.

CONTAINERS FOR PRODUCTS SUCH AS FUELS, LUBRICANTS AND TARS WILL BE INSPECTED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ON SITE VEHICLE AND MACHINERY DAILY INSPECTIONS AND REGULAR PREVENTATIVE MAINTENANCE OF SUCH EQUIPMENT. EQUIPMENT MAINTENANCE AREAS WILL BE LOCATED AWAY FROM STATE WATER DRAINS AND STORM WATER DRAINAGE INLETS. IN ADDITION, TEMPORARY FUELING TANKS SHALL HAVE A SECONDARY CONTAINMENT LINER TO PREVENT / MINIMIZE SITE CONTAMINATION. DISCHARGE OF OILS, FUELS AND LUBRICANTS IS PROHIBITED. PROPER DISPOSAL METHODS WILL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND DISPOSAL AS REQUIRED BY LOCAL AND STATE REGULATIONS.

- PERMANENT VEGETATION, A WATER QUALITY DEVICE, AND A STORMWATER MANAGEMENT SYSTEM TO BE ESTABLISHED DURING CONSTRUCTION TO COLLECT POLLUTANTS IN STORMWATER THAT WILL OCCUR AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED.
- PRACTICES USED TO REDUCE POLLUTANTS IN STORMWATER DISCHARGES INCLUDE SILT FENCE, CONSTRUCTION EXITS AND RETROFITS TO FURTHER REDUCE POLLUTANTS. MATERIALS THAT ARE POTENTIAL HAZARDS SHALL BE IDENTIFIED PRIOR TO LOCATING ON SITE AND PERSONNEL WILL BE TRAINED BY THE CONTRACTOR TO HANDLE SPILLS OR LEAKS. POLLUTANTS WILL BE STORED IN SPECIFIC AND CONTROLLED AREAS BY THE CONTRACTOR.

ANTICIPATED ACTIVITY SCHEDULE IS SHOWN ON THIS SHEET

INSPECTIONS PERMITTEE REQUIREMENT

EACH DAY WHEN ANY TYPE OF CONSTRUCTION ACTIVITY SHALL HAVE TAKEN PLACE AT A PRIMARY PERMITTEE'S SITE, CERTIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE SHALL INSPECT: (A) ALL AREAS AT THE PRIMARY PERMITTEE'S SITE WHERE PETROLEUM PRODUCTS ARE STORED, USED, OR HANDLED FOR SPILLS AND LEAKS FROM VEHICLES AND EQUIPMENT; (B) ALL LOCATIONS AT THE PRIMARY PERMITTEE'S SITE WHERE VEHICLES ENTER OR EXIT THE SITE FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING; AND (C) MEASURE RAINFALL ONCE EACH 24 HOUR PERIOD AT THE SITE. THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.

2. MEASURE RAINFALL, ONCE EVERY 24 HOURS EXCEPT ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY AND NON-WORKING FEDERAL HOLIDAY UNTIL A NOTICE OF TERMINATION IS SUBMITTED. MEASUREMENT OF RAINFALL MAY BE SUSPENDED IF AREAS OF THE SITE HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION.

3. CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT THE FOLLOWING AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES RAINFALL OR GREATER (UNLESS SUCH STORM ENDS AFTER 5:00 PM ON ANY FRIDAY OR ON ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY OR ANY NON-WORKING FEDERAL HOLIDAY IN WHICH CASE THE INSPECTION SHALL BE COMPLETED BY THE NEXT BUSINESS DAY AND WORKING DAY. HOWEVER, IF A STORM OCCURS FIRST): (A) DISTURBED AREAS OF THE PRIMARY PERMITTEE'S CONSTRUCTION SITE THAT HAVE NOT UNDERGONE FINAL STABILIZATION; (B) AREAS USED BY THE PRIMARY PERMITTEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION THAT HAVE NOT UNDERGONE FINAL STABILIZATION; AND (C) AREAS USED FOR STORAGE OF MATERIALS THAT HAVE NOT UNDERGONE FINAL STABILIZATION. THE PLAN SHALL BE APPLICABLE TO THE PRIMARY PERMITTEE'S SITE SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE. THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. FOR AREAS OF A SITE THAT HAVE UNDERGONE FINAL STABILIZATION, THE PERMITTEE MUST COMPLY WITH PART IV.D.4.(3). THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.

4. CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT AT LEAST ONCE PER MONTH DURING THE TERM OF THIS PERMIT. UNTIL A NOTICE OF TERMINATION IS RECEIVED BY EPO, THE AREAS OF THE SITE THAT HAVE UNDERGONE FINAL STABILIZATION THESE AREAS SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM AND THE RECEIVING WATERS. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS.

5. BASED ON THE RESULTS OF EACH INSPECTION, THE SITE DESCRIPTION AND THE POLLUTION PREVENTION AND CONTROL MEASURES IDENTIFIED IN THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, THE PLAN SHALL BE REVISED AS APPROPRIATE NOT LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION. IMPLEMENTATION OF SUCH CHANGES SHALL BE MADE AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION.

6. A REPORT OF EACH INSPECTION THAT INCLUDES THE NAME(S) OF PERSONNEL MAKING EACH INSPECTION, THE DATE(S) OF EACH INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, AND ACTIONS TAKEN IN COMPLIANCE WITH PART IV.D.4.(3) SHALL BE MADE AND RETAINED AT THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION UNTIL THE ENTIRE SITE OR THAT PORTION OF A CONSTRUCTION PROJECT THAT HAS BEEN PHASED HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO EPO. SUCH REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE WHERE THE REPORT DOES NOT IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE. THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE CONSTRUCTION SITE IS IN COMPLIANCE WITH THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN AND THIS PERMIT. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART V.G. OF THIS PERMIT.

SAMPLING FREQUENCY

1. THE PRIMARY PERMITTEE MUST SAMPLE IN ACCORDANCE WITH THE PLAN AT LEAST ONCE FOR EACH RAINFALL EVENT DESCRIBED BELOW FOR A QUALIFYING EVENT. THE FOLLOWING ARE THE REQUIREMENTS FOR SAMPLING:

- A. THE ACCUMULATION OF THE MINIMUM AMOUNT OF RAINFALL FOR THE QUALIFYING EVENT IF THE STORM WATER DISCHARGE TO A MONITORED RECEIVING WATER OR FROM A MONITORED OUTFALL HAS BEGUN AT OR PRIOR TO THE ACCUMULATION OR THE BEGINNING OF ANY STORM WATER DISCHARGE TO A MONITORED RECEIVING WATER OR FROM A MONITORED OUTFALL IF THE DISCHARGE BEGINS AFTER THE ACCUMULATION OF THE MINIMUM AMOUNT OF RAINFALL FOR THE QUALIFYING EVENT.
- B. HOWEVER, WHERE MANUAL AND AUTOMATIC SAMPLING ARE NECESSARY AS DESCRIBED IN THIS PERMIT, OR ARE BEYOND THE PERMITTEE'S CONTROL, THE PERMITTEE SHALL TAKE SAMPLES AS SOON AS POSSIBLE, BUT IN NO CASE MORE THAN TWELVE (12) HOURS AFTER THE BEGINNING OF THE STORM WATER DISCHARGE.

2. SAMPLING BY THE PERMITTEE SHALL OCCUR FOR THE FOLLOWING EVENTS:

- A. FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING STREAM, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH AND ALLOWS FOR MONITORING DURING NORMAL BUSINESS HOURS (MONDAY THRU FRIDAY, 8:00 AM TO 5:00 PM AND SATURDAY 8:00 AM TO 1:30 PM EXCEPT ON NON-WORKING FEDERAL HOLIDAYS, WHEN CONSTRUCTION ACTIVITY IS PROHIBITED BY THE PRIMARY PERMITTEE) THAT OCCURS AFTER ALL CLEARING AND GRUBBING OPERATIONS HAVE BEEN COMPLETED IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATION.
- B. IN ADDITION TO ABOVE, EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING STREAM, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH AND ALLOWS FOR MONITORING DURING NORMAL BUSINESS HOURS THAT OCCURS 80 DAYS AFTER THE FIRST SAMPLING EVENT OR AFTER ALL MASS GRADING OPERATIONS HAVE BEEN COMPLETED IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATION.
- C. AT THE TIME OF SAMPLING PERFORMED PURSUANT TO (A) AND (B) ABOVE, IF BMPs ARE FOUND TO BE PROPERLY DESIGNED, INSTALLED AND MAINTAINED, NO FURTHER ACTION IS REQUIRED; IF BMPs IN ANY AREA OF THE SITE THAT DISCHARGES TO A RECEIVING STREAM ARE NOT PROPERLY DESIGNED, INSTALLED AND MAINTAINED, CORRECTIVE ACTION SHALL BE DEFINED AND IMPLEMENTED WITHIN TWO (2) BUSINESS DAYS, AND TURBIDITY SAMPLES SHALL BE TAKEN FROM DISCHARGES FROM THAT AREA OF THE SITE FOR EACH SUBSEQUENT RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH DURING NORMAL BUSINESS HOURS, UNTIL THE SELECTED TURBIDITY STANDARD IS ATTAINED; OR UNTIL POST-Storm Event Inspections Determine That BMPs Are Properly Designed, Installed And Maintained.
- D. EXISTING CONSTRUCTION ACTIVITIES, I.E., THOSE THAT ARE OCCURRING ON OR BEFORE THE EFFECTIVE DATE OF THIS PERMIT, THAT HAVE MET THE SAMPLING REQUIRED BY (A) ABOVE SHALL SAMPLE IN ACCORDANCE WITH (B). THOSE EXISTING CONSTRUCTION ACTIVITIES THAT HAVE MET THE SAMPLING REQUIRED BY (B) ABOVE SHALL NOT BE REQUIRED TO CONDUCT ADDITIONAL SAMPLING OTHER THAN AS REQUIRED BY (C) ABOVE.
- E. *NOTE THAT THE PERMITTEE MAY CHOOSE TO MEET THE REQUIREMENTS OF (A) AND (B) ABOVE BY COLLECTING TURBIDITY SAMPLES FROM ANY RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH AND

4. NON-STORM WATER DISCHARGES, EXCEPT FLOWS FROM FIRE FIGHTING ACTIVITIES, SOURCES OF NON-STORM WATER LISTED IN PART III.A.2 OF THIS PERMIT THAT ARE COMBINED WITH STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY MUST BE IDENTIFIED IN THE PLAN. THE PLAN SHALL IDENTIFY AND ENSURE THE IMPLEMENTATION OF APPROPRIATE POLLUTION PREVENTION MEASURES FOR THE NON-STORM WATER COMPONENT(S) OF THE DISCHARGE.

REPORTING

1. THE APPLICABLE PERMITTEES ARE REQUIRED TO SUBMIT A SUMMARY OF THE MONITORING RESULTS TO THE EPO AT THE ADDRESS SHOWN IN PART II.C. BY THE FIFTEENTH DAY OF THE MONTH FOLLOWING THE REPORTING PERIOD. REPORTING PERIODS ARE MONTHS DURING WHICH SAMPLES ARE TAKEN IN ACCORDANCE WITH THIS PERMIT. SAMPLING RESULTS SHALL BE IN A CLEARLY LEGIBLE FORMAT UPON WRITTEN NOTIFICATION. EPO MAY REQUIRE THE APPLICABLE PERMITTEE TO SUBMIT THE SAMPLING RESULTS ON A MORE FREQUENT BASIS. SAMPLING AND ANALYSIS OF ANY STORM WATER DISCHARGE OR THE RECEIVING WATER(S) BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED IN A SIMILAR MANNER TO THE EPO. THE SAMPLING RESULTS MUST BE SIGNED IN ACCORDANCE WITH PART V.G. SAMPLING RESULTS MUST BE SUBMITTED TO EPO UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI.

2. ALL WRITTEN CORRESPONDENCE REQUIRED BY THIS PERMIT SHALL BE SUBMITTED BY RETURN RECEIPT CERTIFIED MAIL OR SIMILAR SERVICE TO THE APPROPRIATE DISTRICT OFFICE OF THE EPO ACCORDING TO THE SCHEDULE IN APPENDIX A OF THIS PERMIT. THE PERMITTEE SHALL RETAIN A COPY OF THE PROOF OF SUBMITTAL AT THE CONSTRUCTION SITE OR THE PROOF OF SUBMITTAL SHALL BE READILY AVAILABLE AT A DESIGNATED LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI.

3. ALL MONITORING RESULTS SHALL INCLUDE THE FOLLOWING INFORMATION:

- A. THE DATE, EXACT PLACE, AND TIME OF SAMPLING OR MEASUREMENTS.
- B. THE NAME(S) OF THE INDIVIDUAL(S) WHO PERFORMED THE SAMPLING AND MEASUREMENTS.
- C. THE DATE(S) ANALYSES WERE PERFORMED.
- D. THE TIME(S) ANALYSES WERE INITIATED.
- E. THE NAME(S) OF THE INDIVIDUAL(S) WHO PERFORMED THE ANALYSES.
- F. REFERENCES AND WRITTEN PROCEDURES, WHEN AVAILABLE, FOR THE ANALYTICAL TECHNIQUES OR METHODS USED, AND THE RESULTS OF SUCH ANALYSES, INCLUDING THE BENCH-SHES INSTRUMENT READOUTS, COMPUTER DISKS OR TAPES, ETC., USED TO DETERMINE THESE RESULTS.
- H. RESULTS WHICH EXCEED 1000 NTU SHALL BE REPORTED AS "EXCEEDS 1000 NTU."

RETENTION OF RECORDS.

1. THE PRIMARY PERMITTEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI:

- A. A COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPO.
 - B. A COPY OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN REQUIRED BY THIS PERMIT.
 - C. THE DESIGN PROFESSIONAL'S REPORT OF THE RESULTS OF THE INSPECTION CONDUCTED IN ACCORDANCE WITH PART IV.A.5. OF THIS PERMIT.
 - D. A COPY OF ALL MONITORING INFORMATION, RESULTS, AND REPORTS REQUIRED BY THIS PERMIT.
 - E. A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH PART IV.D.4. OF THIS PERMIT.
 - F. A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D.2. OF THIS PERMIT, AND
 - G. DAILY RAINFALL INFORMATION COLLECTED IN ACCORDANCE WITH PART IV.D.4.(1)(C) OF THIS PERMIT.
2. COPIES OF ALL NOTICES OF INTENT, NOTICES OF TERMINATION, REPORTS, PLANS, MONITORING REPORTS, MONITORING INFORMATION, INCLUDING ALL EROSION AND MAINTENANCE RECORDS AND ALL ORIGINAL STOP CHART RECORDS FOR CONTINUOUS MONITORING, INSTRUMENTATION, EROSION, SEDIMENTATION AND POLLUTION CONTROL, PLANS, RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT AND ALL OTHER RECORDS REQUIRED BY THIS PERMIT SHALL BE RETAINED BY THE PERMITTEE WHO EITHER PRODUCED OR USED IT FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE NOT IS SUBMITTED IN ACCORDANCE WITH PART VI OF THIS PERMIT. THESE RECORDS MUST BE MAINTAINED AT THE PERMITTEE'S PRIMARY PLACE OF BUSINESS OR AT A DESIGNATED ALTERNATE LOCATION ONCE THE CONSTRUCTION ACTIVITY HAS CEASED AT THE PERMITTED SITE. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE EPO AT ANY TIME UPON WRITTEN NOTIFICATION TO THE PERMITTEE.

SAMPLE TYPE

ALL SAMPLING SHALL BE COLLECTED BY "GRAB SAMPLES" AND THE ANALYSIS OF THESE SAMPLES MUST BE CONDUCTED IN ACCORDANCE WITH MET-HODS AND TEST PROCEDURES ESTABLISHED BY 40 CFR PART 136 UNLESS OTHER TEST PROCEDURES HAVE BEEN APPROVED. THE GUIDANCE DOCUMENT TITLED "NPDES STORM WATER SAMPLING GUIDANCE DOCUMENT," EPA 833-B-92-001, AND GUIDANCE DOCUMENTS THAT MAY BE PREPARED BY THE EPO.

1. SAMPLE CONTAINERS SHOULD BE LABELED PRIOR TO COLLECTING THE SAMPLES.
2. SAMPLES SHOULD BE WELL MIXED BEFORE TRANSFERRING TO A SECONDARY CONTAINER.
3. LARGE MOUTH, WELL-CLEANED AND RINSED GLASS OR PLASTIC JARS SHOULD BE USED FOR COLLECTING SAMPLES. THE JARS SHOULD BE CLEANED THOROUGHLY TO AVOID CONTAMINATION.
4. MANUAL, AUTOMATIC OR RISING STAKE SAMPLING MAY BE UTILIZED. SAMPLES REQUIRED BY THIS PERMIT SHOULD BE ANALYZED IMMEDIATELY, BUT IN NO CASE LATER THAN 48 HOURS AFTER COLLECTION. HOWEVER, SAMPLES FROM AUTOMATIC SAMPLERS MUST BE COLLECTED NO LATER THAN THE NEXT BUSINESS DAY AFTER THEIR ACCUMULATION, UNLESS FLOW THROUGH AUTOMATED ANALYSIS IS UTILIZED. DILUTION OF SAMPLES IS NOT REQUIRED. SAMPLES MAY BE ANALYZED DIRECTLY WITH A PROPERLY CALIBRATED TURBIDIMETER. SAMPLES ARE NOT REQUIRED TO BE COOLED.
5. SAMPLING AND ANALYSIS OF THE RECEIVING WATER(S) OR OUTFALLS BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED TO EPO AS SPECIFIED IN PART IV.E. C.

SAMPLING POINTS.

FOR CONSTRUCTION ACTIVITIES THE PRIMARY PERMITTEE MUST SAMPLE ALL PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES SHOWN ON THE USGS TOPOGRAPHIC MAP AND ALL OTHER FIELD VERIFIED PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES, OR ALL OUTFALLS INTO SUCH STREAMS OR OTHER WATER BODIES, OR A COMBINATION THEREOF. THE PERMITTEE SHALL SAMPLE IN ACCORDANCE WITH PART IV.D.6.C (2) OF THIS PERMIT. PRIMARY PERMITTEES ON AN INFRASTRUCTURE CONSTRUCTION PROJECT MAY SAMPLE THE REPRESENTATIVE PERENNIAL AND INTERMITTENT STREAMS, OTHER WATER BODIES OR OUTFALLS, OR A COMBINATION THEREOF. SAMPLES TAKEN FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONITORED ACTIVITY AND REPRESENTATIVE OF THE WATER QUALITY OF THE RECEIVING WATER(S) AND/OR THE STORM WATER OUTFALLS USING THE FOLLOWING MINIMUM GUIDELINES:

- A. THE UPSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN IMMEDIATELY UPSTREAM OF THE CONFLUENCE OF THE FIRST STORM WATER DISCHARGE INTO THE RECEIVING WATER(S). THE DISCHARGE FROM THE PERMITTED UPSTREAM AT THE SITE BUT DOWNSTREAM OF ANY OTHER STORM WATER DISCHARGES NOT ASSOCIATED WITH THE PERMITTED ACTIVITY, WHERE APPROPRIATE, SEVERAL UPSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE UPSTREAM TURBIDITY VALUE.
- B. THE DOWNSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN DOWNSTREAM OF THE CONFLUENCE OF THE LAST STORM WATER DISCHARGE FROM THE PERMITTED ACTIVITY, I.E., THE DISCHARGE FARTHEST DOWNSTREAM AT THE SITE, BUT UPSTREAM OF ANY OTHER STORM WATER DISCHARGE NOT ASSOCIATED WITH THE PERMITTED ACTIVITY, WHERE APPROPRIATE, SEVERAL DOWNSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE DOWNSTREAM TURBIDITY VALUE.
- C. IDEALLY THE SAMPLES SHOULD BE TAKEN FROM THE HORIZONTAL AND VERTICAL CENTER OF THE RECEIVING WATER(S) OR THE STORM WATER OUTFALL CHANNEL(S).
- D. CARE SHOULD BE TAKEN TO AVOID STRIKING THE BOTTOM SEDIMENTS IN THE RECEIVING WATERS OR IN THE OUTFALL STORM WATER CHANNEL.
- E. THE SAMPLING CONTAINER SHOULD BE HELD SO THAT THE OPENING FACES UPSTREAM.
- F. THE SAMPLES SHOULD BE KEPT FREE FROM FLOATING DEBRIS.
- G. PERMITTEES DO NOT HAVE TO SAMPLE SHELFED FLOWS THAT FLOWS ONTO UNDISTURBED NATURAL AREAS OR AREAS STABILIZED BY THE PROJECT FOR PURPOSES OF THIS SECTION. STABILIZED SHAUL MEAN, FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES AND AREAS LOCATED OUTSIDE THE WASTE DISPOSAL LIMITS OF A LANDFILL CELL THAT HAS BEEN CERTIFIED BY EPO FOR WASTE DISPOSAL. LOOK OF THE SOIL SURFACE IS UNIFORM COVERED IN PERMANENT VEGETATION WITH A DENSITY OF 70% OR GREATER, OR EQUIVALENT PERMANENT STABILIZATION MEASURES (SUCH AS THE USE OF RIP-RAP, GABIONS, PERMANENT MULCHES OR GEOTEXTILES) HAVE BEEN USED. PERMANENT VEGETATION SHALL CONSIST OF PLANTED TREES, SHRUBS, PERENNIAL VINES, A CROP OF PERENNIAL VEGETATION APPROPRIATE FOR THE TIME OF YEAR AND REGION, OR A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET CROP PERENNIALS APPROPRIATE FOR THE REGION. FOR INFRASTRUCTURE CONSTRUCTION PROJECTS ON LAND USED FOR AGRICULTURAL OR CULTURAL PURPOSES, FINAL STABILIZATION MAY BE ACCOMPLISHED BY STABILIZING THE DISTURBED LAND FOR ITS AGRICULTURAL OR CULTURAL USE. FINAL STABILIZATION APPLIES TO EACH PHASE OF CONSTRUCTION.
- H. ALL SAMPLING PURSUANT TO THIS PERMIT MUST BE DONE IN SUCH A WAY INCLUDING GENERALLY ACCEPTED SAMPLING METHODS, LOCATIONS, TIMING, AND FREQUENCY AS TO ACCURATELY REFLECT WHETHER STORM WATER RUNOFF FROM THE CONSTRUCTION SITE IS IN COMPLIANCE WITH THE STANDARD SET FORTH IN PARTS II.D.3. OR II.D.4. WHICHEVER IS APPLICABLE.

33. SEE APPENDIX B THIS SHEET FOR NEPHELOMETRIC TURBIDITY UNIT (NTU) TABLES

34. SET USGS MAP THIS SHEET FOR SAMPLING LOCATIONS, PERENNIAL AND INTERMITTENT STREAMS

35. CONTROLS AND SHEET

36. GRAPHIC SCALE AND NORTH ARROW ARE SHOWN ON ALL PLAN VIEW SHEETS

37. EXISTING AND PROPOSED CONTOURS ARE SHOWN ON ALL EROSION, SEDIMENT, AND POLLUTION CONTROL PLAN SHEETS

38. ALTERNATIVE BMPs ARE NOT PROPOSED FOR THIS PROJECT

39. THERE WAS NO USE OF ALTERNATIVE BMPs FOR APPLICATION TO THE EQUIVALENT BMP LIST ON THIS PROJECT

40. NO REQUIRED BUFFERS AS THERE ARE NO STATE WATERS ON OR WITHIN 200 FEET OF THE PROJECT

41. THERE ARE NO WETLANDS NOR STATE WATERS ON OR WITHIN 200 FEET OF THE PROJECT SITE

42. CONTRIBUTING DRAINAGE BASINS AND AREAS ARE SHOWN ON SHEET NA

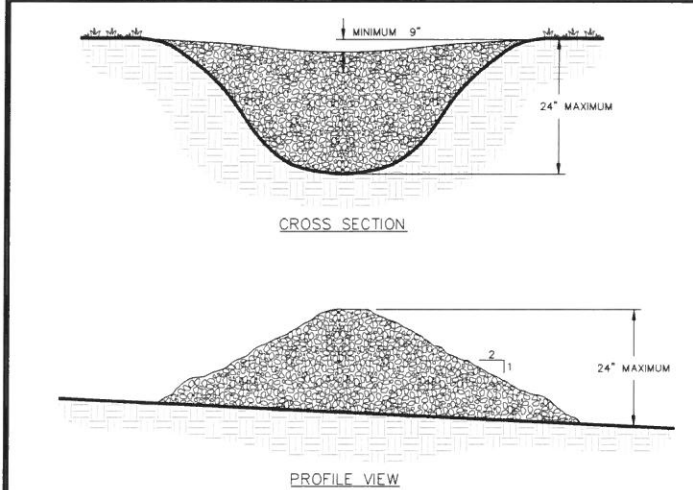
43. A HYDROLOGY REPORT HAS BEEN SUBMITTED

44. ESTIMATED PRE-CONSTRUCTION RUNOFF COEFFICIENT: 0.65

45. ESTIMATED POST-CONSTRUCTION RUNOFF COEFFICIENT: 0.65

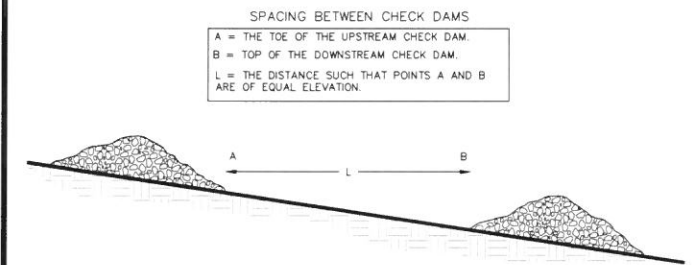
46. STORM DRAIN PIPE VELOCITIES, WEIR VELOCITIES, AND OUTLET PROTECTION ARE SHOWN ON SHEET NA

47. VEGETATIVE PLAN IS ON SHEETS C2-0, C2-1, C2-2, C2-3, C2-4, C2-5, C2-6, C2-7, C2-8, C2-9, C2-10, C2-11, C2-12, C2-13, C2-14, C2-15, C2-16, C2-17, C2-18, C2-19, C2-20, C2-21, C2-22, C2-23, C2-24, C2-25, C2-26, C2-27, C2-28, C2-29, C2-30, C2-31, C2-32, C2-33, C2-34, C2-35, C2-36, C2-37, C2-38, C2-39, C2-40, C2-41, C2-42, C2-43, C2-44, C2-45, C2-46, C2-47, C2-48, C2-49, C2-50, C2-51, C2-52, C2-53, C2-54, C2-55, C2-56, C2-57, C2-58, C2-59, C2-60, C2-61, C2-62, C2-63, C2-64, C2-65, C2-66, C2-67, C2-68, C2-69, C2-70, C2-71, C2-72, C2-73, C2-74, C2-75, C2-76, C2-77, C2-78, C2-79, C2-80, C2-81, C2-82, C2-83, C2-84, C2-85, C2-86, C2-87, C2-88, C2-89, C2-90, C2-91, C2-92, C2-93, C2-94, C2-95, C2-96, C2-97, C2-98, C2-99, C2-100, C2-101, C2-102,

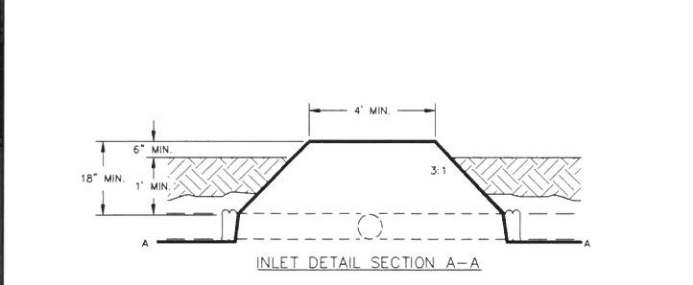
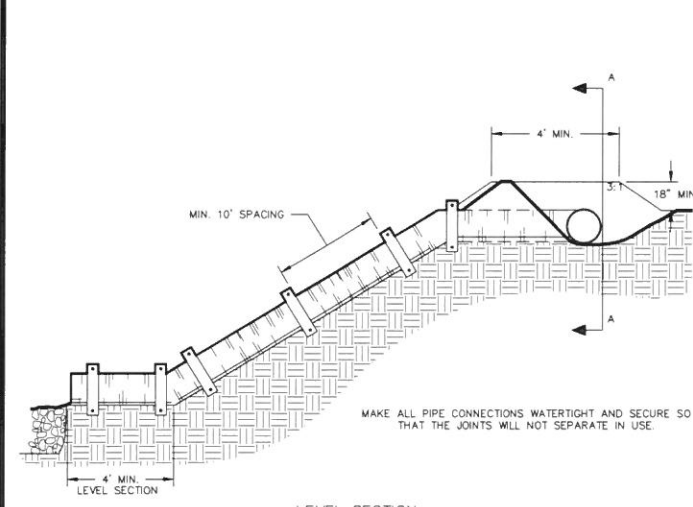


NOTES:

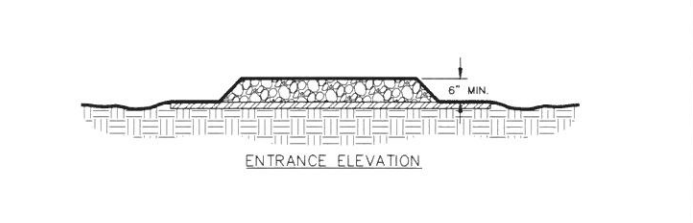
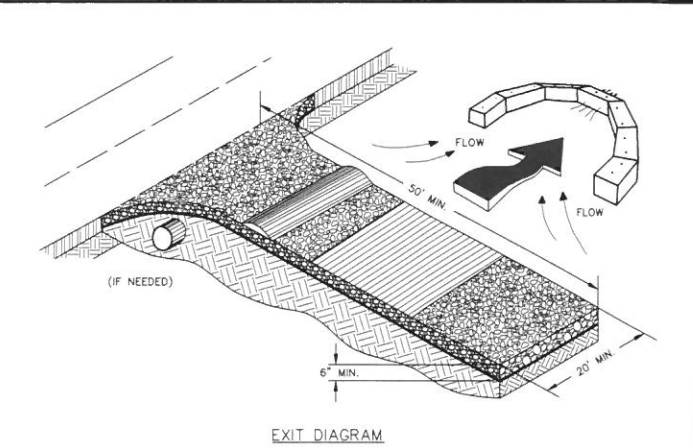
- CHECK DAMS ARE TO BE USED ONLY IN SMALL OPEN CHANNELS (THEY ARE NOT TO BE USED IN LIVE STREAMS).
- THE DRAINAGE AREA FOR STONE CHECK DAMS SHALL NOT EXCEED TWO ACRES.
- THE CENTER OF THE CHECK DAM MUST BE AT LEAST 9 INCHES LOWER THAN THE OUTER EDGES.
- THE DAM HEIGHT SHOULD BE A MAXIMUM OF 2 FEET FROM CENTER TO RIM EDGE.
- THE SIDE SLOPES OF THE CHECK DAM SHALL NOT EXCEED A 2:1 SLOPE.
- GEOTEXTILE SHALL BE USED TO PREVENT THE MITIGATION OF SUBGRADE SOIL PARTICLES INTO THE STONES (REFER TO AASHTO M288-96, SECTION 7.3, TABLE 3).



STONE CHECK DAM
GA-Cd-S N.T.S. Cd-S



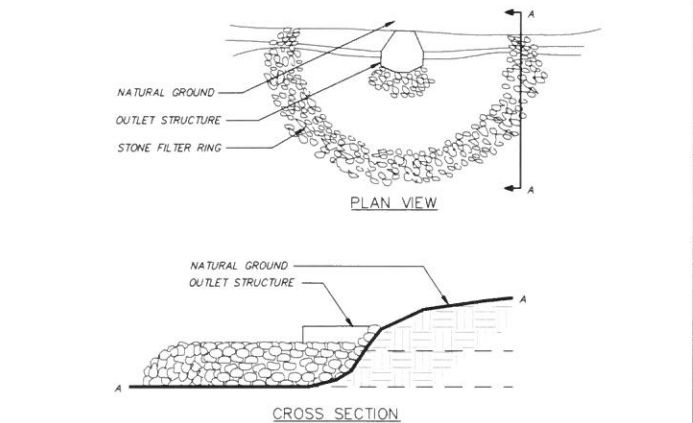
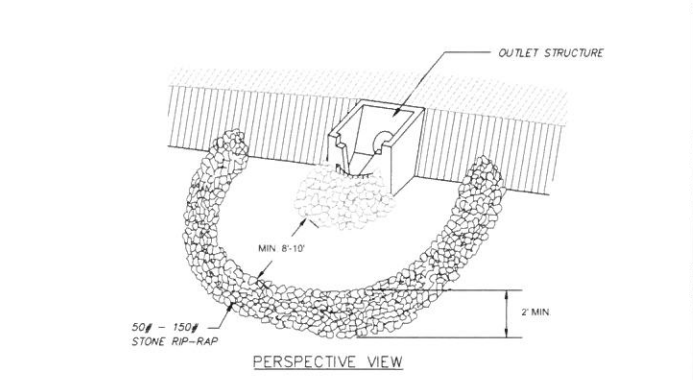
TEMPORARY DOWNDRAIN STRUCTURE
GA-Dn1 N.T.S. Dn1



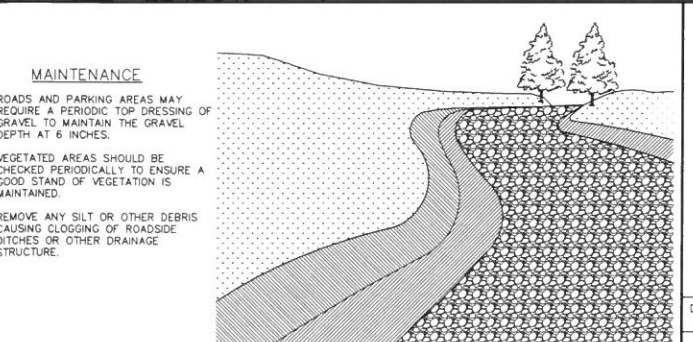
NOTES:

- AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
- REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
- AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
- GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6" AND A MINIMUM DRAINAGE AREA OF 20'.
- PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
- A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
- INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
- WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
- WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
- MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

CRUSHED STONE CONSTRUCTION EXIT
GA-Co N.T.S. Co



STONE FILTER RING
GA-Fr N.T.S. Fr



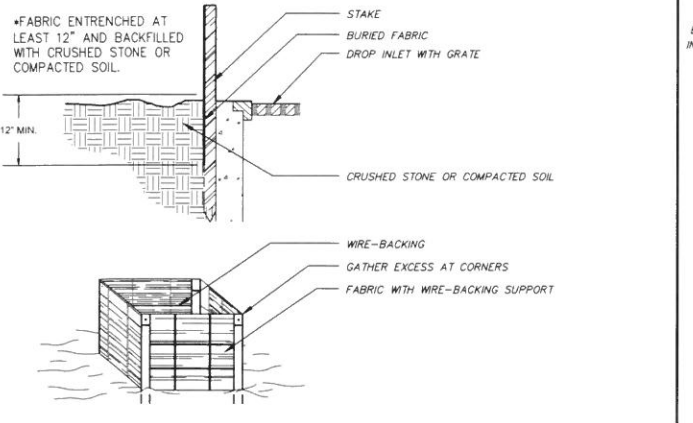
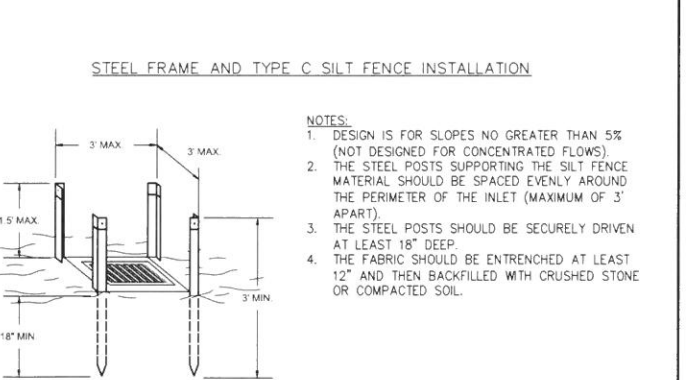
MAINTENANCE

- ROADS AND PARKING AREAS MAY REQUIRE A PERIODIC TOP DRESSING OF GRAVEL TO MAINTAIN THE GRAVEL DEPTH AT 6 INCHES.
- VEGETATED AREAS SHOULD BE CHECKED PERIODICALLY TO ENSURE A GOOD STAND OF VEGETATION IS MAINTAINED.
- REMOVE ANY SILT OR OTHER DEBRIS CAUSING CLOGGING OF ROADSIDE DITCHES OR OTHER DRAINAGE STRUCTURE.

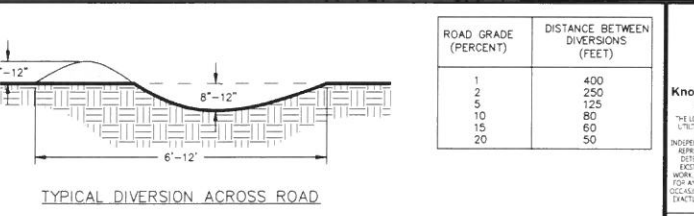
INSTALLATION

- INSTALL TO PROVIDE A FIXED ROUTE OF TRAVEL THROUGH A CONSTRUCTION SITE TO CONTROL CONSTRUCTION TRAFFIC AND REDUCE EROSION AND SUBSEQUENT REGRADING OF PERMANENT ROADSIDES BETWEEN TIME OF INITIAL GRADING AND FINAL STABILIZATION. ALSO UTILIZE FOR TEMPORARY VEHICLE PARKING AREAS.
- TREES, STUMPS, ROOTS, BRUSH, WEEDS, AND OTHER OBJECTIONABLE MATERIALS SHALL BE REMOVED FROM THE WORK AREA.
- UNDESIRABLE MATERIAL SHALL BE REMOVED FROM THE ROADSIDE AND PARKING AREAS.
- GRADING, SUBGRADE PREPARATION, AND COMPACTION SHALL BE DONE AS NEEDED. FILL MATERIAL SHALL BE DEPOSITED IN LAYERS NOT TO EXCEED 9 INCHES AND COMPACTION WITH THE CONTROLLED MOVEMENT OF COMPACTION AND EARTH MOVING EQUIPMENT.
- THE ROADSIDE AND PARKING AREA SHALL BE GRADED TO THE REQUIRED ELEVATION. SUBGRADE PREPARATION AND PLACEMENT OF THE SURFACE COURSE SHALL BE IN ACCORDANCE WITH SOUND HIGHWAY CONSTRUCTION PRACTICE.
- STRUCTURES SUCH AS CULVERTS, PIPE DROPS, OR BRIDGES SHALL BE INSTALLED TO THE LINES AND GRADES SHOWN ON THE PLANS OR AS STAKED IN THE FIELD. PIPE CONDUITS SHALL BE PLACED ON A FIRM FOUNDATION. SELECTED BACKFILL MATERIAL SHALL BE PLACED AROUND THE CONDUIT IN LAYERS NOT TO EXCEED 6 INCHES. EACH LAYER SHALL BE PROPERLY COMPACTED.
- FOLLOW EXISTING CONTOURS WHERE EVER POSSIBLE TO MINIMIZE EARTHWORK.
- TEMPORARY ROAD GRADES SHOULD NOT EXCEED TEN PERCENT EXCEPT FOR VERY SHORT LENGTHS (200 FEET OR LESS), BUT MAXIMUM GRADES OF 20 PERCENT SHOULD NEVER BE EXCEEDED.
- CURVES AND SWITCHBACKS MUST BE OF SUFFICIENT RADIUS FOR TRUCKS AND OTHER LARGE VEHICLES TO NEGOTIATE EASILY (35 FEET MINIMUM, 50 FEET PREFERRED).
- GRADES FOR TEMPORARY PARKING AREAS SHOULD BE SUFFICIENT TO PROVIDE DRAINAGE BUT SHOULD NOT EXCEED FOUR PERCENT.
- TEMPORARY ROADSIDES SHALL BE AT LEAST 14 FEET WIDE FOR ONE-WAY TRAFFIC AND 20 FEET WIDE FOR TWO-WAY TRAFFIC.
- A MINIMUM SHOULDER WIDTH SHALL BE TWO FEET ON EACH SIDE.
- ALL CUTS AND FILLS SHALL HAVE SIDE SLOPES DESIGNED TO BE STABLE FOR THE PARTICULAR SITE CONDITIONS AND SOIL MATERIALS INVOLVED, BUT SHALL ALWAYS BE 2:1 OR FLATTER TO THE EXTENT POSSIBLE. WHEN MAINTENANCE BY MACHINE MOWING IS PLANNED, SIDE SLOPES SHALL BE NO STEEPER THAN 3:1.
- DRAINAGE SHALL BE DESIGNED AS REQUIRED AND WILL DEPEND ON THE SITUATION AND RUNOFF CONDITIONS. THE CAPACITY AND DESIGN SHALL BE CONSISTENT WITH SOUND ENGINEERING PRINCIPLES.
- CHANNELS SHALL BE DESIGNED TO BE ON STABLE GRADES OR PROTECTED WITH STRUCTURES OR LININGS FOR STABILITY.
- WATER BREAKS OR BARS MAY BE USED TO CONTROL SURFACE RUNOFF ON LOW-INTENSITY USE ROADS.
- GEOTEXTILE SHOULD BE APPLIED UNDER THE ROADSIDE FOR ADDITIONAL STABILITY AS REQUIRED BY ASHTO BASED ON CBR VALUES.
- INSTALL 6-INCH THICKNESS OF COARSE AGGREGATE OVER GEOTEXTILE FABRIC FOR AREAS FOR MODERATE TRAFFIC.
- HEAVY DUTY TRAFFIC SITUATIONS WILL REQUIRE STONE TO BE PLACED AT AN 8 TO 10 INCH DEPTH TO AVOID EXCESSIVE DISSIPATION OR MAINTENANCE NEEDS.
- ALL ROADSIDE DITCHES, CUTS, FILLS, AND DISTURBED AREAS ADJACENT TO PARKING AREAS AND ROADS SHALL BE STABILIZED WITH APPROPRIATE TEMPORARY OR PERMANENT VEGETATION.
- PERMANENT ROADS AND PARKING AREAS SHALL BE DESIGNED AND CONSTRUCTED ACCORDING TO CRITERIA ESTABLISHED BY THE DEPARTMENT OF TRANSPORTATION OR LOCAL AUTHORITY.

CONSTRUCTION ROAD STABILIZATION
GA-Cr N.T.S. Cr



FABRIC AND SUPPORTING FRAME FOR INLET PROTECTION
GA-Sd2-F N.T.S. Sd2-F

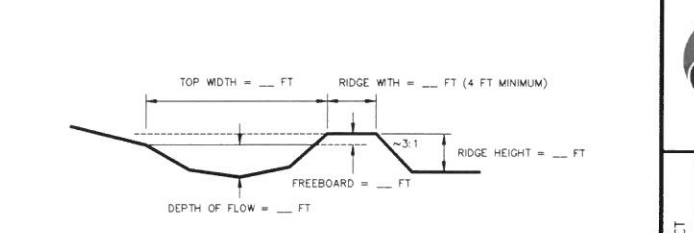


DIVERSION TYPE	LAND OR IMPROVEMENT PROTECTED	STORM FREQUENCY ¹	FREE BOARD	MINIMUM TOP WIDTH
Temporary	Construction areas, Building sites	10 yrs ²	0.3'	4'
Permanent	Landscaped, Recreation and similar areas	25 yrs	0.3'	4'
	Dwellings, schools, commercial bldgs and similar installations	50 yrs	0.5'	4'

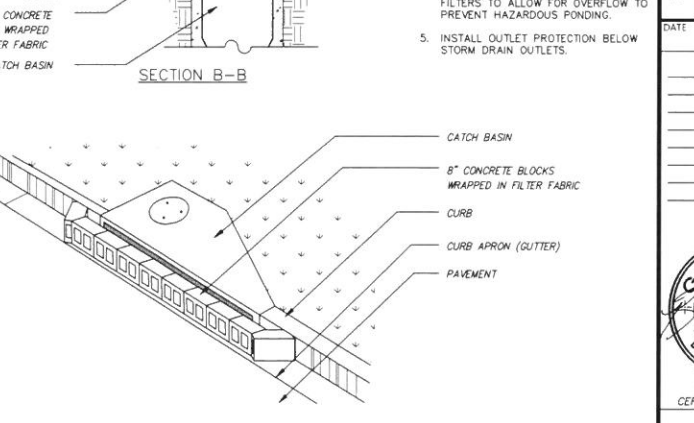
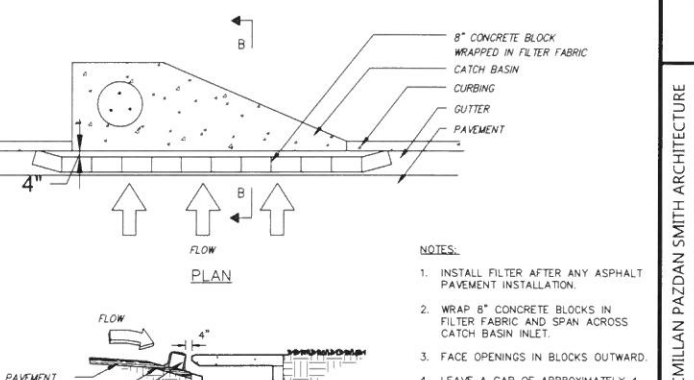
¹Use 24-hr storm duration
²Use 10-yr or the storm frequency specified in Title 12 of the Official Code of Georgia Annotated

CONSTRUCTION SPECIFICATIONS

- All trees, brush, stumps, obstructions, and other objectionable material shall be removed and disposed of so as not to interfere with the proper functioning of the diversion.
- The diversion shall be excavated or shaped to line, grade, and cross section as required to meet the criteria specified herein and free of irregularities that will impede normal flow.
- All fills shall be machine compacted as needed to prevent unequal settlement that would cause damage in the completed diversion.
- All earth removed and not needed in construction shall be spread or disposed of so that it will not interfere with the functioning of the diversion.
- Diversion channel shall be stabilized in accordance with specification Ch - Channel Stabilization.



DIVERSION
GA-Di N.T.S. Di



CURB INLET FILTER "PIGS IN A BLANKET"
GA-Sd2-P N.T.S. Sd2-P

Know what's below.
Call before you dig.
THE LOCATION OF EXISTING UTILITIES AND THE DEPTH OF THE UTILITIES SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES.

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES.

24 HOUR EMERGENCY CONTACT
JOE ALCOCK
678-251-4602

ATWELL
866.850.4200 www.atwell-group.com
1255 LAKES PARKWAY, BUILDING 100, SUITE 120
LAWRENCEVILLE, GA 30043
866.850.4200

CD # FE 005804

LL95 14TH DISTRICT
KING ARNOLD STREET
CITY OF HAPEVILLE
FULTON COUNTY, GEORGIA

MC MILLAN PAZDAN SMITH ARCHITECTURE
HAPEVILLE LIBRARY
SITE DEVELOPMENT PLANS
EROSION DETAILS

DATE 2/19/19

REVISIONS

GEORGIA REGISTERED PROFESSIONAL ENGINEER
BRIAN E. KAY
GSWCC LEVEL II
CERT. NO. 0000021547

DRAWN BY TS
CHECKED BY TS
PROJECT MANAGER: THEO STONE
JOB # 17003047
FILE CODE: FILE CODE
SHEET NO. C-2.5

TEMPORARY SEDIMENT TRAP

COURTESY OF CITY OF KNOXVILLE BMP EROSION AND SEDIMENT

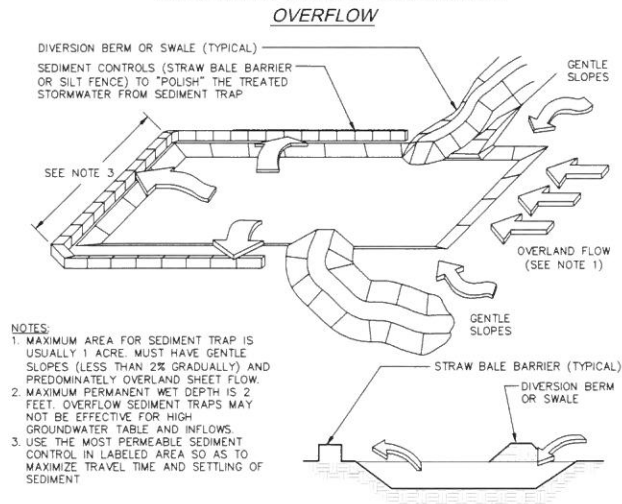


Figure 6-30.1

TEMPORARY SEDIMENT TRAP

COURTESY OF CITY OF KNOXVILLE BMP EROSION AND SEDIMENT

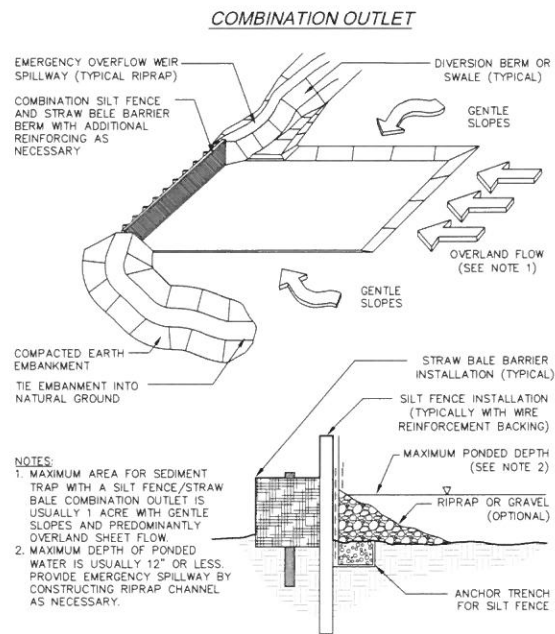


Figure 6-30.2

TEMPORARY SEDIMENT TRAP

COURTESY OF CITY OF KNOXVILLE BMP EROSION AND SEDIMENT

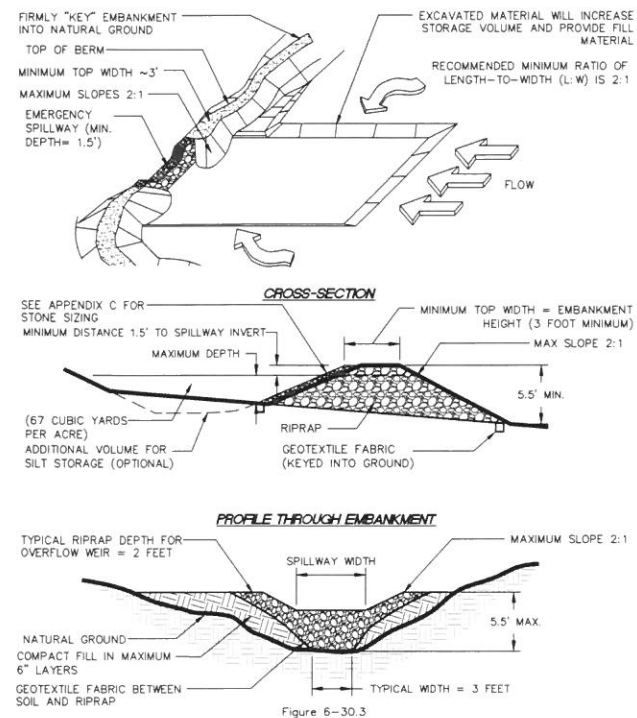
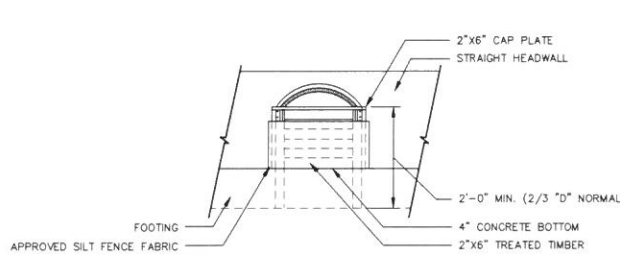
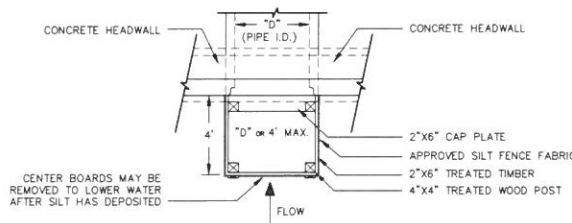


Figure 6-30.3



- NOTES:
1. SLOTTED BOARD DAM SHALL BE INSTALLED WITH MINIMUM SIZE 4" X 4" POSTS. BOARDS SHOULD HAVE A 0.5" TO 1" SPACE BETWEEN THEM AND MUST HAVE GROUND OR BOTTOM OF CONCRETE CONTACT.
 2. MINIMUM SIZE 3"-4" STONE FILTER SHALL BE INSTALLED AROUND THE UPSTREAM SIDE OF THE BOARD DAM.
 3. POSTS FOR THE SILT CONTROL GATE SHALL BE 4" X 4" TREATED LUMBER AND FACE BOARDS SHALL BE 2" X 6" TREATED LUMBER WITH NO SPACING ALLOWED BETWEEN BOARDS.
 4. AN APPROVED SILT FENCE FABRIC SHALL BE SECURELY FASTENED TO THE FRONT OF THE STRUCTURE USING STAPLES (BE SURE TO HAVE SILT FENCE ON UPSTREAM SIDE OF STRUCTURE).
 5. SEDIMENT SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT GATE. FILTER FABRIC SHALL BE REPLACED WHEN DAMAGED AND/OR DETERIORATED.
 6. HEIGHT OF THE SILT GATE. FILTER FABRIC SHALL BE REPLACED WHEN DAMAGED AND/OR DETERIORATED.
 7. ALL DISTURBED AREAS SHALL BE VEGETATED IMMEDIATELY AFTER CONSTRUCTION WITH PERMANENT VEGETATION.

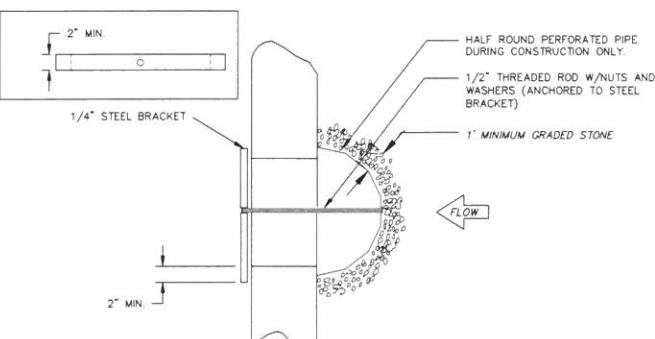
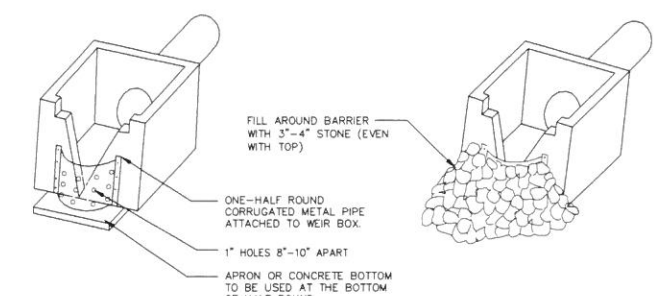
USES: A SILT CONTROL GATE IS A STRUCTURE PLACED ON A PIPE, SINGLE BARREL BOX CULVERT, OR DROP INLET TO FORM A BASIN TO TRAP SILT.
NOTE: SILT CONTROL GATES SHALL NOT BE USED ON STRUCTURES THAT CONVEY STATE WATERS.

GA-Sd4 N.T.S. Sd4

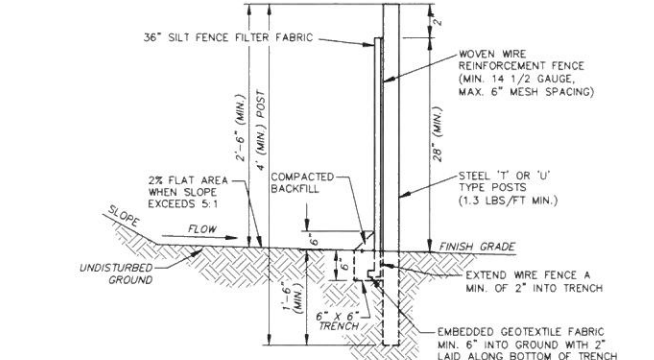
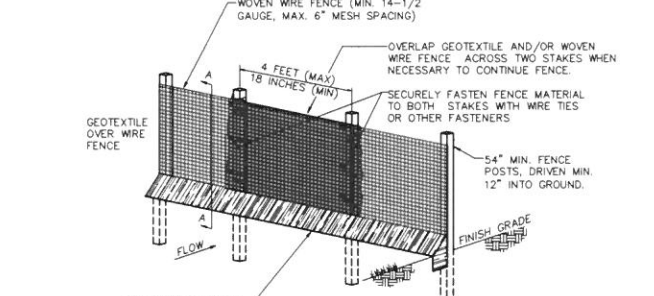
GA-Sd4 N.T.S. Sd4

GA-Sd4 N.T.S. Sd4

GA-Rt-B N.T.S. Rt-B



GA-P N.T.S. Rt-P



GA-Sd1-C N.T.S.

INSTALLATION

- DO NOT INSTALL ACROSS STREAMS, DITCHES, WATERWAYS OR OTHER AREAS OF CONCENTRATED FLOW.
- INSTALL WHERE SHEET FLOW CONDITION EXIST.
- START POST INSTALLATION AT THE CENTER OF THE LOWEST POINT WITH REMAINING POSTS SPACED 4 FEET APART.
- TYPE 'C' SILT FENCE SHALL BE USED WHERE RUNOFF FLOWS OR VELOCITIES ARE PARTICULARLY HIGH.
- TYPE 'C' SILT FENCE SHALL BE USED WHERE SLOPES EXCEED A VERTICAL HEIGHT OF 10 FEET.
- TWO ROWS OF TYPE 'C' SILT FENCE MUST BE USED ALONG ALL STREAM BUFFERS.
- WOVEN WIRE REINFORCEMENT FENCE TO BE FASTENED SECURELY TO STEEL POSTS WITH WIRE TIES OR APPROVED EQUAL AT TOP, MID AND BOTTOM.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE REINFORCEMENT FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.

MAXIMUM SLOPE LENGTH

- WHERE ALL RUNOFF IS TO BE STORED BEHIND THE SILT FENCE, MAXIMUM SLOPE LENGTH SHALL NOT EXCEED:
LAND SLOPE = MAX. SLOPE LENGTH
2% - 5% = 100 FT.
5% - 10% = 50 FT.
10% - 20% = 25 FT.
20% = 15 FT.
- IN AREAS WHERE THE SLOPE IS GREATER THAN 20% OR 5:1, A FLAT AREA LENGTH OF 10 FT BETWEEN THE TOE OF THE SLOPE AND THE SILT FENCE MUST BE PROVIDED.

GA-Sd1-C N.T.S.

SILT FENCE FILTER FABRIC

- UTILIZE DOT APPROVED FABRICS. COMMON EXAMPLES INCLUDE: MIRAFI 130X, AMOCO 1198, BELTECH 810, SI 915 SC, LING GTF 190.
- UTILIZE FENCE FABRIC THAT MEETS THE FOLLOWING CRITERIA:
TENSILE STRENGTH PER ASTM D-4632 WITH WARP-260 AND FILL-180 (LBS. MIN.)
ELONGATION PER ASTM D-4632 OF 40% MAX
APPROXIMATE OPENING SIZE (MAX. SIEVE SIZE) PER ASTM D-4751 OF #30
FLOW RATE OF 70 GAL/MIN/50 FT.
ULTRAVIOLET STABILITY OF 80 PER ASTM D-4632 AFTER 300 HOURS WEATHERING IN ACCORDANCE WITH ASTM D-4355
BURSTING STRENGTH OF 175 PSI MIN. PER ASTM D-3786

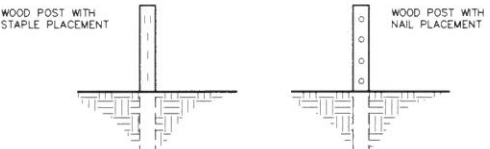
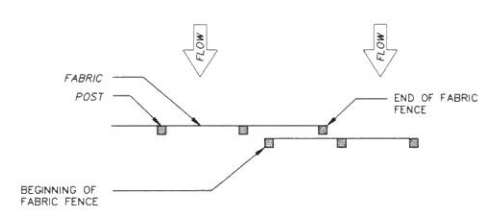
MAINTENANCE

- SEDIMENT SHALL BE REMOVED ONCE IT HAS ACCUMULATED TO ONE-HALF THE ORIGINAL HEIGHT OF THE BARRIER.
- FILTER FABRIC SHALL BE REPLACED WHENEVER IT HAS DETERIORATED TO SUCH AN EXTENT THAT THE EFFECTIVENESS OF THE FABRIC IS REDUCED (APPROX. 6 MONTHS), OR ANY TEARS OR HOLES ARE IN THE FABRIC.
- TEMPORARY SEDIMENT BARRIERS SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.
- ALL SEDIMENT ACCUMULATED AT THE BARRIER SHALL BE REMOVED AND PROPERLY DISPOSED OF BEFORE THE BARRIER IS REMOVED.

GA-Sd1-C N.T.S.

TABLE 6-27.2 POST SIZE			
TYPE	MIN. LENGTH	TYPE OF POST	SIZE OF POST
NS	4'	SOFT WOOD OAK STEEL	3" DIA OR 2X4 1.5" X 1.5" 1.15 lb / ft MIN.
S	4'	STEEL OAK	1.15 - 1.25 lb / ft MIN. 2" X 2"

TABLE 6-27.3 FASTENERS FOR WOOD POSTS				
	GAUGE	CROWN	LEGS	STAPLES/ POST
WIRE STAPLES	17 MIN.	3/4" WDE	1/2" LONG	5 MIN.
	GAUGE	LENGTH	BUTTON HEADS	NAIL/ POST
NAILS	14 MIN.	1"	3/4"	4 MIN.



- NOTES:
1. THE FABRIC AND WIRE SHOULD BE SECURELY FASTENED TO POSTS AND FABRIC ENDS MUST BE OVERLAPPED A MINIMUM OF 18" OR WRAPPED TOGETHER AROUND A POST TO PROVIDE A CONTINUOUS FABRIC BARRIER AROUND THE INLET.

GA-Sd1-C N.T.S.



Know what's below.

Call before you dig.
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER AND ARE NOT GUARANTEED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES INCURRED BY THE WORK OF ANY NEARBY UTILITIES OR BY OCCUPANCY OF THE CONTRACTOR'S AREA TO EXISTING UTILITIES AND/OR ADJACENT PROPERTIES.

NOTICE: CONSTRUCTION OF THIS BARRIER IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE CONTRACTOR NOR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR ANY DAMAGES INCURRED BY THE WORK OF ANY NEARBY UTILITIES OR BY OCCUPANCY OF THE CONTRACTOR'S AREA TO EXISTING UTILITIES AND/OR ADJACENT PROPERTIES.

24 HOUR EMERGENCY CONTACT
JOE ALCOCK
678-251-4602

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COA # PE 005804

LL95 14TH DISTRICT
KING ARNOLD STREET
CITY OF HAPEVILLE
FULTON COUNTY, GEORGIA

MC MILLAN PAZDAN SMITH ARCHITECTURE
HAPEVILLE LIBRARY
SITE DEVELOPMENT PLANS
EROSION DETAILS

DATE 2/19/19

REVISIONS



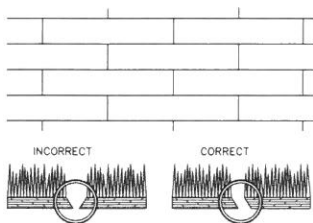
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C-2.6

BOTTOM RIGHT

SOD LAYOUT AND PREPARATION



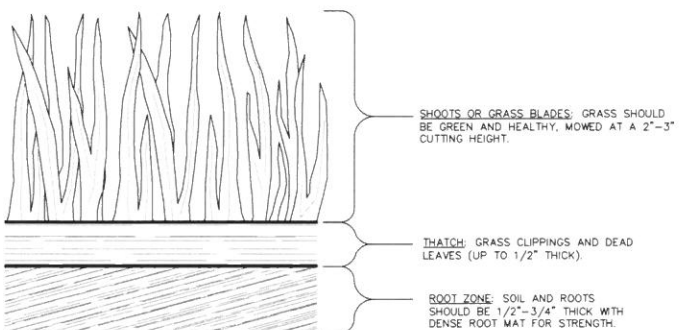
LAY SOD IN A STAGGERED PATTERN. BUTT THE STRIPS TIGHTLY AGAINST EACH OTHER. DO NOT LEAVE SPACES AND DO NOT OVERLAP. A SHARPENED MASON'S TROWEL IS A HANDY TOOL FOR TUCKING DOWN THE ENDS AND TRIMMING PIECES.

BUTTING: ANGLED ENDS CAUSED BY THE AUTOMATIC SOD CUTTER MUST BE MATCHED CORRECTLY.

DIRECTIONS FOR INITIAL MAINTENANCE

- Step 1. ROLL SOD IMMEDIATELY TO ACHIEVE FIRM CONTACT WITH THE SOIL.
- Step 2. WATER TO A DEPTH OF 4" AS NEEDED. WATER WELL AS SOON AS THE SOD IS LAID.
- Step 3. MOW WHEN THE SOD IS ESTABLISHED -- IN 2-3 WEEKS. SET THE MOWER HIGH (2"-3").

APPEARANCE OF GOOD SOD



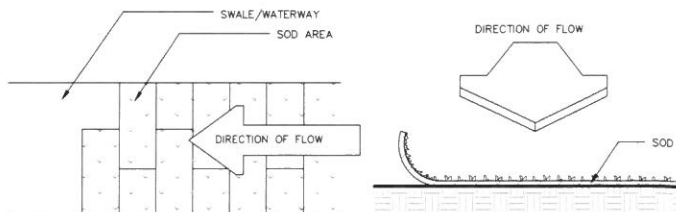
SOD MAINTENANCE AND INSTALLATION

DISTURBED AREA STABILIZATION (WITH SODDING)

GA-DS-4

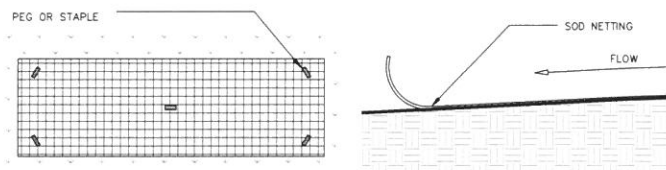
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SOD DIRECTIONS



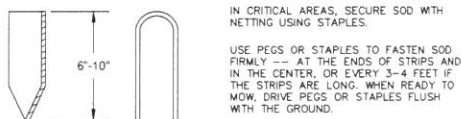
LAY SOD ACROSS THE DIRECTION OF FLOW.

NETTING DIRECTIONS



LAY NET WITH THE DIRECTION OF FLOW.

PEG DETAIL



SODDED WATERWAYS

DISTURBED AREA STABILIZATION (WITH SODDING)

GA-DS-4

DS-4

METHOD AND MATERIALS

TEMPORARY METHODS

- MULCHES -- COVER DISTURBED AREA WITH MULCHING ONLY.
- SYNTHETIC RESINS -- USED TO BIND MULCH MATERIAL, SUCH AS ASPHALT EMULSIONS.
- TACKIFIERS AND BINDERS -- RESINS SUCH AS CURASOL OR TERRATAK SHOULD BE USED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

- VEGETATIVE COVER -- COVER DISTURBED AREA WITH TEMPORARY SEEDING.

- SPRAY-ON ADHESIVES -- USED ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS. APPLY PER RATE REQUIREMENTS.

- TILLAGE -- THIS PRACTICE IS DESIGNED TO ROUGHEN AND BRING CLODS TO THE SURFACE. IT IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE WIND EROSION STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

- IRRIGATION -- THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS WET. REPEAT AS NEEDED.
- BARRIERS -- SOLID BOARD FENCES, SNOWFENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 15 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING WIND EROSION.

- CALCIUM CHLORIDE -- APPLY AT RATE THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.

PERMANENT METHODS

- PERMANENT VEGETATION -- COVER DISTURBED AREA WITH PERMANENT VEGETATION. EXISTING TREES AND LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.

- TOPSOILING -- THIS ENTAILS COVERING THE SURFACE WITH LESS EROSION SOIL MATERIAL.

- STONE -- COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL, SUCH AS A CONSTRUCTION ROAD.

INSTALLATION

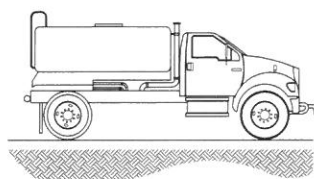
- APPLY AS NEEDED ON ALL SITES.
- PREVENT SURFACE AND AIR MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES.
- REDUCE THE PRESENCE OF AIRBORNE SUBSTANCES WHICH MAY BE HARMFUL OR INJURIOUS TO HUMAN HEALTH, WELFARE, OR SAFETY, OR TO ANIMALS OR PLANT LIFE.
- APPLY TEMPORARY OR PERMANENT CONTROL MEASURES AS NEEDED.

SPRAY-ON ADHESIVE APPLICATION

ADHESIVE	WATER DILUTION	NOZZLE TYPE	APPLICATION (GAL./ACRE)
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1,200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN-IN-WATER EMULSION	4:1	FINE SPRAY	300

MAINTENANCE

- PROHIBIT TRAFFIC ON SURFACE AFTER SPRAYING.
- SUPPLEMENT SURFACE COVERING AS NEEDED.
- RE-APPLY AS NEEDED.

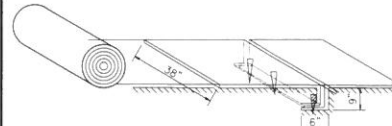


DUST CONTROL ON DISTURBED AREAS

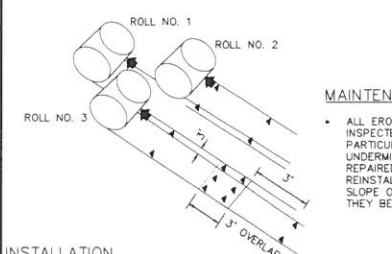
GA-DU

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CONCRETE WASHDOWN DETAIL



PICTORIAL VIEW OF TRANSVERSE SLOT



SEQUENTIAL ROLL OUT IN CHANNELS

- START AT DOWNSTREAM TERMINAL AND PROGRESS UPSTREAM.
- FIRST ROLL IS CENTERED LONGITUDINALLY IN MID CHANNEL AND PINNED WITH TEMPORARY STAKES TO MAINTAIN ALIGNMENT.
- SUBSEQUENT ROLLS FOLLOW IN STAGGERED SEQUENCE BEHIND FIRST ROLL. USE CENTER ROLL FOR ALIGNMENT TO CHANNEL CENTER.
- WORK OUTWARDS FROM CHANNEL CENTER TO EDGE.
- USE 3" OVERLAP AND STAKE AT 5' INTERVAL ALONG SEAMS.
- USE 3" OVERLAPS AND SHINGLE DOWNSTREAM TO CONNECT LINING AT ROLL ENDS.

MAINTENANCE

- ALL EROSION CONTROL BLANKETS AND MATTING SHOULD BE INSPECTED PERIODICALLY FOLLOWING INSTALLATION, PARTICULARLY AFTER RAINSTORMS TO CHECK FOR EROSION AND UNDERMINING. ANY DISLOCATION OR FAILURE SHOULD BE REPAIRED IMMEDIATELY. IF WASHOUTS OR BREAKAGE OCCURS, REINSTALL THE MATERIAL AFTER REPAIRING DAMAGE TO THE SLOPE OR DITCH. CONTINUE TO MONITOR THESE AREAS UNTIL THEY BECOME PERMANENTLY STABILIZED.

INSTALLATION

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH.
- ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH.
- BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL.
- SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
- BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE.
- ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE.
- WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5cm-12.5cm) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT.
- PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
- CONSECUTIVE BLANKETS SPUNCE DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5cm) OVERLAP.
- STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30cm) APART ACROSS ENTIRE BLANKET WIDTH.
- NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

EROSION CONTROL MATTING AND BLANKETS

GA-CD-5



Know what's below. Call before you dig.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND SHOWN IN A REPRESENTATIVE MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN RISK AND WITHOUT DELAY.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.

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COA #FE 005804

LL95 14TH DISTRICT
KING ARNOLD STREET
CITY OF HAPEVILLE
FULTON COUNTY, GEORGIA

MCMLAN PZADAN SMITH ARCHITECTURE
HAPEVILLE LIBRARY
SITE DEVELOPMENT PLANS
EROSION DETAILS

DATE 2/19/19

REVISIONS



GSWCC LEVEL II
CERT. NO. 0000021547

DRAWN BY TS
CHECKED BY TS
PROJECT MANAGER THEO STONE
JOB # 17003047
FILE CODE FILE CODE
SHEET NO.

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EROSION CONTROL MATTING AND BLANKETS

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EROSION CONTROL MATTING AND BLANKETS

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EROSION CONTROL MATTING AND BLANKETS

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TABLE 1

KING ARNOLD STREET

CITY OF HAPEVILLE

LITTON COUNTY GEORGIA

ARCHITECTURE

HAPEVILLE LIBRARY

SITE DEVELOPMENT PLANS

GRADING PLAN

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2 / 19 / 19

REVISIONS



GSWCC LEVEL II
CERT. NO. 0000021547

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SCALE 1"=20'

OWN BY: TS

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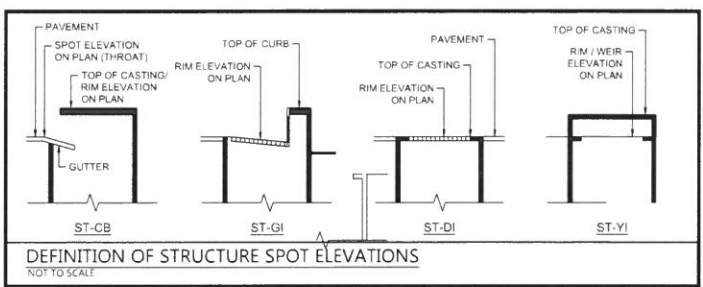
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VICINITY MAP

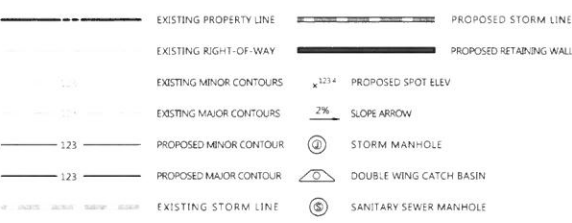
KEY NOTES	
①	CONTRACTOR TO TIE INTO AND MATCH EXISTING GRADE
②	RIDGELINE
③	CONCRETE STAIRS WITH HANDRAIL
④	DRAINAGE SWALE @ 1.00% MIN. GRADE. CONTRACTOR TO FINE GRADE TO ENSURE POSITIVE DRAINAGE
⑤	ADA PARKING AREA. MAXIMUM SLOPE OF 2% IN ANY DIRECTION
⑥	4" HDPE ROOF DRAIN THROUGH CURB. SEE ARCHITECTURAL PLANS FOR LOCATIONS
⑦	3" CONCRETE FLUME
⑧	PERVIOUS PAVERS SYSTEM FOR STORMWATER MANAGEMENT. SEE CROSS SECTIONS ON C-6.0 AND OUTLET DETAILS ON C-7.3
⑨	6" PVC UNDERDRAIN WRAPPED IN GEOTEXTILE. SEE DETAIL FOR PERVIOUS PAVERS

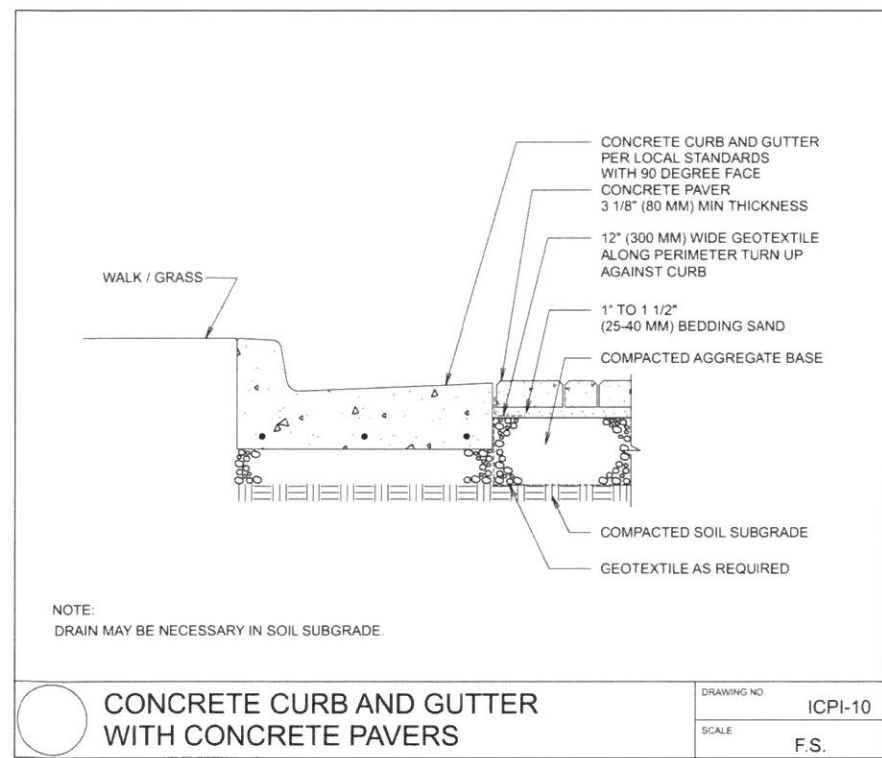
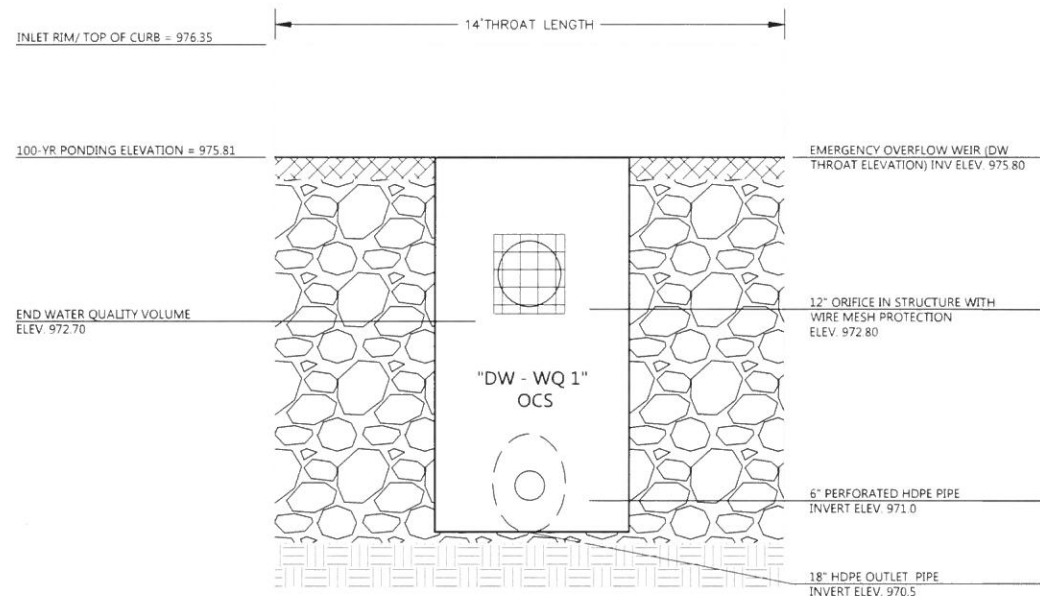
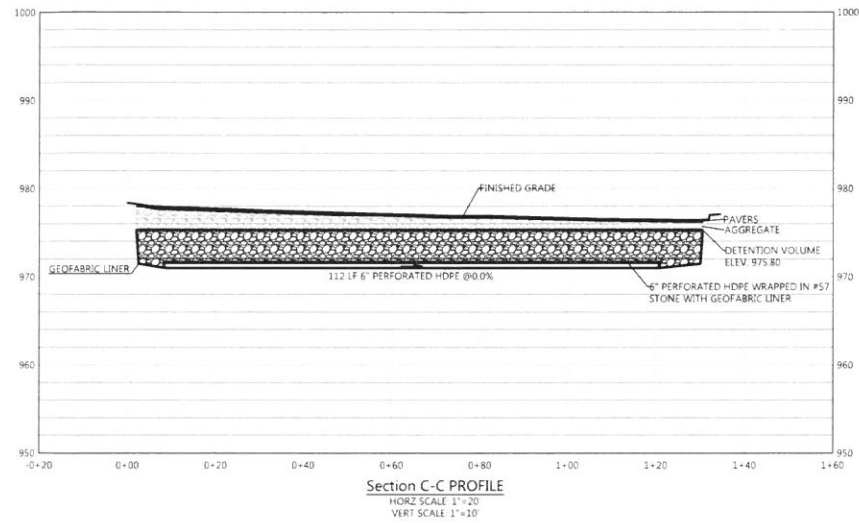
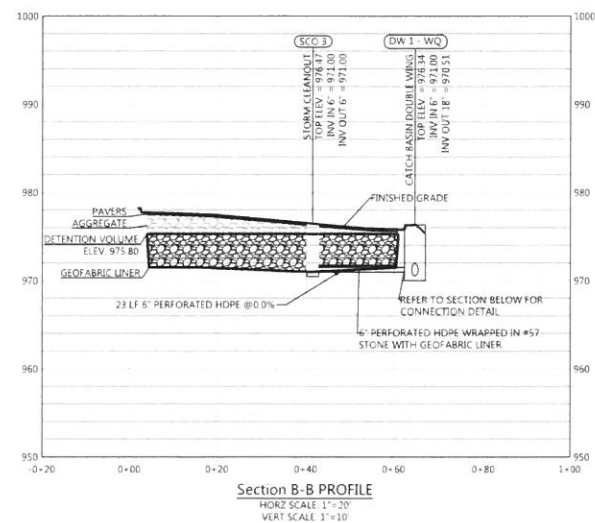
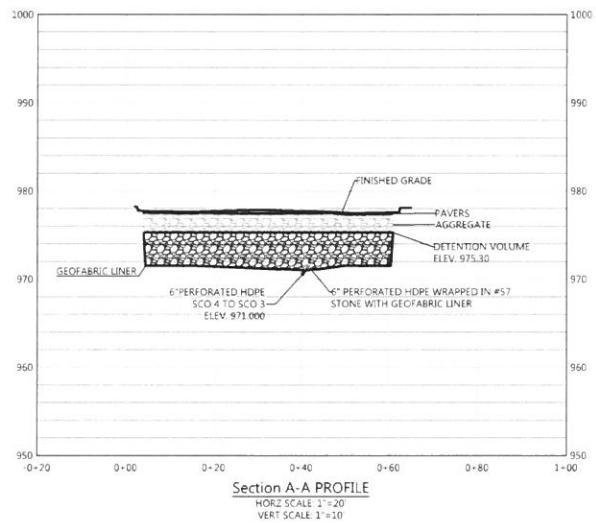
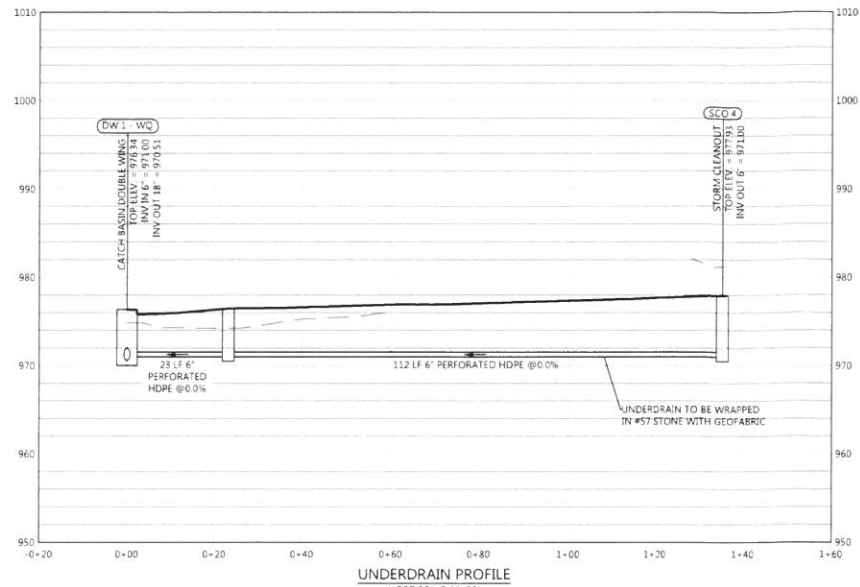
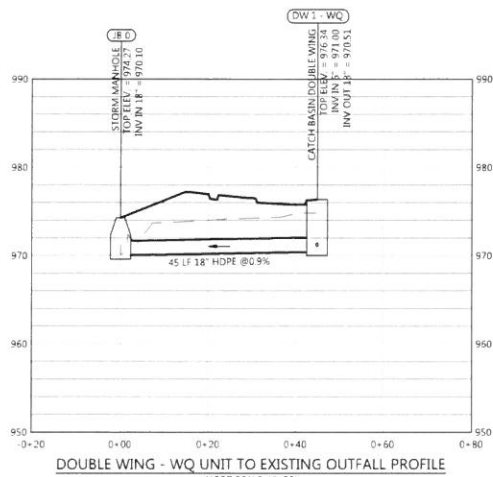


GENERAL NOTES:

1. ALL CRITICAL SLOPE GRADES ALONG CURB ARE BOTTOM OF CURB ELEVATIONS UNLESS OTHERWISE SPECIFIED.
2. NOT SLOPES ARE TO BE STEEPER THAN 3:1
3. ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.
4. ALL TREES TO HAVE PROPER PROTECTION UNLESS APPROVED PLANS INDICATE OTHERWISE.
5. TOPOGRAPHIC SURVEY BY ATWELL, DATED 2/13/18
6. FLOOD PLAIN IS NOT PRESENT ON THIS SITE PER FEMA FIRM MAP NUMBER 13121C0367F, DATED 04/14/13
7. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
8. OWNER IS RESPONSIBLE FOR MAINTENANCE OF ALL STORM SEWER ON PRIVATE PROPERTY.
9. THE OWNER IS RESPONSIBLE FOR OBTAINING ANY NECESSARY AGREEMENTS FROM ADJACENT PROPERTY OWNERS IN ORDER TO PERFORM THE REQUIRED OFFSITE WORK, INCLUDING DIVERSION CURB AND GUTTER AND PAVEMENT, THE SIGN AND GRADING.
10. VERTICAL DEPTH OF ALL DRY AND PRESSURIZED UTILITIES IS UNKNOWN. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE FOUND.
11. ALL CLEANOUTS LOCATED IN PAVEMENT TO HAVE TRAFFIC RATED LIDS.
12. CONTRACTOR TO VERIFY ALL ADA RAMPS COMPLY WITH ADA STANDARDS.

GRADING LEGEND





Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN TO AN APPROXIMATE 15' RADIUS. THEY ARE NOT TO BE CONSIDERED AS EXACT LOCATIONS. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

NOTICE

CONTRACTOR'S NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

24 HOUR
EMERGENCY CONTACT

JOE ALCOCK
678-251-4602

ATWELL

866.850.4200 www.atwell-group.com
1255 LAKES PINN, BUILDING 100, SUITE 120
LAWRENCEVILLE, GA 30043
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LL95 14TH DISTRICT

KING ARNOLD STREET

CITY OF HAPEVILLE

FULTON COUNTY, GEORGIA

MC MILLAN PAZDAN SMITH ARCHITECTURE

HAPEVILLE LIBRARY

SITE DEVELOPMENT PLANS

STORM PROFILES AND CROSS SECTIONS

DATE

2/19/19

REVISIONS

ENGINEER
BRIAN E. KAY

GSWCC LEVEL II
CERT. NO. 0000021547

0 10 20
SCALE 1"=20'

DRAWN BY TS

CHECKED BY TS

PROJECT MANAGER THEO STONE

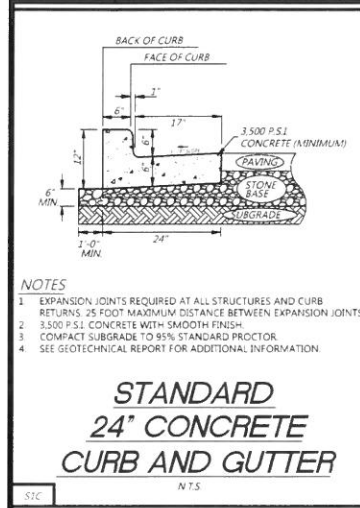
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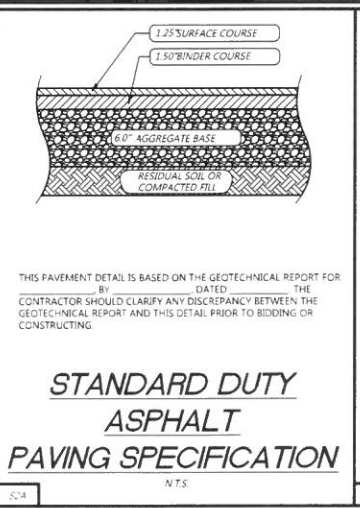
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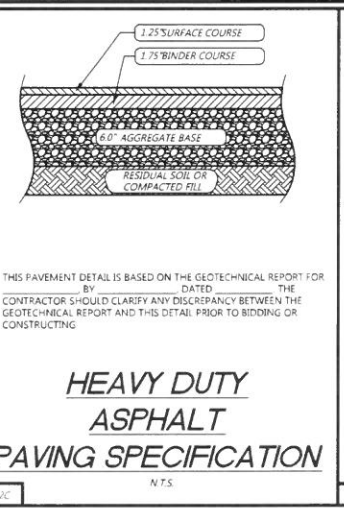
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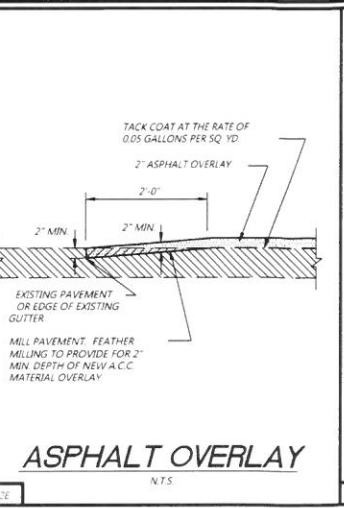
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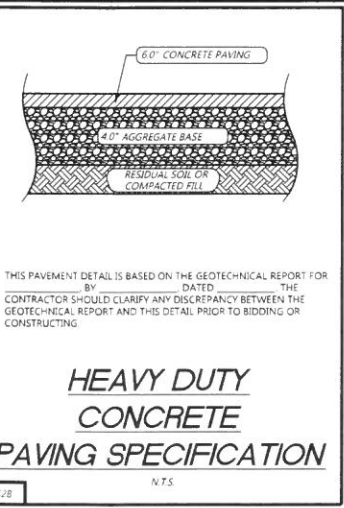
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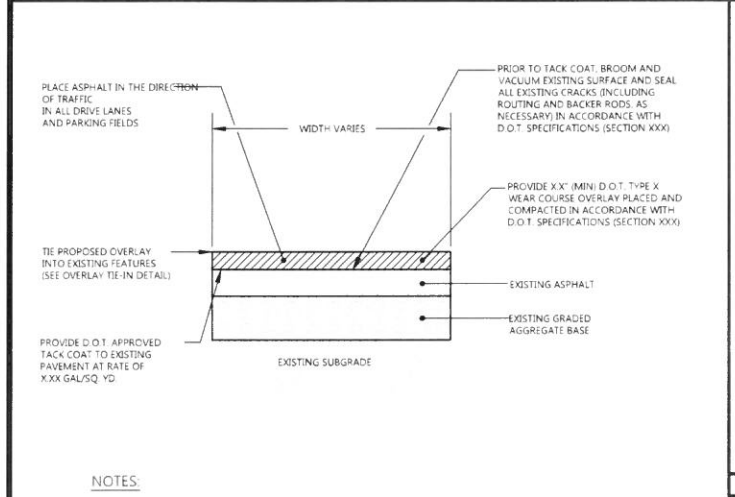
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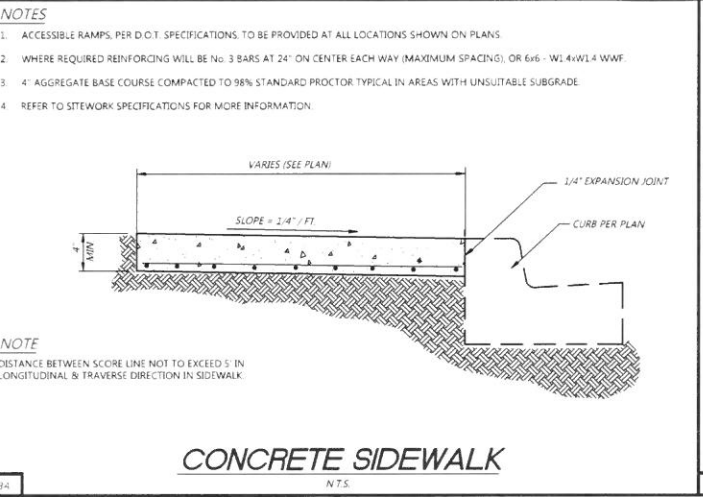
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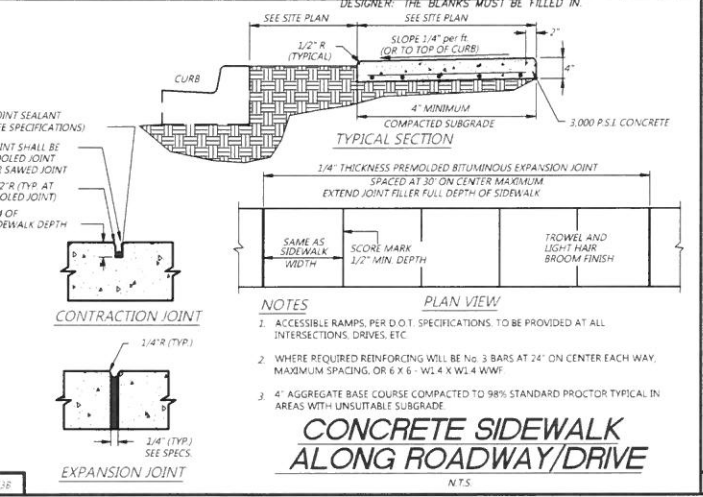
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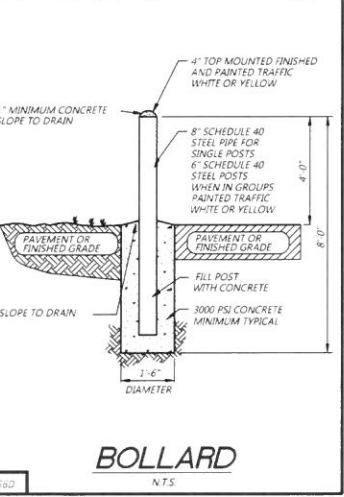
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S2A N.T.S.



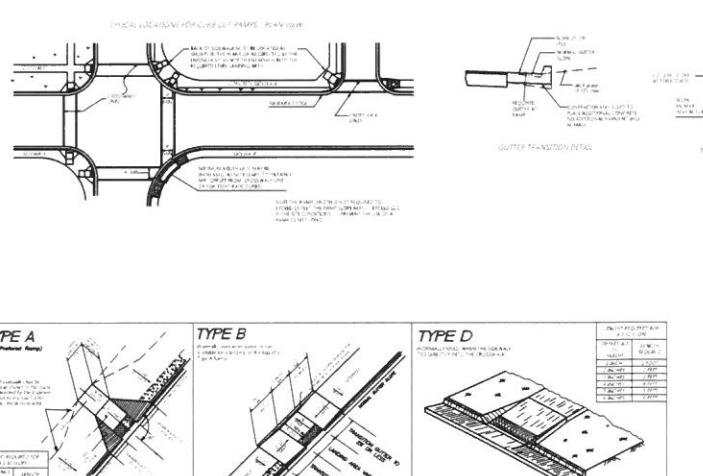
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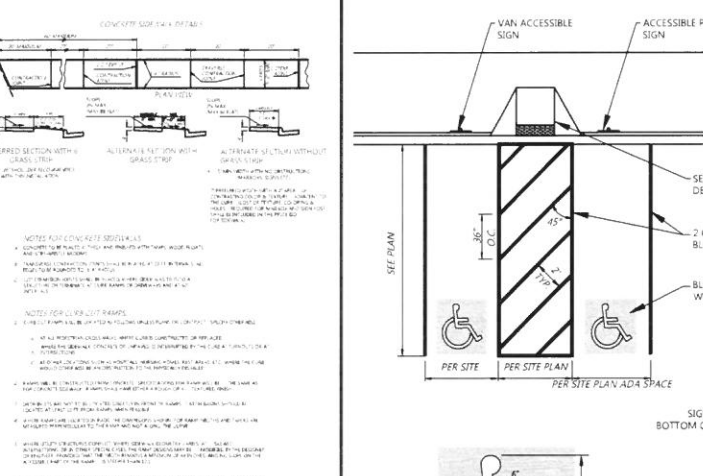
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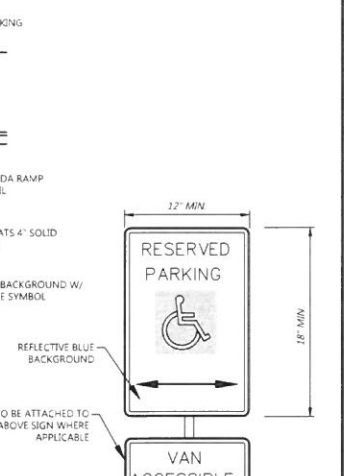
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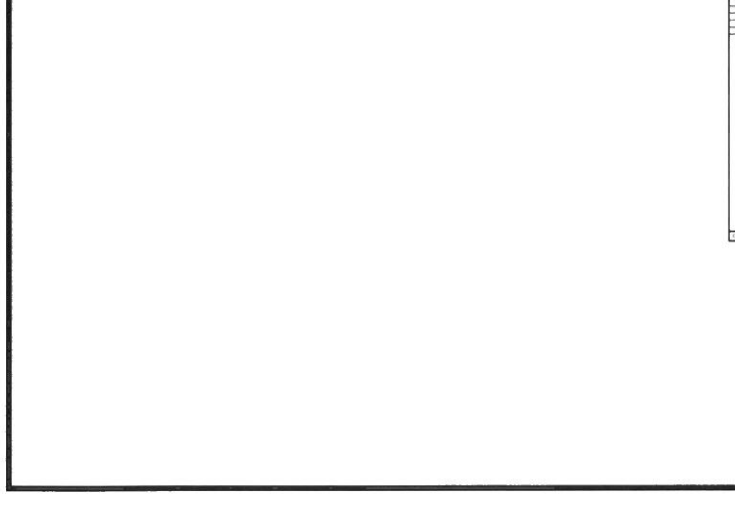
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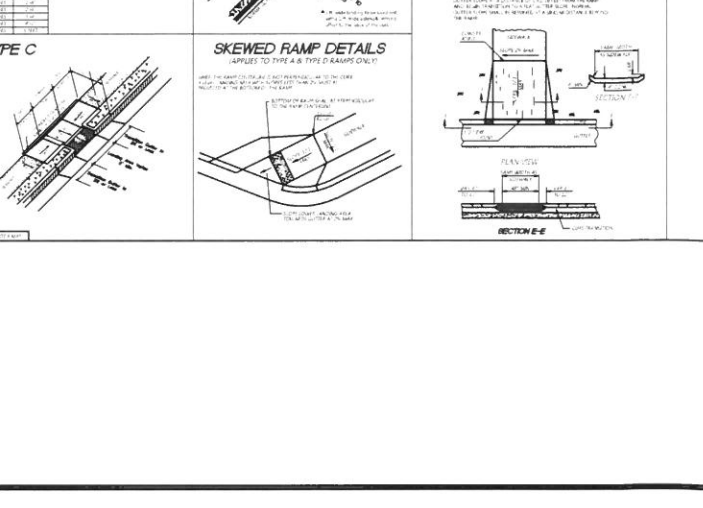
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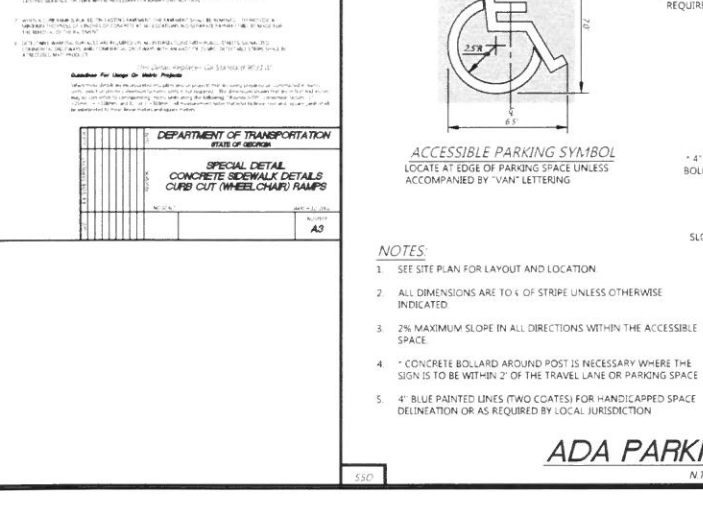
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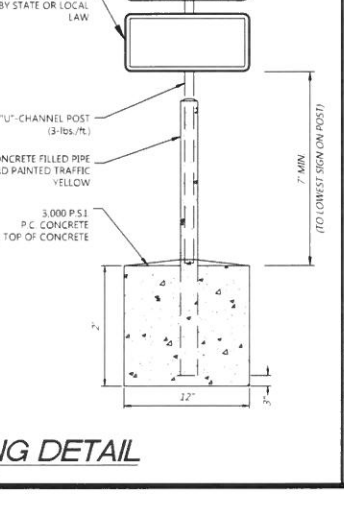
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S210 N.T.S.



S20 N.T.S.



S20 N.T.S.

Know what's below.
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LL95 14TH DISTRICT
KING ARNOLD STREET
CITY OF HAVESVILLE
FULTON COUNTY, GEORGIA

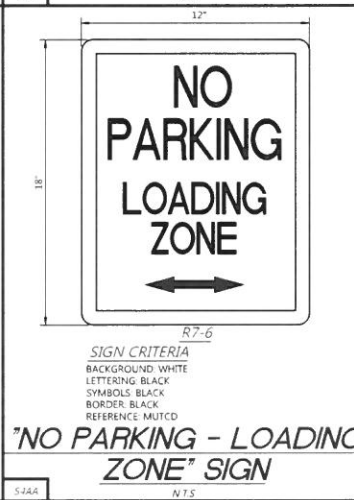
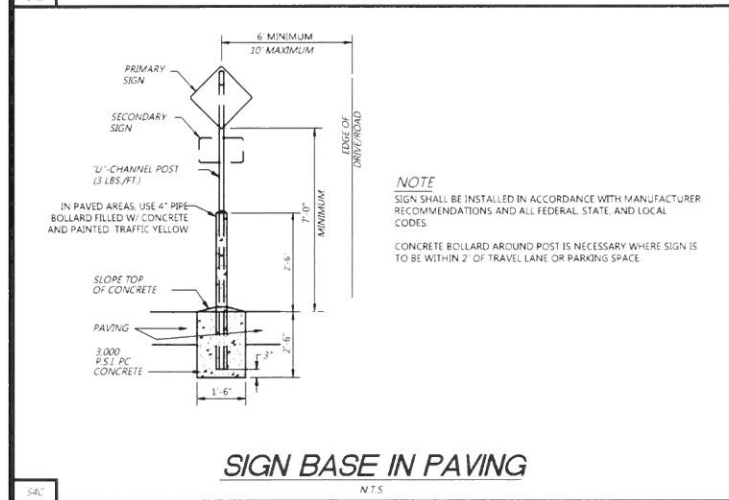
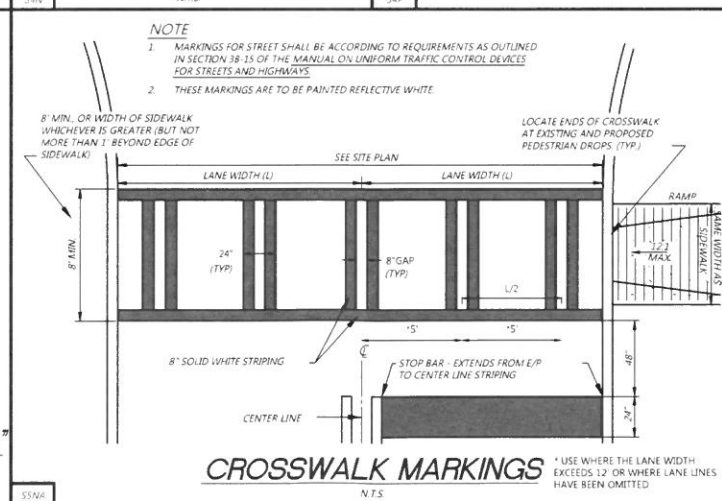
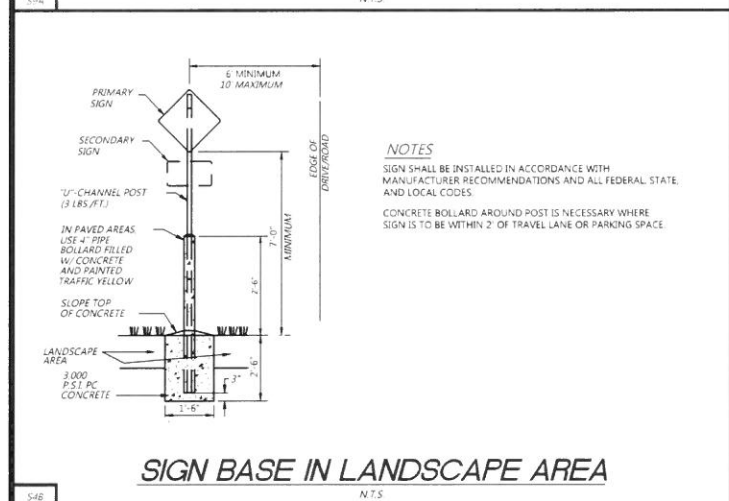
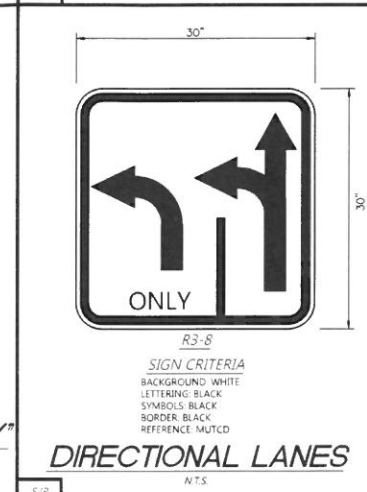
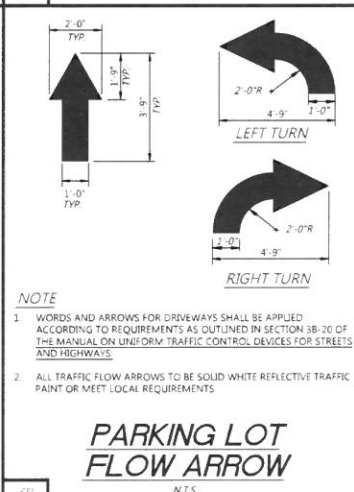
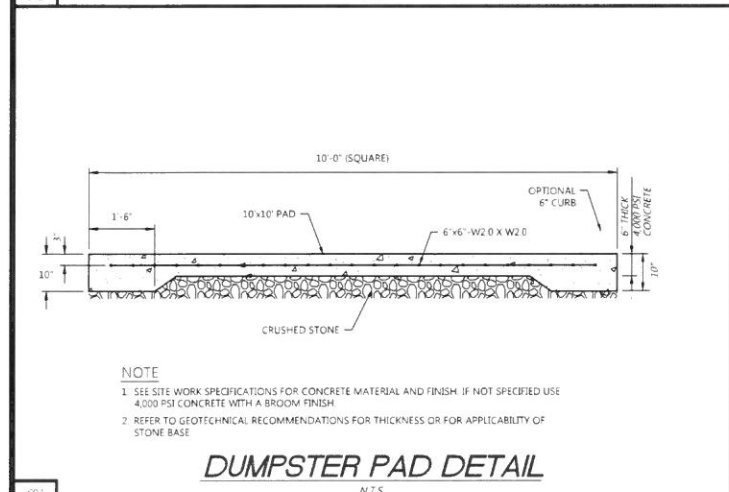
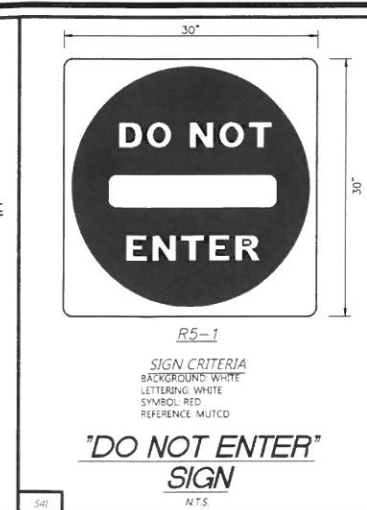
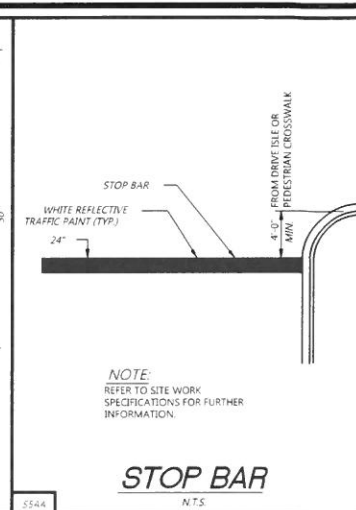
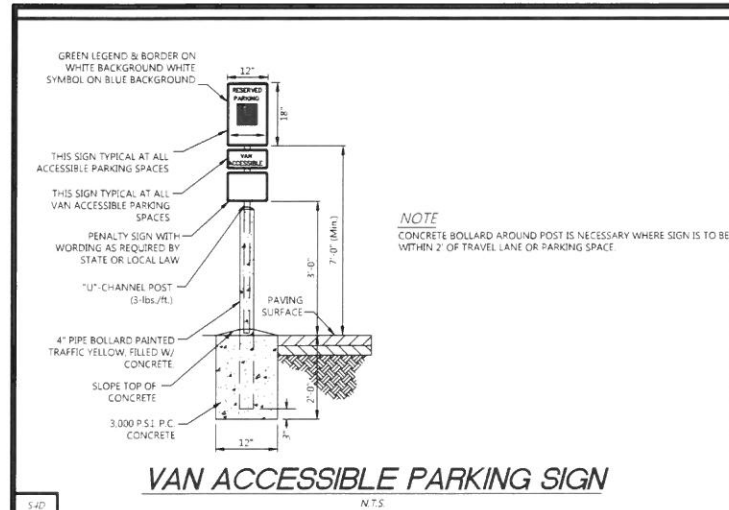
MC MILLAN PAZDAN SMITH ARCHITECTURE
HAVESVILLE LIBRARY
SITE DEVELOPMENT PLANS
CONSTRUCTION DETAILS

DATE 2/19/19

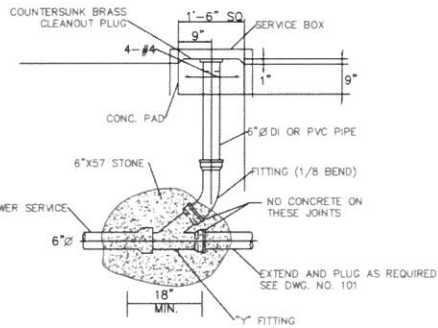
REVISIONS

REGISTERED PROFESSIONAL ENGINEER
BRIAN E. KAY
GSWCC LEVEL II
CERT. NO. 0000021547

DRAWN BY TS
CHECKED BY TS
PROJECT MANAGER THEO STONE
JOB # 17003047
FILE CODE FILE CODE
SHEET NO. C-7.0

[illegible]

NOTES:
1. TOP OF SERVICE BOX SHALL BE FLUSH WITH
FINAL SURFACE IN SIDEWALKS AND PAVED AREAS.
2. HEAVY DUTY CLEANOUT BOX AND LID ARE
REQUIRED IN PAVED AREAS.

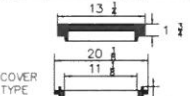


USF 7635 SEWER VALVE BOX AND COVER
N.T.S.

STANDARDS AND SPECIFICATIONS:
1. COVER IS MARKED "S".

TO ORDER:
1. SPECIFY USF NUMBER AND COVER
TYPE.

COVER TYPE	LOAD RATING	COVER WEIGHT	TOTAL WEIGHT
FJ	HEAVY DUTY	55	230



NO. 53 STANDARD

FULTON COUNTY STANDARD DETAIL 708
SERVICE CONNECTION CLEANOUT

DATE	REVISIONS	DATE	REVISIONS
12-2-08	1		

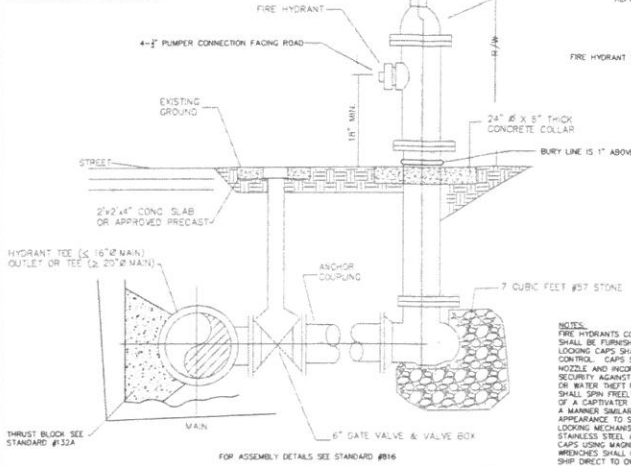
APPROVED	DATE
	12-2-08



FULTON COUNTY PUBLIC WORKS
141 PRYOR ST. ATLANTA, GA 30303
404-813-7400 FAX: 404-224-0488

MINIMUM OF 18-INCHES FROM
GROUND TO CENTER OF CONNECTION
MAXIMUM OF 21-INCHES.

NOTE: REQUIRED
CONCRETE STRENGTH TEST REQUIRED
FOR ALL POURED IN PLACE CONCRETE.



NOTE: PAINT BONNET SILVER FOR HYDRANTS
SET ON 12-INCH AND SMALLER WATER LINES.
YELLOW FOR HYDRANTS SET ON 12-INCH
WATER LINES AND GREEN FOR HYDRANTS SET
ON LARGER THAN 12-INCH WATER LINES.
REPAINT HYDRANT AT END OF MAINTENANCE.

NOTES:
FIRE HYDRANTS CONNECTED TO 12-INCH AND LARGER WATER MAINS
SHALL BE FURNISHED WITH LOCKING HYDRANT SECURITY CAPS.
LOCKING CAPS SHALL BE CAPTIVATED AS PROVIDED BY AMERICAN FLOW
CONTROL. CAPS SHALL BE PROVIDED ON EACH HOSE AND PUMP.
HOZZLE AND INCORPORATE A "TYPED" DESIGN THAT PROVIDES
SECURITY AGAINST UNAUTHORIZED RETRIEVAL INTO THE FIRE HYDRANT
OR WATER TIGHT FROM THE HYDRANT. WHEN SECURED, THE CAP
SHALL OPEN FREELY, UNLOCKED AND REMOVED THROUGH THE USE
OF A CAPTIVATED WRENCH. WHEN UNLOCKED, THE CAP SHALL OPEN IN
A MANNER SIMILAR TO A STANDARD CAP. CAPS SHALL BE SIMILAR IN
APPEARANCE TO STANDARD CAPS AND SHALL USE A CENTER PLACED
LOCKING MECHANISM. THE LOCKING MECHANISM SHALL BE HARDENED
STAINLESS STEEL AND SHALL BE PROTECTED FROM THE ELEMENTS
CAPS USING MAGNETIC LOCKS ARE UNACCEPTABLE. ALL CAPTIVATED
WRENCHES SHALL HAVE UNIQUE SERIAL NUMBERS. WRENCHES SHALL
SHIP DIRECT TO OWNER.

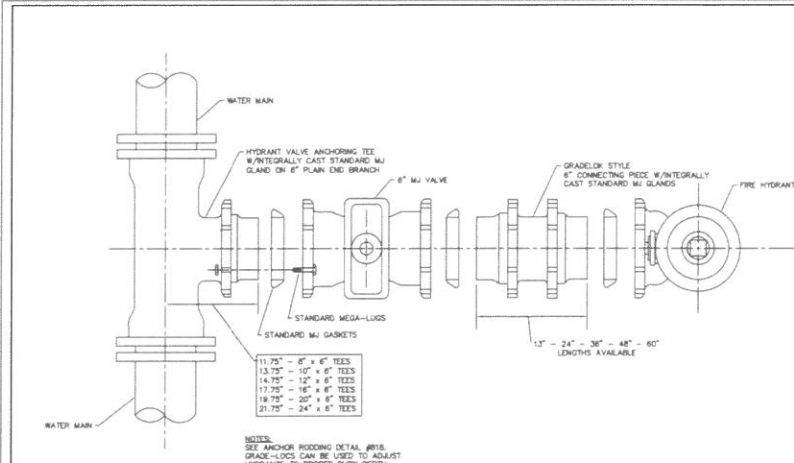
FULTON COUNTY STANDARD DETAIL 815
FIRE HYDRANT STREET UNCURED

DATE	REVISIONS	DATE	REVISIONS
12-2-08	1		

APPROVED	DATE
	12-2-08



FULTON COUNTY PUBLIC WORKS
141 PRYOR ST. ATLANTA, GA 30303
404-813-7400 FAX: 404-224-0488



NOTES:
SEE ANCHOR WOODING DETAIL #815.
GRADE-LOCS CAN BE USED TO ADJUST
HYDRANTS TO PROPER BURY DEPTH.

FULTON COUNTY STANDARD DETAIL 815
FIRE HYDRANT INSTALLATION DETAILS

DATE	REVISIONS	DATE	REVISIONS
12-2-08	1		

APPROVED	DATE
	12-2-08



FULTON COUNTY PUBLIC WORKS
141 PRYOR ST. ATLANTA, GA 30303
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SAFETY OF THE WORK OR PERSONS ENGAGED IN
THE WORK OR ANY NEARBY UTILITIES OR CO-
LOCATED UTILITIES.

24 HOUR
EMERGENCY CONTACT
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L95 14TH DISTRICT
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MCVILLAN PAZDAN SMITH ARCHITECTURE
HAPEVILLE LIBRARY
SITE DEVELOPMENT PLANS
CONSTRUCTION DETAILS

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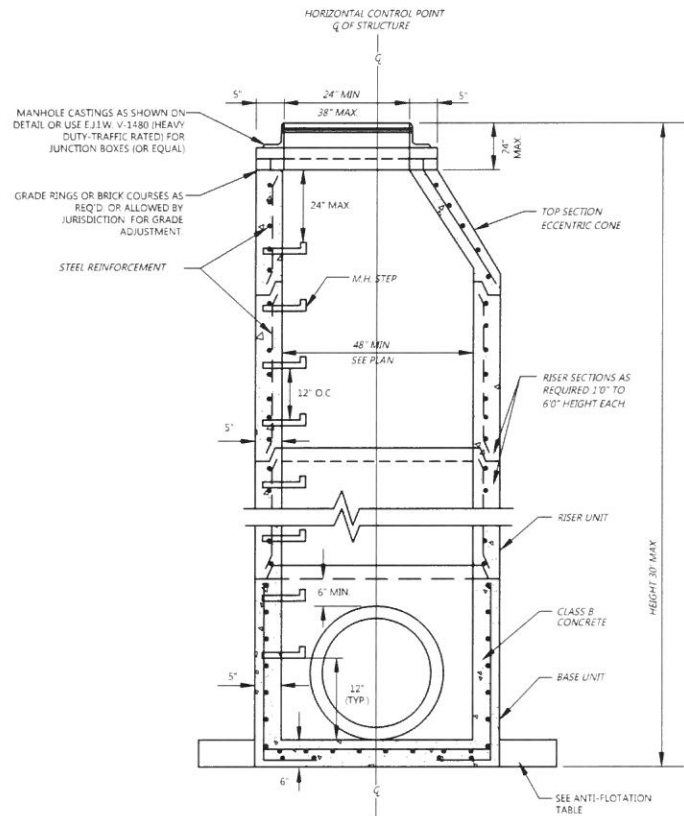
REVISIONS



GSWCC LEVEL II
CERT. NO. 0000021547

DRAWN BY TS
CHECKED BY TS
PROJECT MANAGER THEO STONE
JOB # 17003047
FILE CODE: FILE CODE
SHEET NO.

C-7.2



**TYPICAL PRECAST
STORM SEWER MANHOLE**
N.T.S.

SPECIFICATIONS:

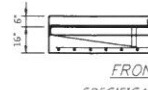
- COMPRESSIVE:** 4000 PSI @ 28 DAYS
- LOADING:** AASHTO HS-20 TRAFFIC LOADING
- STRUCTURE:** DESIGN TO CONFORM WITH PRECAST REINFORCED CONCRETE MANHOLE SECTIONS A.S.T.M. DESIGNATION C478
- REINFORCEMENT:** COMPLIES WITH ASTM A-615 GRADE 60 AND/OR A.S.T.M. A185 BAR BENDING AND PLACEMENT SHALL COMPLY WITH THE LATEST ACI STANDARDS
- SITE PREPARATION:** THE STRUCTURE SHALL BE PLACED ON A COMPACTED GRANULAR BASE TO INSURE UNIFORM DISTRIBUTION OF SOIL PRESSURES
- WATER TABLE:** BASE DESIGN ON 2'0\"/>

CIRCULAR MANHOLE FOOTER CHART (ANTI-FLOTATION IN PONDS)

WT.	DIAMETER	DEPTH	DIAMETER	DEPTH	DIAMETER	DEPTH
20	9'	2.75'	7.5'	3.25'	6'	4.00'
18	9'	2.50'	7.5'	3.00'	6'	3.50'
16	9'	2.25'	7.5'	2.67'	6'	3.25'
14	9'	2.00'	7.5'	2.25'	6'	2.75'
12	9'	1.75'	7.5'	2.00'	6'	2.50'
10	9'	1.50'	7.5'	1.75'	6'	2.00'
8	9'	1.25'	7.5'	1.33'	6'	1.67'
6	9'	1.00'	7.5'	1.00'	6'	1.25'
4	9'	0.83'	7.5'	0.83'	6'	0.83'
2	9'	0.83'	7.5'	0.83'	6'	0.83'

PIPE SIZE	NORMAL W OR W1	MIN H
12"	3'-0"	4'-4"
15"	3'-0"	4'-7"
18"	3'-0"	4'-10"
24"	3'-0"	5'-6"
30"	3'-4"	6'-2"
36"	4'-0"	6'-10"
42"	5'-0"	7'-4"
48"	5'-0"	8'-0"
54"	6'-0"	8'-6"
60"	6'-0"	9'-2"

INLET CAPACITY
(Weir Flow)
 $Q = 3.3P^{0.4}(h)^{1.5}$
Where $P = W1 + 8'-4"$
 h = head in feet



SPECIFICATIONS:

1. THE CONCRETE IS DESIGNED TO OBTAIN A STRENGTH OF 4,000 PSI IN 28 DAYS.
2. THE REINFORCING STEEL HAS A YIELD STRENGTH OF 60,000 PSI (1-1/2\"/>

DOUBLE WING CATCH BASIN
N.T.S.

PIPE SIZE	NORMAL W OR W1	MIN H
12"	3'-0"	4'-4"
15"	3'-0"	4'-7"
18"	3'-0"	4'-10"
24"	3'-0"	5'-6"
30"	3'-4"	6'-2"
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54"	6'-0"	8'-6"
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INLET CAPACITY
(Weir Flow)
 $Q = 3.3P^{0.4}(h)^{1.5}$
Where $P = W1 + 8'-4"$
 h = head in feet



SPECIFICATIONS:

1. THE CONCRETE IS DESIGNED TO OBTAIN A STRENGTH OF 4,000 PSI IN 28 DAYS UNLESS OTHERWISE NOTED.
2. THE REINFORCING STEEL HAS A YIELD STRENGTH OF 60,000 PSI (1-1/2\"/>

DOUBLE WING CATCH BASIN
N.T.S.



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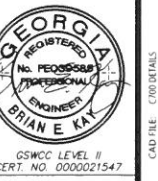


LL95 14TH DISTRICT
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MC MILLAN PAZDAN SMITH ARCHITECTURE
HAPEVILLE LIBRARY
SITE DEVELOPMENT PLANS
CONSTRUCTION DETAILS

DATE 2/19/19

REVISIONS



DRAWN BY: TS
CHECKED BY: TS
PROJECT MANAGER: THEO STONE
JOB #: 17003047
FILE CODE: FILE CODE
SHEET NO: C-7.3



CAD FILE: C700 DETAILS

BOTTOM RIGHT

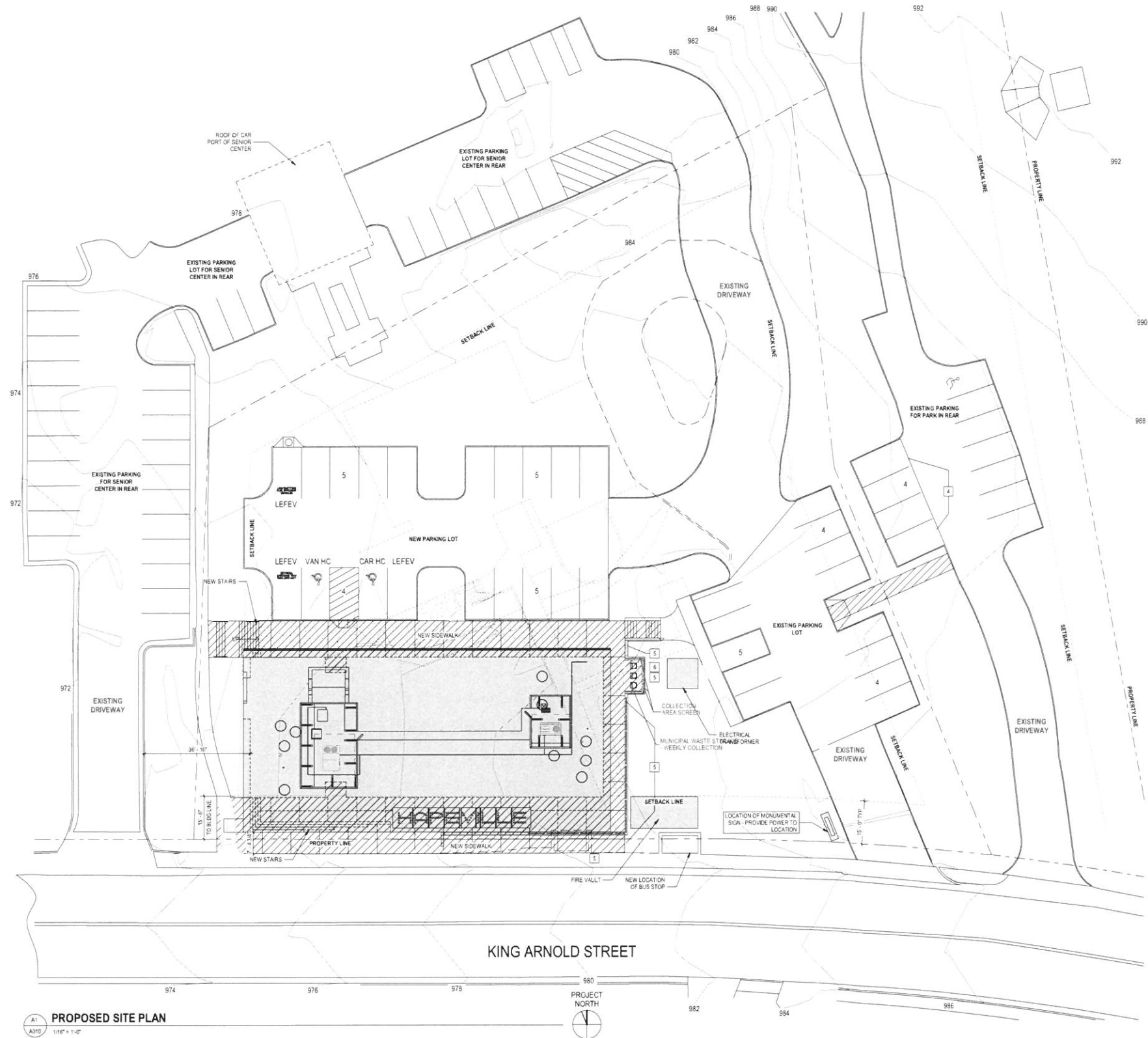
ALL DRAWINGS ARE TO BE CONSIDERED AS PART OF THE PROJECT. ANY CHANGES TO THE PROJECT MUST BE APPROVED BY THE ARCHITECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS.

D

C

B

A



PROPOSED SITE PLAN
A1
A100 1/16" = 1'-0"

SHEET KEYNOTES

1. REMILL AND RESTRIPE EXISTING PARKING LOT
2. NEW PARKING LOT LIGHTING TO BE PROVIDED BY OWNER. POWER BY GC
3. NEW MONUMENTAL SIGN TO REPLACE EXISTING SIGN - BY OTHERS
4. NEW PARKING SPACES ADDED TO EXISTING PARKING LOT
5. NEW SITE WALL STACKED CMU - REFERENCE LANDSCAPING DWGS
6. NEW ENCLOSURE AROUND WASTE RECEPTACLES - REFERENCE LANDSCAPING DWGS

SITE PLAN LEGEND

- EXISTING BUILDING TO BE REMOVED
- EXISTING SITE ELEMENTS TO BE REMOVED
- NEW BUILDING LOCATION
- NEW SIDEWALK - REFERENCE LANDSCAPE DWGS
- HC HANDICAPPED PARKING SPACE
- LEFEV LOW EMITTING FUEL EFFICIENT VEHICLE PREFERRED PARKING SPACE
- NEW RETAINING WALL

SITE PLAN NOTES

1. ARCHITECTURAL SITE PLAN FOR REFERENCE AND COORDINATION ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR GRADING, UTILITY, HARDSCAPE, TREE PROTECTION AND PLANTING INFORMATION
2. PARKING LOT LIGHTING AND POLES TO BE PROVIDED BY GEORGIA POWER. UNO

PROJECT NAME: HAPEVILLE LIBRARY
OWNER: FULTON COUNTY LIBRARY SYSTEM
CONTRACTOR: ALBION
ARCHITECT: MCMILLAN PAZDAN SMITH

PROPOSED BUILDING HEIGHT: 22'-5" (EXISTING BUILDING TO BE REMOVED AND REPLACED BY PROPOSED BUILDING - SEE SITE PLAN)
PROPOSED BUILDING SIZE: 5975 SF

DATE DRAWN: FEBRUARY 2019

PARKING: +/- 11100 SF, INCL. PARK
NO. OF SPACES (42 TOTAL, 31 FOR LIBRARY USE ONLY)
EXISTING - 19, INCL. SPACES FOR PARK
PROPOSED - 23, INCL. SPACES FOR PARK
AREA OF PAVED PARKING SURFACE - 36682 SF

SIGNAGE:
MONUMENT SIGN DIMENSIONS (WxH):
BUILDING SIGN DIMENSIONS (WxH): 15'-0" W x 4'-0" H

ELEVATIONS: REFERENCE SHEETS A300, A301; SEE KEYNOTES FOR BUILDING MATERIALS

SITE AREA: 19.02 ACRES (828511 SF)

ALLOCATION OF SITE AREA:
BUILDING COVERAGE - 5850 SF (0.7%)
PARKING AND DRIVEWAYS - 36682 SF (4.4%)
OPEN SPACE AREAS - 785979 SF (94%)
LANDSCAPING -- 38242 SF (4.6%)
RECREATIONAL PARK -- 747737 SF (90.3%)

BUILDING FLOOR AREA BY CAETGORY:
ADMINISTRATIVE - 653 SF
ASSEMBLY - 715 SF
CIRCULATION - 890 SF
READING AREA - 1004 SF
STACKS - 1432 SF
STORAGE - 341 SF

TOTAL FLOOR AREA RATIO: .007

mcmillan pazdan smith
ARCHITECTURE

Albion



FULTON COUNTY LIBRARY SYSTEM
HAPEVILLE LIBRARY
525 KING ARNOLD STREET
HAPEVILLE, GA

SHEET ISSUE			
NO	DATE	DESCRIPTION	BY
1	9/21/2018	SCHEMATIC DESIGN	
2	11/06/2018	DESIGN DEVELOPMENT	
3	12/21/2018	50% CONSTRUCTION DOCUMENTS	
4	02/23/2019	100% CONSTRUCTION DOCUMENTS	

RELEASED FOR CONSTRUCTION

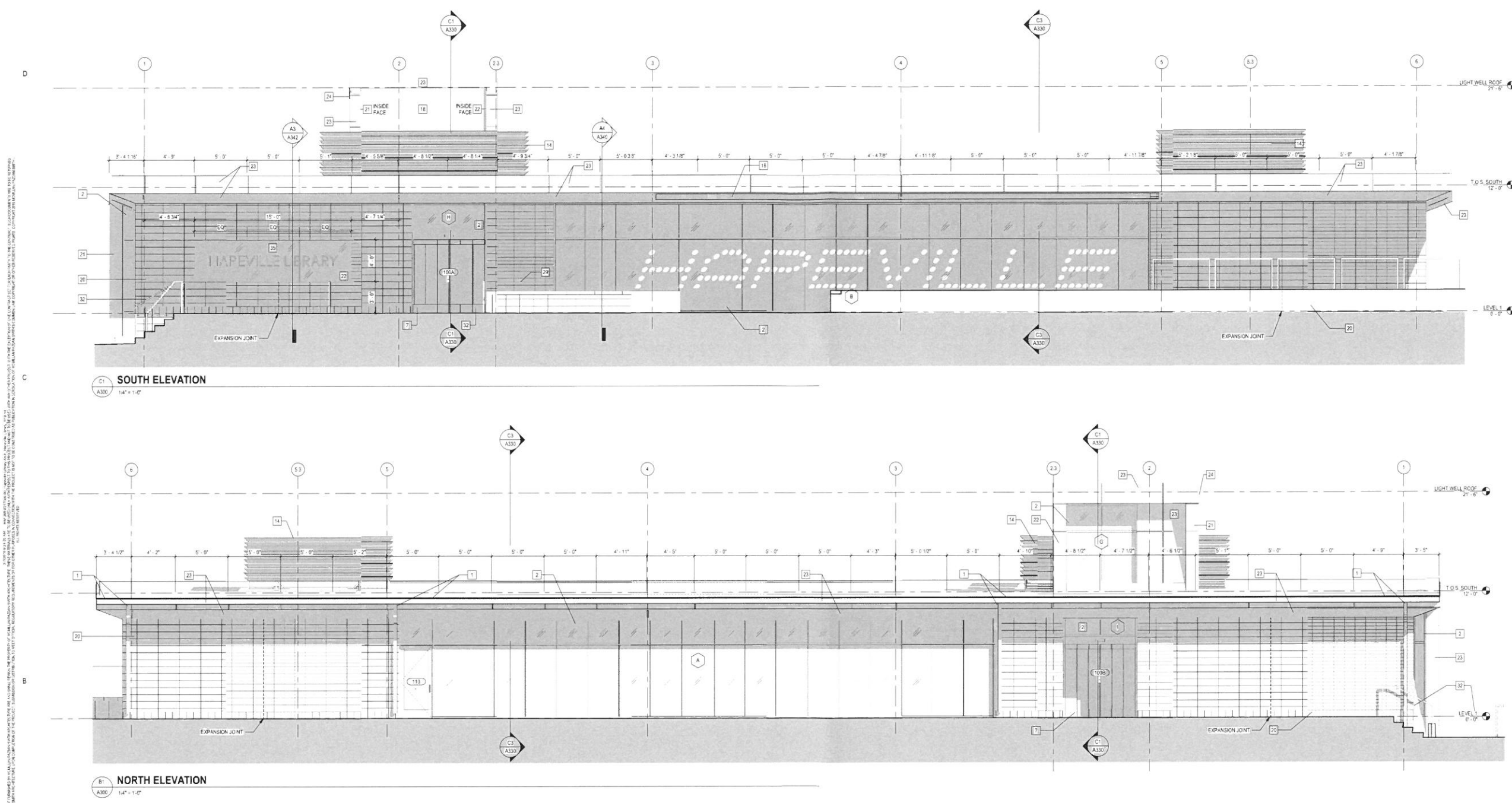
PRINCIPAL IN CHARGE: JA
PROJECT ARCHITECT: WB
DRAWN BY: AR

SHEET TITLE:
ARCHITECTURAL
SITE PLAN

SHEET NO: PROJ NO: 017506.00

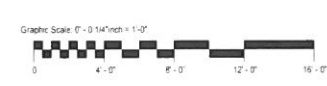
A010

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- SHEET KEYNOTES**
1. 8" GUTTER WITH GUTTER GUARDS AND DOWNSPOUTS WITH FLUOROPOLYMER FINISH TO MATCH ACM
 2. STOREFRONT SYSTEM W/ INSULATED GLAZING
 3. INTERIOR WALL WITH 4" STOREFRONT SYSTEM RIBBON WINDOW. REFERENCE SHEET A201
 4. INTERIOR STOREFRONT WALL SYSTEM. REFERENCE SHEET A202
 5. DISPLAY FURNITURE
 6. BOOK DROP TO BE INSTALLED @ 4' HFT MAX TO OPERABLE HEIGHT
 7. MOTORISED SLIDING DOOR
 8. RFID SECURITY GATE - REFERENCE TECHNOLOGY AND ELECTRICAL DWGS
 9. ROOF LADDER
 10. BOOK CARTS - BY OTHERS
 11. DRINKING FOUNTAIN W/ BOTTLE FILLER - REFERENCE PLUMBING DWGS
 12. AV DISPLAY - BY OTHERS. SEE TECHNOLOGY DRAWINGS
 13. 5'0" X 5'0" ROOF HATCH
 14. ARCHITECTURAL LOUVERS MECHANICAL SCREEN WITH STURDIOSTRUCT CURB MOUNTED FRAMING AND GATE FOR ACCESS
 15. MECHANICAL UNITS - REFERENCE MECHANICAL DWGS
 16. 7'0" X 5'0" ZINC-RIQUED ALUM PANELS WITH 7" DIAMETER CIRCLES FORMING LETTERS TO SPELL "HAPEVILLE"
 17. WHITE TPO ROOF MEMBRANE
 18. GREY TPO ROOF MEMBRANE - TO MATCH GREY ACM PANELS
 19. EXPOSED PAINTED STRUCTURAL DECKING 1/4" X 1/2" SLOPE - REFERENCE STRUCTURAL DWGS
 20. MEDIUM GREY UTILITY BRICK
 21. RED ACM PANELS
 22. WHITE ACM PANELS
 23. METALLIC GREY ACM PANELS
 24. DIMENSIONAL BLDG SIGNAGE ON STAND-OFFS - REFERENCE WAYFINDING DWGS. COORDINATE REG'D BLOCKING W/ SIGNAGE AND ACM MFRS
 25. PAINTED HOLLOW METAL DOOR
 26. AEROSOL STEEL STRUCTURE
 27. MILLWORK DISPLAY CABINET
 28. MOTORISED PROJECTION SCREEN. COORDINATE INSTALL OF SCREEN AND FINISHED CEILING
 29. BIKE RACK SEE LANDSCAPE DRAWINGS
 30. LIGHT SCOOP ROOF
 31. MECHANICAL VENT. REFERENCE MECHANICAL DWGS
 32. ALUMINUM HAND RAIL. REFERENCE LANDSCAPE DWGS
 33. TPO TRAFFIC PAVING
 34. GATE WITH LOCK TO MATCH PANELS
 35. BACK-PAINTED GLASS PANEL. EDGE-LIT. ON STANDOFFS OVER ACM - REFERENCE WAYFINDING DWGS
 36. SITE WALL. REFERENCE LANDSCAPING DWGS
 37. 10' TYPICAL 1" CYAN POLYESTER PANEL. FROM WALL 1 BASE TO 10' & 8' FROM 10' TO 10' 8'

EXTERIOR MATERIAL SCHEDULE	
MATERIAL	BASIS OF DESIGN - MANUFACTURER - COLOR - STYLE
UTILITY BRICK	BOD - TAYLOR BRICK 322 GRAY WIRE CUT DEDUCTIVE ALI 7 STAINED BRICK
SILVER ACM PANEL	BOD - ALUCOBOND SILVER METALLIC
RED ACM PANEL	BOD - ALUCOBOND RED FIRE
WHITE ACM PANEL	BOD - ALUCOBOND ALABASTER
PAINTED STEEL	BOD - SHERWIN WILLIAMS EXTRA WHITE EGGSHELL (P-1)
STOREFRONT	BOD - KAWNEER 4511 SSG CLEAR ANODIZED
METAL COPING, GUTTERS, AND DOWNSPOUTS	BOD - TBD TO MATCH SILVER ACM



mcmillan pazdan smith
ARCHITECTURE

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SHEET ISSUE

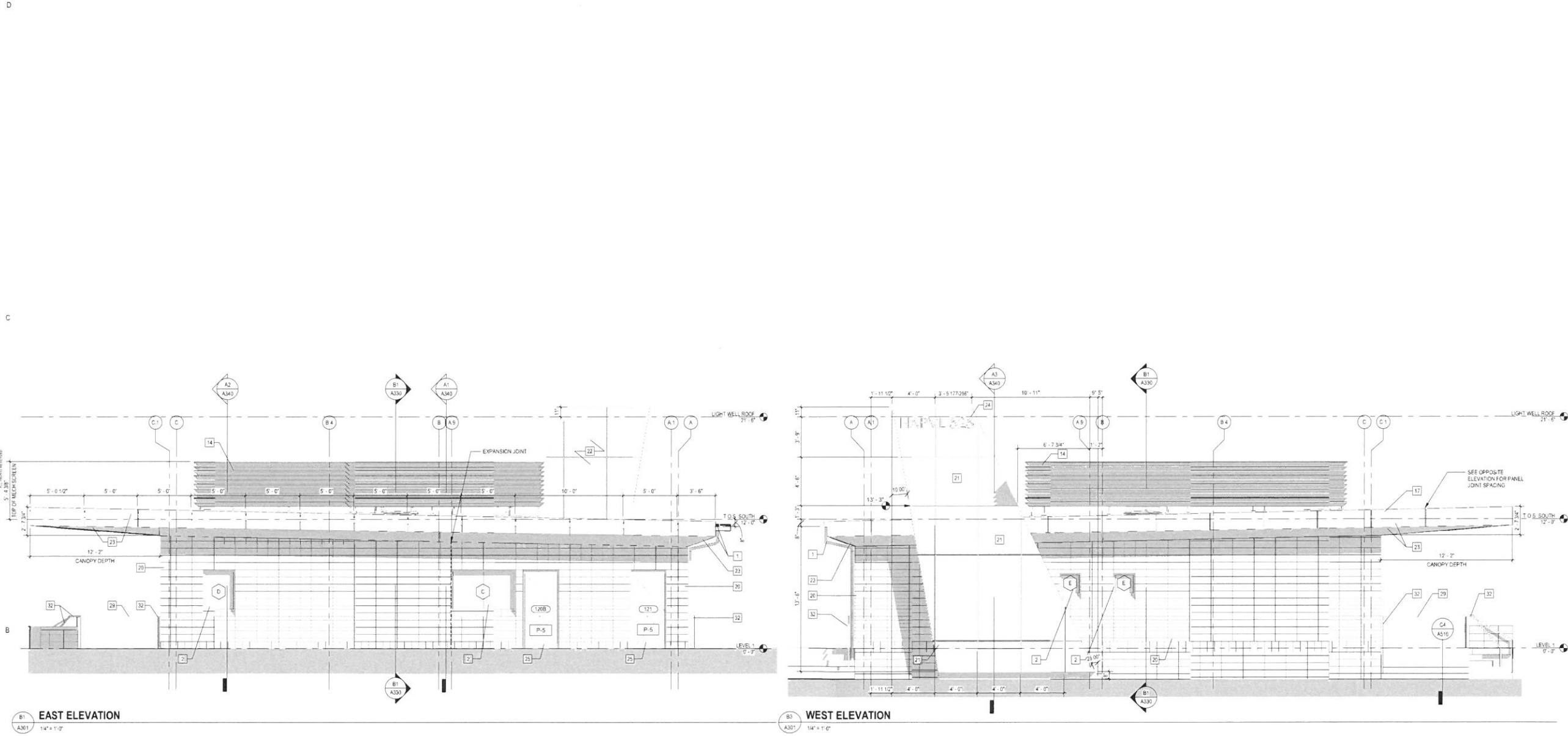
NO.	DATE	DESCRIPTION	BY
1	5/21/2018	SCHEMATIC DESIGN	JA
2	11/06/2018	DESIGN DEVELOPMENT	WB
3	12/21/2018	50% CONSTRUCTION DOCUMENTS	AR
4	02/23/2019	100% CONSTRUCTION DOCUMENTS	

RELEASED FOR CONSTRUCTION

PRINCIPAL IN CHARGE: JA
PROJECT ARCHITECT: WB
DRAWN BY: AR

SHEET TITLE:
BUILDING ELEVATIONS

SHEET NO: **A300**
PROJ NO: 017505.00

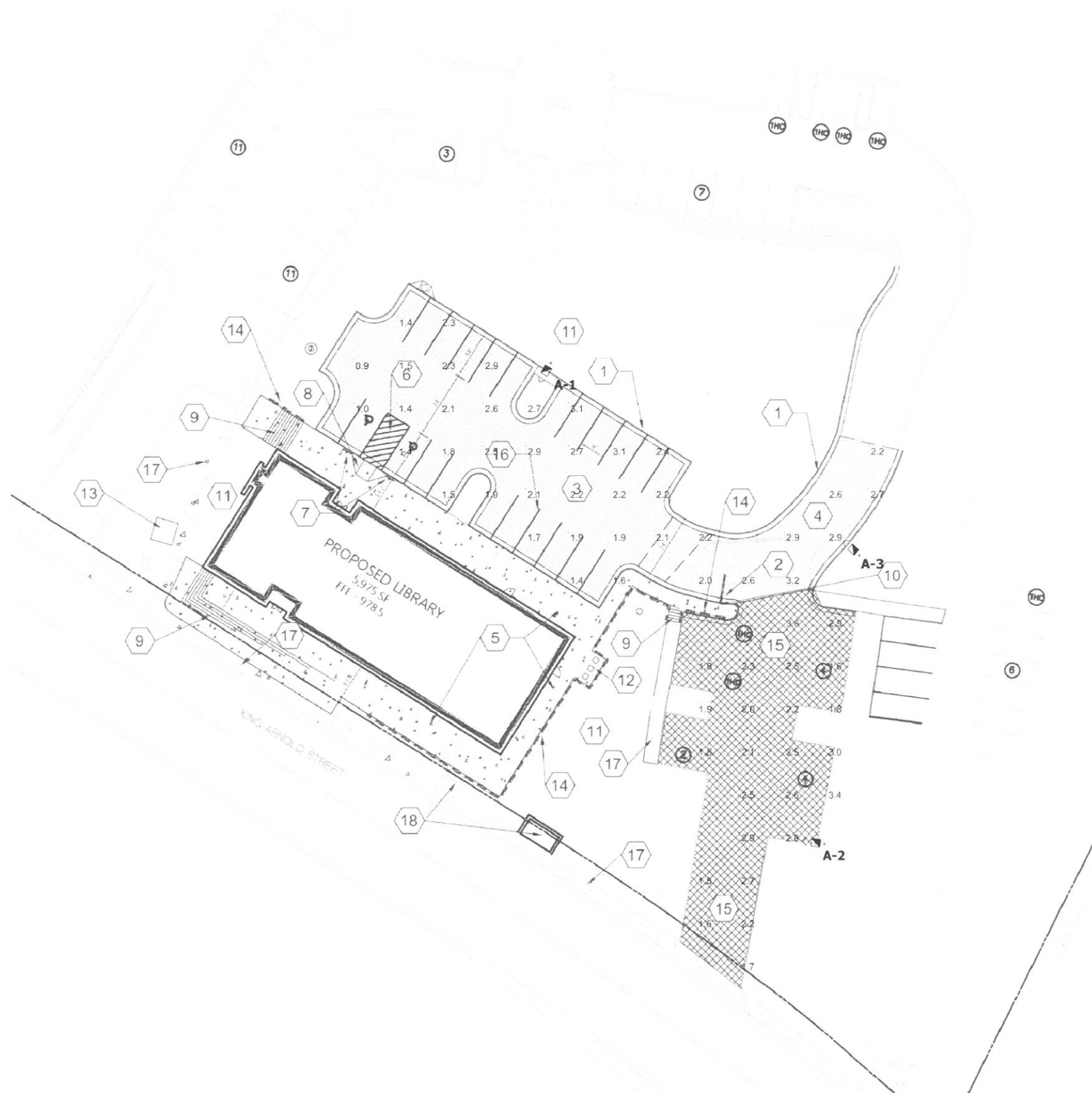


☐ SHEET KEYNOTES

8. GUTTER WITH GUTTER DOWNS AND DOWNSPOUTS WITH FLUOROPOLYMER FINISH TO MATCH ACN
9. STOREROOM SYSTEM W/ INSULATED GLAZING
10. STOREROOM SYSTEM WITH 4" STOREROOM SYSTEM BROWN WINDOW REFERENCE SHEET A80
11. INTERIOR STOREROOM WALL SYSTEM REFERENCE SHEET A820
12. DISPLAY FURNITURE
13. BOOK DROP TO BE INSTALLED @ 48" MAX TO OPERABLE HEIGHT
14. MOTORIZED SLIDING DOOR
15. RFID SECURITY GATE REFERENCE TECHNOLOGY AND ELECTRICAL DWGS
16. ROOF LADDER
17. BOOK CARTS - BY OTHERS
18. DRINKING FOUNTAIN W/ BOTTLE FILLER REFERENCE PLUMBING DWGS
19. AV DISPLAY - BY OTHERS SEE TECHNOLOGY DRAWINGS
20. 3.2 X 7.0 RATCH HATCH
21. ARCHITECTURAL LUGGERS MECHANICAL SCREEN WITH STURDSTRUCT CURB MOUNTED FRAMING AND GATE FOR ACCESS
22. MECHANICAL LUGS REFERENCE MECHANICAL DWGS
23. 7.0 X 1.0 ACN-BOULET ALUM PANELS WITH 7" DIAMETER CIRCLES FORMING LETTERS TO SPELL "MAFVELLE"
24. WHITE TPO ROOF MEMBRANE
25. GREY TPO ROOF MEMBRANE - TO MATCH GREY ACN PANELS
26. COATED PAINTED STRUCTURAL DECKING, 14" X 12" SLOPE REFERENCE STRUCTURAL DWGS
27. MEDIUM GREY UTILITY BRICK
28. RED ACN PANELS
29. WHITE ACN PANELS
30. METALLIC GREY ACN PANELS
31. BUREAU SYSTEMS CO. DESKTOP OR STAND-OFFS REFERENCE WAYFINDING DWGS. COORDINATE RECD BLOCKING W/ DESKTOP AND ACN MFRS
32. PAINTED HOLLOW MET. DOOR
33. ACCESS STEEL STRUCTURE
34. MILLWORK DISPLAY CABINET
35. MOTORIZED PROJECTION SCREEN. COORDINATE INSTALL OF SCREEN AND FINISHED CEILING
36. BUREAU BACK SEE LANDSCAPE DWGS
37. LIGHT SCOOF ROOF
38. MECHANICAL VENT REFERENCE MECHANICAL DWGS
39. ALUMINUM HAND RAIL REFERENCE LANDSCAPE DWGS
40. TPO TRAFFIC PAVING
41. GATE WITH LOCK TO MATCH PANELS
42. BACK-PAINTED GLASS PANEL EDGE-UP ON STANDOFFS OVER ACN REFERENCE WAYFINDING DWGS
43. SITE WALL REFERENCE LANDSCAPE PAINTING DWGS

EXTERIOR MATERIAL SCHEDULE

MATERIAL	BASIS OF DESIGN, MANUFACTURER, COLOR, STYLE
UTILITY BRICK	BOD - TAYLOR BRICK 322, GRAY WIRE CUT DEDUCTIVE ALT. STAINED BRICK
SILVER ACM PANEL	BOD - ALUCOBOND, SILVER METALLIC
RED ACM PANEL	BOD - ALUCOBOND, RED FIRE
WHITE ACM PANEL	BOD - ALUCOBOND, ALABASTER
PAINTED STEEL	BOD - SHERWIN WILLIAMS, EXTRA WHITE, EGGSHELL (P-1)
STOREFRONT	BOD - KAWNEER 451 S50, CLEAR ANODIZED
METAL CORING, GUTTERS, AND DOWNSPOUTS	BOD - TBD, TO MATCH SILVER ACM



Plan View
Scale: 1" = 20'

Schedule									
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Number Lamps	Filename	Lumens per Lamp	Wattage
	A	3	EATON - STREETWORKS (FORMER COOPER LIGHTING)	VERD-M-A04-E-U-T4-WH	VERDEON-M ROADWAY AND AREA LUMINAIRE (4) 72 CRI, 4000K LEDS AND TYPE IV OPTICS, WHITE PAINTED FINISH	4	VERD-M-A04-E-U-T4-WH.rvs	7653	247

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	
Calc Zone #1	+	2.2 fc	3.6 fc	0.9 fc	4.0:1	2.4:1	

- Notes**
- Readings are shown in units of maintained footcandles.
 - Total Light Loss Factor (LLF) = .912 LLF for LED
 - Test Plane = 0' Above grade
 - Fixture Mounting Height = 30' Above grade
 - Fixture Spacing = See Plan view
 - This photometric layout was calculated using specific criteria. Any deviation from stated parameters will affect actual performance.
 - These lighting calculations are not a substitute for independent engineering analysis of lighting system suitability and safety.

Disclaimer
This lighting design is not a professional engineering drawing and is provided for informational purposes only, without warranty as to accuracy, completeness, reliability or otherwise. Frazier Photometrics is not responsible for specifying the lighting or illumination requirements for any specific project. It is the obligation of the end-user to consult with a professional engineering advisor to determine whether this lighting design meets the applicable project requirements for lighting system performance, safety, suitability and effectiveness for use in a particular application. End-user environment and application (including, but not limited to, voltage variation and dirt accumulation) can cause actual field performance to differ from the calculated photometric performance represented in this lighting design. In no event will Frazier Photometrics be held responsible for any loss resulting from any use of this lighting design.



DEPARTMENT OF PLANNING AND ZONING

PLANNER'S REPORT

DATE: March 25, 2019
TO: Adrienne Senter
FROM: Lynn M. Patterson
RE: **Site Plan Review – 525 King Arnold Street**

BACKGROUND

The City of Hapeville has received a site plan application from the Fulton County Public Library System for a tract of land located at 525 King Arnold Street. The City of Hapeville currently owns the property. Fulton County is currently attempting to acquire the property from the City and desires to construct a new 5,975 SF, 22'-5" high library on the property, replacing an existing 5,675 square foot library on the site.

The property is zoned V, Village, and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

The Applicant received a variance on March 28, 2019 to allow the canopy to overhang the front setback by 12'-2".

REVIEW

The following code sections are applicable to this application:

ARTICLE 11.1. - V ZONE (VILLAGE)

Sec. 93-11.1-1. - Intent.

The V district is established in order to:

- (1) Accommodate a mixed-use, urban fabric that preserves neighborhood scale;
- (2) Accommodate residents in the district with pedestrian access to services and employment typical of a live/work community;
- (3) Promotes neighborhoods established near shopping and employment centers;
- (4) Encourage pedestrian and neighborhood uses in the commercial area;
- (5) Discourage land uses, which are automobile or transportation related;
- (6) Exclude industrial uses such as manufacturing, processing and warehousing;
- (7) Promote retail and related commercial uses such as business offices, florists, card shops antiques, apparel and banks; and
- (8) Encourage mixed use with commercial uses on the first floor and residential living above.

Sec. 93-11.1-2. - Permitted uses.

The following are permitted within the V zone:

- (1) Any use permitted in the D-D zone;
- (2) Any use permitted in the C-1 zone subject to the requirements of this article;
- (3) Single-family detached dwellings;
- (4) Single-family attached dwellings with at least four units attached;
- (5) Group homes, subject to the restrictions in section 93-2-19;
- (6) Adult daycare facilities;
- (7) Condominiums subject to approval as a conditional use; and
- (8) Combination of residential and business applications within a single structure. However, each use must have a separate entrance.

Sec. 93-11.1-6. - Area, placement, and buffering requirements.

All buildings or structures erected, converted or structurally altered shall hereafter comply with the following lot area, yard, and building coverage requirements:

- (1) *Lot area and width.* No lot shall have a minimum frontage of less than 50 feet, while the minimum area shall be established by the restriction governing lot coverage, setbacks, screening, and parking requirements.
- (2) *Front yard.* All structures located along a street shall be set back, at a minimum, of 15 feet, or greater as may be determined to be necessary and advisable by the city planning commission in the course of its site plan review process. In determining such yard setbacks, the city planning commission shall consider the size and configuration of the proposed buildings, their relationship to the existing and proposed thoroughfares; in order to maximize all vehicular and pedestrian safety.
- (3) *Side and rear yards.* The side and rear yards adjacent to, or separated by a street, alley or other right-of-way from a residential or commercial zone, shall provide a building setback of at least 15 feet.
- (4) *Distance between buildings.* The minimum distance between two multiple family buildings on a single lot or on contiguous property under the same ownership shall be 20 feet, plus four additional feet for every story or fraction thereof that the building exceeds two stories, or such distance determined necessary by the planning commission to enhance the aesthetics of development.
- (5) *Height regulations.* No building or structure shall exceed 2½ stories or 35 feet in height, provided the planning commission may allow a development with greater height, if it finds that:
 - a. The proposed height will not adversely impact adjacent properties or nearby residential neighborhoods;
 - b. The added height is necessary to support redevelopment of an area, which currently contains uses that have an adverse impact upon adjacent neighborhoods;
 - c. The proposed development is designed to facilitate the objectives and strategies of the master plan;
 - d. Meets approval from the fire department and FAA.
- (6) *Residential buffer.* New development shall provide sufficient setback as well as an attractive physical barrier between the residential and nonresidential uses as necessary to minimize disruptive light, noise, odor, dust, unsightly appearances and intrusive activity relative to the residential environment. A smooth transition between residential neighbors and nonresidential uses (including all parking lots) shall be ensured by the provision of sufficient screening of more intensive uses (i.e., commercial/offices uses) from residential neighborhoods through the use of decorative landscaping and screened walls. A 15-foot landscaped buffer shall be installed between and along the residential and nonresidential sides of said buffer. The landscaped area shall be planted with trees, flowers, grasses and shrubs to visually screen non-residential areas and provide an attractive boundary that encourages continued investment in the adjacent residential property.

ARTICLE 19. - D-D ZONE (DOWNTOWN DEVELOPMENT)

Sec. 93-19-3. - Uses; permitted and nonpermitted.

- (a) *Permitted uses.*
 - (2) Institutional uses including:
 - a. Art studios.
 - b. Business schools.

- c. Reserved.
- d. Colleges and universities.
- e. Dance studios.
- f. Libraries and other public buildings.
- g. Professional schools (including music/dance studios).
- h. Technical schools.
- i. Playgrounds, parks, and buildings open on a noncommercial basis for recreation only. Uses of this nature are exempt from being within a completely enclosed building.

Sec. 93-22.1-1. - Chart of dimensional requirements

Dimensional Requirements for **V Zoning** are as follows:

							Minimum Front Yard Setback		Minimum		Maximum			
Development Type	Lot Frontage (FT)	Min. Lot Area (SF)	Lot Area/ DU (SF)	Bed/ Bath Required	Floor Area/ DU (SF)	Max. Lot Coverage (%)	Minor Col.	Maj. Arterial	Side	Rear	Stories	Feet	Min. Parking Spaces	Max. Unit/ Bldg. Lot
Nonresidential	50	10,000	10,000		1,000	70	15	15	15	25		40 b..	c., d., e.	N/A

- b. Buildings over 40 feet in height must be approved by the building official and fire chief to ensure that fire safety design standards are met.
- c. One parking space for every 200 square feet of enclosed commercial floor area.

REQUIREMENTS

Sec. 93-2-16. - Site plan review.

- (a) *Intent and purpose.* The site plan review procedures are intended to ensure adequate review and consideration of potential impacts of proposed development upon surrounding uses and activities, and to encourage a high standard of site planning and design resulting in quality development in the city.
- (b) *Application.* An application for site plan review may be filed by the owner, or agent for the owner, of any property to be developed according to the plan. All applications for site plan review shall be filed with the building official for transmission to the planning commission. Site plan review requirements are applicable for all proposed development in all zones within the city and all property submitted for annexation.

Land Lot 0131 is owned by the City of Hapeville. The Applicants states they are in the process of acquiring ownership of the property from the City.

- (c) *Submission requirements.* Applications for site plan review shall contain the following information and any additional information the planning commission may prescribe by officially adopted administrative regulations; ten copies of the application shall be submitted:
 - (1) *Site and landscape plan.* Maps and site plans shall be submitted (minimum scale of 1" = 50' or larger, e.g., 1" = 40', 1" = 30', etc.) indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn, showing:
 - a. The locations, size and height of all existing and proposed structures on the site.

The subject tract is currently occupied by an existing 5,675 SF library. Applicant intends to demolish the existing structure and build a new 5,975 SF, 22'-5" high library on the site. The development is shown being within a 15 foot setback line on all sides. However, the building canopy is shown as encroaching on the south side setback facing the street by 12'-2". The applicant submitted a variance request for the canopy to the Board of Appeals and its was approved on March 28, 2019.

- b. The location and general design cross section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances.

The site plan indicates the continued use of existing curb cuts and sidewalks, as well as new construction of additional sidewalk. Cross section characteristics for the driveways, curb cuts, and new sidewalks have been provided. The new sidewalk will be paved continuously from the entrance and will be over 10' wide from the property line. The existing sidewalk which is to be retained does not have any dimensions listed on the plans. Curb cut dimensions are also not provided on the plans. While the existing sidewalk and curb cuts are not within the scope of the new construction, the applicant should still provide the width of the existing sidewalk and curb cuts.

- c. The locations, area and number of proposed parking spaces.

The site must provide a minimum of 30 parking spaces. The proposed development will have 42 parking spaces shared with the nearby park, with 31 exclusive to the library including 19 in a new lot and 12 in an existing lot which will be re-stripped.

- d. Existing and proposed grades at an interval of five feet or less.

The site plan shows existing and proposed grades at 2' intervals.

- e. The location and general type of all existing trees over six-inch caliper and, in addition, an identification of those to be retained.

The landscape plan includes the location and type of all trees currently on the site within the planned construction area. The Applicant proposes removing six trees, including one 42" landmark hardwood tree. See Section 93-2-14, below.

- f. The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in section 93-23-18.

The landscape plan shows location and type of all proposed plant material, including in parking areas.

- g. The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed outdoor furniture (seating, lighting, telephones, etc.).

The landscape plan shows open space around the library, landscape areas between the library, parking lots, and the adjacent park and senior center, and the general location and description of trash receptacles, hand rails, and a bike rack.

- h. The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms.

The location of a new retaining wall to the south and east of the building and another to the east adjacent to stairs leading to a parking lot are indicated on the plan.

- i. The identification and location of all refuse collection facilities, including screening to be provided.

There is one refuse collection area on the east side of the building, which is proposed to be screened with an aluminum fence. Note: the Architectural Design Standards call for screening from the public right-of-way to a height of eight feet with an opaque material on all sides, consistent with a primary building material. Acceptable materials for screening shall include painted wood or those found in section 93-2-5.

- j. Provisions for both on-site and off-site stormwater drainage and detention related to the proposed development.

The applicant has included a stormwater management plan.

- k. Location and size of all signs.

One new monument sign is proposed, 8' wide and 6'-7" tall, and will be reviewed separately for compliance with the sign ordinance.

- (2) *Site and building sections.* Schematic or illustrative sections shall be drawn to scale of 1" = 8' or larger, necessary to understand the relationship of internal building elevations to adjacent site elevations.

The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards.

- (3) *Typical elevations.* Typical elevations of proposed building shall be provided at a reasonable scale (1/8" = 1'0") and shall include the identification of proposed exterior building materials.

The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards.

- (4) *Project data.*

- a. Site area (square feet and acres).

The lot is 828,511 SF or 19.02 acres, which is compliant.

- b. Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others.

The provided site coverages are as follows:

- ***5,850 SF for the main building. This is inconsistent with other references to the size of the building as 5,975 SF.***
- ***36,682 SF for the parking lots and driveways.***
- ***It is unclear if the given site area coverage includes the new sidewalk.***

Maximum lot coverage allowed is 70%. The total impervious area is 42,532 SF based on the provided information, or 5% of the total lot area and is compliant.

- c. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.

Not applicable for non-residential development.

- d. Floor area in nonresidential use by category.

The entire 5,975 SF structure will be used as a library.

- e. Total floor area ratio and/or residential density distribution.

The floor area ratio of the site will be 0.007.

- f. Number of parking spaces and area of paved surface for parking and circulation.

The parking associated with the library and shared with the park includes 42 parking spaces, with 31 spaces provided exclusively for the library. The site has two handicapped parking spaces. The site contains a total 36,682 SF of paved parking area.

- (5) *Project report.* A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, stormwater and erosion control, etc. of the proposed development.

The overall project includes the construction of a new library. Verification of ownership has been provided for the county property but has still not been provided for the city property. The anticipated development schedule has been provided.

ARTICLE 23. - OFF-STREET PARKING AND LOADING

Sec. 93-23-1. - Purpose and intent.

The purpose of this article is to ensure the reasonable provision of off-street parking and loading facilities within the city. The requirements contained herein are minimum standards only, and are intended to protect and promote the health, safety and welfare of the present and future inhabitants of the city.

Sec. 93-23-2. - Entrance and exit points.

Except in districts zoned R-0, R-1, R-2 and R-3, curb breaks shall not be more than 30 feet in width, nor less than 25 feet in width. In no case shall there be less than 50 feet from the closest sides of any two-driveway curblines. Curb breaks shall be located at least 25 feet from the nearest intersection of two curblines as measured along one of the curblines. Business establishments on contiguous lots are encouraged to consolidate entrance and exit points. Suitable provisions, including a five-foot-wide planted buffer strip between the right-of-way and parking area shall be made to prevent entrance or exit from other than at designated entrance or exit points.

Curb break and curbline dimensions were not provided. The Applicant should provide dimensions of all curb breaks and curblines, including those that are existing.

Sec. 93-23-3. - Setbacks from property lines.

Off-street parking and loading spaces and their respective maneuvering areas shall be set back not less than five feet from all property lines, except where those spaces and areas for adjacent properties abut, or are in contiguous use, there need not be any setback.

All parking lots abut parking provided for neighboring properties, and do not require a setback.

Sec. 93-23-4. - Maneuvering areas.

All off-street parking and loading spaces shall be provided with adequate off-street maneuvering areas.

Off-street maneuvering area has been provided.

Sec. 93-23-6. - Reduction in area and number of parking spaces.

No open area in an off-street parking area shall be encroached upon by buildings, storage or any other use; nor shall the number of parking spaces and/or off-street loading spaces be reduced except upon approval of the board of appeals, and then only after proof that, by reason of diminution in floor area, seating area, number of employees or change in other factors controlling the regulation of the number of parking spaces, the proposed reduction is reasonable and consistent with the intent of this chapter.

The site plans do not indicate any encroachment upon the parking area by any buildings or other uses.

Sec. 93-23-7. - Mixed uses.

In the case of mixed uses, the total requirements for off-street parking and off-street loading space shall be the sum of the requirements of the various uses computed separately as specified herein. Off-street parking and off-street loading space for one use shall not be considered as providing the required off-street parking or off-street loading space for any other use.

Not applicable to non-mixed-use development.

Sec. 93-23-8. - Uses not specifically mentioned.

In the case of a use not specifically mentioned herein, the requirements for off-street parking space and off-street loading space for a use which is so mentioned, and to which that use is most similar, shall apply.

Sec. 93-23-9. - Issuance of certificate of occupancy.

No certificate of occupancy shall be issued for any building or group of buildings unless and until all required off-street parking and loading facilities are in place and ready to use.

Sec. 93-23-10. - Off-street parking requirements according to district and uses.

At the time of the erection of any building or structure hereinafter listed, or at the time any such building or structure is enlarged or increased in capacity by adding dwelling units, guestrooms, floor area, seats, beds, members or employees, there shall be provided for such new construction, enlargement or increased capacity only, off-street automobile parking space and off-street loading spaces in accordance with the minimum requirements established for each zone. The maximum number of off-street automobile parking spaces shall be 110 percent of the requirement for uses proposed at the time of development approval.

The minimum off-street parking is 30 spaces. The maximum off-street parking is 33 spaces. The plans provided indicate there will be 31 parking spaces not shared with the neighboring senior center or park, which is compliant.

Sec. 93-23-11. - Size of off-street parking spaces, including parking spaces for compact automobiles, and parking spaces for automobiles of the physically handicapped.

- (a) Of the total number of parking spaces required for any nonresidential use having 20 or more off-street parking spaces, a maximum of 70 percent shall be "full-size" as described in the table below, and a minimum of 30 percent shall be "compact size" as described in the table below:

Minimum Full-Size Space Dimensions

Type of Space	Width of Space	Length of Space
Parallel at curb to angle of 29 degrees	8.5 feet	22 feet
Angle of 30 degrees to 60 degrees	9 feet	18 feet
Angle of 61 degrees to 90 degrees	10 feet	18 feet

*Minimum Compact-Size Parking Space
Dimensions*

Type of Space	Width of Space (feet)	Length of Space (feet)
Parallel at curb to angle of 29 degrees	8	19
Angle of 30 degrees to 60 degrees	8.5	15
Angle of 61 degrees to 90 degrees	9	15

The application does not specify any full or compact size parking spaces. All parking spaces are angled 90 degrees from the curb. The plans designate parking spaces 18' deep and 10' wide, which is compliant with the full-size space requirements. A minimum of 30% of all parking spaces must be compact-size and comply with the compact-size parking space requirements.

- (b) There shall be adequate interior passageways, drives and maneuver areas, as determined by the building official, to accommodate each space and to connect each space with a public street.

The site plan will be reviewed separately by the building official.

- (c) In addition to the above-stated requirements, parking space for automobiles of the physically handicapped shall be provided in accordance with the following standards.

(1) Access to buildings generally.

- a. Accessibility to such building shall be provided from rights-of-way in parking areas by means of a pathway leading to at least one entrance generally used by the public. Such pathway shall have been cleared of all obstructions relating to construction activity, prior to the opening of the building to the general public. Where curbs exist along such pathway, as between a parking lot surface and a sidewalk surface, inclined curb approaches or curb cuts having a gradient of not more than one foot in 12 feet and a width of not less than four feet shall be provided for access by wheelchairs.

Two handicapped parking spaces in the new parking lot have access to the main building using a ramp with a minimum 1:12 foot gradient and a width of 7'-2".

- b. A parking lot servicing each entrance pathway shall have a number of level parking spaces as set forth in the following table, identified by above grade signs as being reserved for physically handicapped persons. Each parking space so reserved shall be not less than 12 feet in width.

Parking Spaces for Handicapped

Total Spaces and Lot	Required No. of Reserved Spaces
Up to 25	1
26 to 50	2
51 to 75	3
75 to 100	4
100 to 150	5

150 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1,000	2% of total
Over 1,000	20, plus 1 for each 100 over 1,000

The plans provide for two handicapped parking spaces, which is compliant.

- (2) Location. Parking spaces for the physically handicapped shall be located as close as possible to elevators, ramps, walkways and entrances.

The two provided handicapped parking spaces are the closest spaces to the rear entrance of the building.

Sec. 93-23-12. - Location.

If the required off-street parking spaces cannot reasonably be provided on the same lot as the building it serves, the board of appeals may permit that space to be provided on other off-street property. That property shall be within 400 feet of the premises to which it is appurtenant, as measured along the nearest pedestrian walkway.

The off-street parking is provided on the same lot as the building.

Sec. 93-23-13. - Joint use of required off-street parking spaces.

No part of an off-street parking area required for any building or use for the purpose of complying with the provisions of this chapter shall be included as a part of an off-street parking area similarly required for another building or use unless the type of structure indicates that the periods of usage of that structure will not be simultaneous with each other, as determined by the board of appeals.

The off-street parking provided is connected to several other uses, including a park and a senior center, all of which provide their own additional parking.

Sec. 93-23-14. - Size of off-street loading spaces.

Each off-street loading space shall have minimum dimensions of 15 feet in height, 15 feet in width, and 60 feet in length. However, upon sufficient demonstration in a specific instance that a particular loading space will be used exclusively by shorter or lower trucks, the board of appeals may reduce the minimum length or height.

The site plan does not include any loading spaces.

Sec. 93-23-15. - Location of off-street loading spaces.

All required off-street loading spaces shall be located on the same lot as the building which they are intended to serve, or on an adjacent lot when shared with the use occupying the lot.

The site plan does not include any loading spaces.

Sec. 93-23-16. - Drive-in establishments.

There shall be no drive-in establishments in which customers are served while located on a public right-of-way. In the case of a drive-in establishment where customers are served while occupying automobiles parked off a public right-of-way, that establishment shall provide on the premises sufficient parking space which, in the judgment of the building official, the chief of police and the city engineer will accommodate the largest number of automobiles

being served or waiting to be served at any one time. This required space shall be appropriately arranged for the purpose and in no case shall it be less than the minimum space as specified in this chapter.

Not applicable.

Sec. 93-23-17. - Continuing character of obligation.

The schedule of requirements for off-street parking space and off-street loading space applicable to newly erected or altered structures shall be a continuing obligation of the owner of the real estate on which any such structure is located, so long as the structure is in existence and its use requiring vehicle parking or vehicle loading facilities continues, and it shall be unlawful for an owner of any building affected by this chapter to discontinue, change or dispense with, or to cause the discontinuance or change of the required vehicle parking or loading space apart from the discontinuance, sale or transfer of the structure, without establishing alternative vehicle parking or loading space which meets the requirements of and is in compliance with this chapter, or for any person, firm or corporation to use that building without acquiring the land for vehicle parking or loading space which meets the requirements of and is in compliance with this chapter.

Sec. 93-23-18. - Landscape requirements for vehicular use areas.

- (a) *Intent.* The objective of this section is to provide space for the use of landscape beautification and natural plant growth for developments where off-street parking and open lot sales, displays, and service areas are provided. The intent is to improve and protect the appearance, environmental and ecological condition, character, design, and value of the total urban area, thereby promoting the public health, safety, and welfare.
- (b) *Areas subject to the requirements of this section.* Vehicular use areas, except those serving single-family or duplex developments, parking garages, and public rights-of-way shall conform to the minimum landscaping requirements hereinafter provided.
- (c) *Procedure for the development of vehicular use areas.*
 - (1) *Permit requirements.* No building grading, or tree removal permit shall be issued until approval of a required landscape plan for vehicular use areas. Prior to submission of building plans, the requirements of this section must be met. In cases where a vehicular use area is located on a lot other than that of the principal building, building plans may be submitted for review.
 - (2) *Submission of a required survey and proposed landscape plan.*
 - a. The applicant or his authorized agent shall submit to the department of public service three copies of each survey and landscape plan at a scale no greater than one inch equals 50 feet. The proposed landscaping may be superimposed on the proposed site plan or on a separate sheet, provided all drawing are the same scale.
 - b. Each survey and landscape plan shall include the following:
 - 1. Name, signature, address, and telephone number of property owner, surveyor, and or designer;
 - 2. North arrow and scale;
 - 3. All dimensions; and
 - 4. All required information and data listed on drawings.

A survey and a landscape plan have been submitted with the required information.

- (3) *Survey.* The required survey shall include the following information:
 - a. Legal description of the property.
 - b. All trees and survey data as defined in this chapter.
 - c. Existing structures, buildings, parking spaces, accessways, and public streets.
 - d. Aboveground and belowground utility lines and easements.
 - e. Existing natural features and topography at one-foot contour intervals. In areas where slopes are 20 percent or greater, a five-foot contour interval may be substituted.

The provided survey lists topography at two-foot contour intervals. The applicant should include topography at one-foot contour intervals on the survey, as the requirements of Sec. 93-23-18 are stricter than Sec. 93-2-16(d).

- (4) *Landscape plan.* The proposed landscape plan shall include the following information:

- a. All trees, natural features, man-made appurtenances and structures to be retained upon the site and all topographic changes.
- b. All proposed landscaping improvements and planting or landscaping areas identified. The grade, spacing, size, and name of proposed landscape materials shall be listed on the plan.
- c. Comments regarding site preparation, tree preservation, methods of installation, and methods of maintenance shall be listed on the plan.
- d. Required plans shall identify all vehicular use areas, aisles, driveways, sidewalks, wheel stops, and or curbs and other vehicular use controls. The location of the curb cuts, median openings on abutting streets, lighting, underground irrigation system, hose bibs, proposed planting areas, decorative and or screening walls, and related buildings shall be shown.

The Applicant should provide driveway and curb cut widths.

(d) *Landscape requirements.* All vehicular use areas subject to these regulations shall be required to have the following maintained perimeter and interior landscaped areas:

(1) *Perimeter landscape requirements.*

- a. All exterior perimeters of all vehicular use areas shall have a perimeter landscaped area with no horizontal dimension less than five feet. A decorative masonry wall, earth berm, natural landscaping screen, and or combinations of the above shall be installed in such a manner as to screen the vehicular use area from adjacent properties or public rights-of-way. Screening areas shall be maintained at a minimum height of three feet.

Natural landscape screening has been provided for the new parking lot. The Applicant should provide the dimensions of the landscape area to demonstrate there are no horizontal dimensions less than five feet in the perimeter landscape area.

- b. All required perimeter landscaped areas shall have at least one tree for every 250 square feet or fraction thereof.

The perimeter landscaped area is given as 2,351 SF and require 10 trees. The applicant will retain 31 trees and plant five new trees, which is compliant.

- c. Where other provisions of this chapter required a six-foot screening wall of masonry construction, such screening wall may totally or in part be substituted with a natural landscape screen and or earth berm upon approval of the planning commission. Such natural screening shall be at least three feet in height at time of planting and maintained at a height of five feet with a visibility obstruction of at least 75 percent.
 - 1. i. When abutting a public street right-of-way, landscaped areas along a public street shall have a minimum dimension of five feet and a minimum average dimension of ten feet from the right-of-way line to the vehicular use area.
 - ii. In addition, the requirements of section 93-2-7, "Vision clearance at corners," shall be met.
 - 2. When abutting adjacent properties. Required perimeter landscaped areas which would abut adjacent, existing nonresidential properties may be allocated as additional interior or other additional perimeter landscaping.
- (2) *Interior landscape requirements.*
 - a. An area or combination of areas equal to ten percent of the total vehicular use area exclusive of perimeter landscaped areas shall be devoted to interior landscaping.

The applicant should provide the dimensions of the interior landscape area to demonstrate 10% of all vehicular use area is devoted to interior landscaping.

- b. There shall be a minimum of one tree provided for every 250 square feet or fraction thereof of interior landscaping area.

The applicant should provide the dimensions of the interior landscape area to demonstrate the minimum tree requirements.

(3) *Permitted modification to the landscaping requirements.*

- a. In cases where the landscaped area requirements of subsection (d)(1) and (d)(2) may exceed 20 percent of the vehicular use area, the applicant may be allowed to reduce dimensions of landscaped areas other than those abutting a public street right-of-way or adjacent to the residential uses or zones to equal a 20 percent maximum provided a method of vegetative and or masonry screening is maintained and is approved by the department of public service.
- b. In instances where proposed innovative designs, landscaping techniques, and site amenities are believed to fulfill the intent of subsection (a) above, the strict requirements of this section may be waived by the planning commission.
- c. In instances where healthy plant material exists, the requirements outlined in subsections (d)(1) and (d)(2) of this article may be adjusted thereby allowing credit for the preservation of existing plant material. The planning commission may make such adjustments so long as the intent of this section is preserved.
- d. Open lot sales of vehicles may be excluded from the perimeter screening requirements adjacent to public rights-of-way by the planning commission, provided the tree requirements and area requirements are met.

Not applicable.

(4) *Landscape installation requirements.* All landscaping shall be installed in accordance with accepted good planting procedures.

a. *New plant materials.*

1. All new living plant materials shall satisfy the requirements of No. 1 or better as defined in the most current edition of Grades and Standards for Nursery Plants.

Complete

2. All separate landscaped areas shall have a minimum variety of two living plant materials other than trees; total landscaping areas required shall include a minimum variety of three landscape materials other than trees.

Complete

3. Paving (other than walks) and artificial plants shall not be permitted within landscaping areas.

Complete

4. Trees. A tree shall attain an average crown spread over 15 feet at maturity. Trees having an average crown spread less than 15 feet may be substituted by grouping the same so as to create the equivalent of a 15-foot crown spread. All trees shall be of a species which can be maintained with a minimum of five feet of trunk height. Trees shall have a minimum of two inches DBH (diameter at breast height) measured 4½ feet above the ground and shall be a minimum of six feet in overall height immediately after planting.

Complete

5. Shrubs. Shrubs shall be a minimum of one foot in height when measured at the time of planting except where they are to act as screening for residential uses or districts. In which case, they shall be a minimum of three feet in height at the time of planting and maintained at a minimum height of five feet at maturity.

Complete

6. Lawn grass and ground covers. Grass may be sodded, plugged, sprigged, or seeded except that solid sod shall be used in swales or other areas subject to erosion. In areas where plant materials other than solid sod or grass is used, a fast-growing grass seed shall be sown for immediate effect and protection until coverage is otherwise achieved. Grass sod shall be clean and reasonably free of weeds and noxious pests or disease. Ground covers which present a finished appearance and reasonable complete coverage at time of planting may be used in lieu of grass sod.

Complete

- b. *Existing plant materials.* Existing living plant materials to be preserved shall be in accordance with of this chapter.

Complete

- c. *Earthwork.* Earth berms shall be of variable height and slope. Swales and ponds shall be permitted for onsite retention of stormwater provided they are approved by the city's department of public service.

No earthwork is indicated on the plans.

- d. *Encroachment.* Landscaped areas, walls, structures, and walks shall require appropriate protection from vehicular encroachment by utilizing wheel stops, curbs, posts, wood, brick-work, and/or other devices. Placement of these devices shall be located at least 2½ feet from walks, walks, and structures and may be placed one foot from landscaped areas to prevent a vehicular overhang of no more than 1½ feet of landscaping area may be counted as part of the required depth of each parking space.

The new parking lot will be protected by a 24" curb. The existing parking is already protected by a curb.

- e. *Maintenance.* The owner or his agent shall be responsible for the maintenance of all landscaping which shall be maintained in good condition so as to present a healthy, neat, and orderly appearance and shall be kept free from refuse and debris. All landscaped areas shall be provided with a sprinkler system or readily available water supply with at least one outlet located within 50 feet of all plant material to be maintained. The owner shall replace all landscaped materials required if, for any reason, they die or are severely damaged within one year of the final approval of the installation. The owner is thereafter responsible to maintain the landscaping in a healthy manner.

The Applicant should provide a sprinkler system or other water supply on the landscape plans.

- f. *Planting bed.* The planting bed for all landscaping materials shall be free of weeds, debris, and noxious material and shall consist of a healthy plant growth medium. The planting bed soil shall provide adequate support, drainage, and nutrients for the plants and thus may require the incorporation of sand, peat, and or topsoil into the soil. Such planting soil shall be placed throughout the planting hole for each plant, and this hole shall be at least twice as wide as the width of the plant ball and 1½ as deep as the depth of the plant ball.

Complete

- (e) *City review of landscape plan.* The department of public service shall approve or reject the required landscape plan. The decision of the department of public service shall be deemed final administrative action, but may be appealed to the planning commission provided such appeal is made in writing at least ten days prior to the next regular planning commission meeting. Developments which require site plan approval by the planning commission shall be reviewed and approved by the planning commission for compliance to this section.

- (f) *Certification of compliance.* Upon completion of the landscape improvements, the site shall be inspected for compliance to the approved landscape plant. A certificate of compliance must be issued before a certificate of occupancy can be issued for any related structures. When occupancy of a related building is desired prior to completion of the required landscaping, a temporary certificate of occupancy may be issued if a financial guarantee in the amount equal to 100 percent of the cost for landscaping improvements is provided and acceptable in form to the city attorney.

ARTICLE 2. - GENERAL PROVISIONS

Sec. 93-2-14. - Tree conservation.

(a) *Purpose.*

- (1) This section shall be known as the Hapeville Tree Conservation Ordinance. The overall purposes of this section are to promote tree conservation, the increase of tree canopy, and the protection of existing trees in the city. General provisions and regulations contained herein, along with the attached administrative standards and best management practices for Hapeville's urban forest, will guide practices to accomplish this purpose. It is the intent of this section to regulate tree conservation activities as part of the building construction, and land development process, protect landmark trees, and provide public safety within the city.
- (2) Benefits derived from the conservation of trees and increased canopy include:
 - a. Improved air quality;
 - b. Energy conservation;
 - c. Reduced flooding and reduced storm water runoff;
 - d. Reduced soil erosion and improved water quality;
 - e. Improved habitat for desirable wildlife;
 - f. Reduced health risks;
 - g. Community aesthetics and improved quality of life;
 - h. Added economic value.

(b) *Applicability.*

- (1) The terms, provisions and regulations of this section and the administrative standards and best management practices for Hapeville urban forest, Appendix A hereto, shall apply to any real property, public or private, within the corporate limits of the city:
 - a. For all activities which require a land disturbance, building construction, or demolition permit;
 - b. For external renovations of all properties resulting in the increase of total square footage, or the construction of accessory structures, which may impact landmark trees;
 - c. For the purpose of permitting the removal of landmark trees.

- (c) *Definitions.* As used in this section, unless specifically stated otherwise, the following terms shall be defined as indicated and where any definition herein conflicts with another definition in this chapter, the more restrictive definition shall prevail.

Landmark tree. Any canopy tree 30 inch dbh or larger, or otherwise designated by the mayor and council as having significance to the community, or any understory tree eight inches dbh or larger, in fair or better condition, having a life expectation of greater than five years.

(d) *General requirements.*

(1) *Tree removal.*

- a. No trees shall be removed or destroyed prior to issuance of a building construction or land disturbance permit. The issuance of a building construction or land disturbance permit shall constitute compliance with the tree conservation provisions of this section.
- b. No landmark tree shall be removed from any real property within the corporate limits of the city without the issuance of a landmark tree removal permit.

(5) *The removal or destruction of landmark trees.*

- a. The removal or destruction of landmark trees from any property in the city is subject to the approval of the city arborist, and approval may only be granted if one of the following two conditions is met:
 1. The tree threatens the property, safety or health of the property owner or the public.

2. Actions are taken to mitigate the tree's removal by way of planting a new tree of a comparable species and canopy. Payment may be made into the city tree bank in lieu of planting, calculated on a tree lost/replaced basis.
- b. The issuance of a tree removal permit constitutes approval to remove a landmark tree.
- c. Any decision of city arborist relating to the removal or destruction of landmark trees may be appealed as a provided in subsection 93-2-14(g).

A permit will be required from the city arborist before removing the landmark tree from the site.

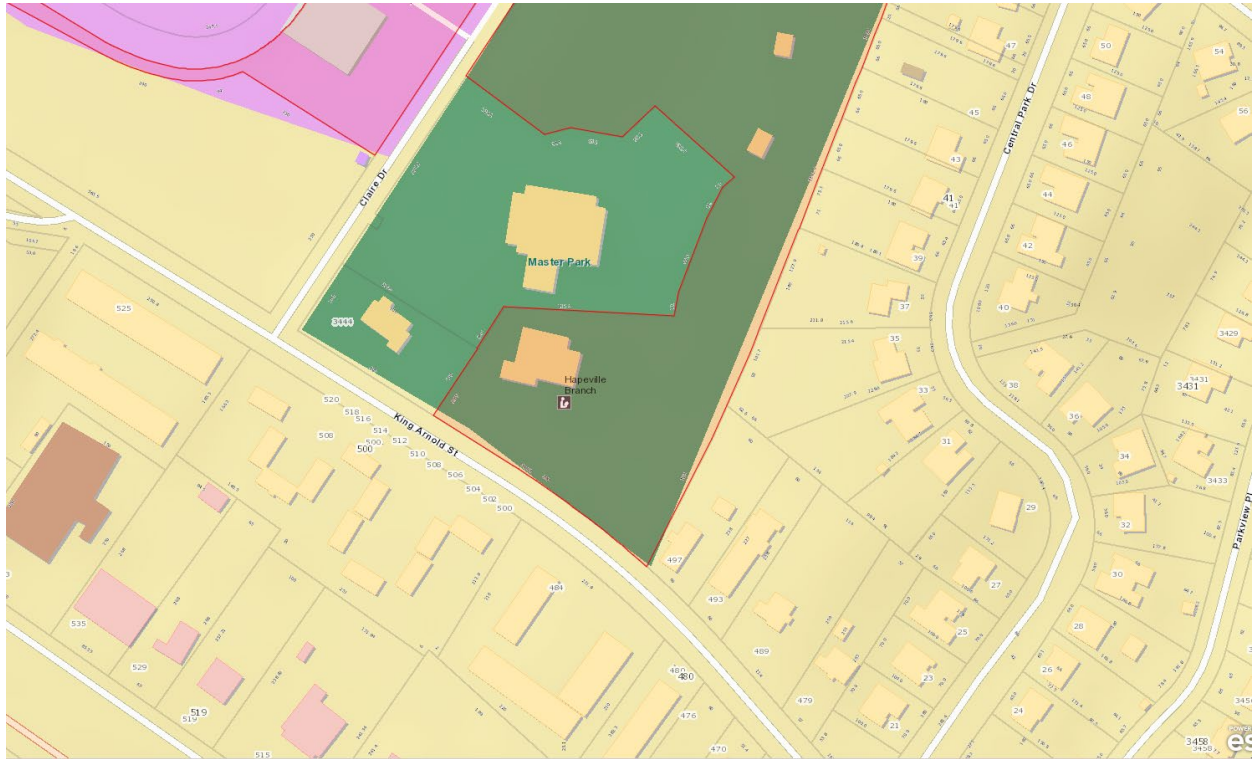
RECOMMENDATION

Except for the following items, the application appears to comply with the provisions of the V Zoning District as well as the Neighborhood Conservation Area:

- The Applicant should provide the average width of the existing sidewalk, even if it is beyond the scope of construction.
- The Applicant should clarify if the site coverage is different from the proposed size of the building, and if not, update the plans to show a site coverage of 5,975 SF for the main building.
- The Applicant should clarify if the sidewalk is included in the site coverages, and if not, update the plans to include coverage of the sidewalk.
- The Applicant should provide dimensions of all curb breaks, curblines, and driveway widths, including for those that are already existing.
- A minimum of 30% of all parking spaces must be compact-size and comply with the compact-size parking space requirements.
- The Applicant should include topography at one-foot contour intervals on the survey, as the requirements of Sec. 93-23-18 – Landscape requirements for vehicular use areas - are stricter than Sec. 93-2-16(d) – Site plan review.
- The Applicant should provide the dimensions of the landscape area to demonstrate there are no horizontal dimensions less than five feet in the perimeter landscape area.
- The Applicant should provide the dimensions of the interior landscape area to demonstrate 10% of all vehicular use area is devoted to interior landscaping and to determine the minimum tree requirements.
- The Applicant should provide a sprinkler system or other water supply on the landscape plans.
- A permit will be required from the city arborist before removing the landmark tree from the site.

The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards. Additionally, the new sign will be reviewed separately for compliance with the sign ordinance.

Upon satisfactory of the above deficiencies, Staff recommends approval of the site plan as submitted.



Location Map – 525 King Arnold Street

March 21, 2019

Ms. Adrienne Senter
Planning & Development Coordinator
Department of Economic Development
City of Hapeville
3468 N. Fulton Avenue
P.O. Box 82311
Hapeville, Georgia 30354

Re: Hapeville Branch Library
525 King Arnold Street
Development Review No. 2
K&W Ref. No. 191051.00

Dear Ms. Senter:

As requested, I have reviewed the Site Plans for the Hapeville Branch Library to be located on a 19 acre parcel at 525 King Arnold Street, within a V Zoning District. The re-submittal was received on March 19, 2019. The site plans were prepared by Atwell Group under the engineering seal of Brian E. Kay. With regard to my letter dated February 6, 2019, my comments are as follows:

1. Comment addressed by the re-submittal.
2. Comment addressed by the re-submittal.
3. Comment addressed by the re-submittal.
4. Comment not addressed. The projected peak and average utility usage for all City provided utility services (such as water and sanitary sewer) should be indicated on the plans to verify proper meter sizing to record low flows.
5. Comment partially addressed by the re-submittal. The hydrology study outlet structure orifice size of 15 inches does not agree with the 12 inch orifice shown in the drawing details. It is not clear how the 12 inch or 15 inch orifice is intended to be constructed in the catch basin structure. Is there an interior wall to be built for the orifice placement? Further details should be shown.
6. Comment addressed by the re-submittal.
7. Comment addressed by the re-submittal.
8. Comment not addressed. Use of existing driveways in a project does not automatically waive compliance with the regulations. City approval to use existing driveway widths less than required and a spacing closer than required must be obtained and shown on the drawings. It cannot be verified from the information provided if the project complies with the interior driveways width criteria of Section 93-23 of the Zoning Ordinance. It appears the driveway spacing along King Arnold Street does not meet the minimum separation of 50 feet per Section 93-23-2.
9. Comment addressed by the re-submittal.
10. Comment addressed by the re-submittal.
11. Comment addressed by the re-submittal.
12. Comment partially addressed by the re-submittal. With the soil infiltration test results showing rates are far below the minimum of 0.5 inches per hour required, perforated underdrain and crushed stone are shown beneath the porous pavement. However, the gradation of the crushed stone is not shown and it is not clear if the storage volume shown in the hydrology study is based on partial volume fill with crushed stone.
13. Comment partially addressed. Provisions demonstrating compliance to the Tree Conservation Ordinance Appendix A on tree canopy requirements are not shown.
14. Comment addressed by the re-submittal.

Ms. Adrienne Senter, Hapeville Planning & Development Coordinator

March 21, 2019

Page 2 of 2

15. Comment partially addressed. Provisions to be provided to the City should include the storm water management inspection and maintenance schedule and agreement, performance and maintenance bond, bond fees, and the detailed estimate of the plan annual maintenance costs.
16. Comment addressed by the re-submittal.
17. Comment considered addressed since the disturbed area is shown to be less than 1 acre.
18. Comment addressed by the re-submittal.
19. Comment considered addressed since sewer service line is shown to be a private line.
20. Comment considered addressed since water main line is shown to be a private line.
21. Comment addressed by the re-submittal.
22. Comment can be considered addressed if the Fire Chief has reviewed the plans to verify adequate access for emergency vehicles is provided.
23. Comment addressed by the re-submittal.
24. The total impervious area of 0.67 acres shown on sheet 1 will be used for stormwater utility billing purposes for the development unless more accurate information is provided.

I have retained one copy of the plans provided for review in the event there are questions. The petitioner should be made aware that the review does not constitute a waiver of City Ordinance requirements or assumption of responsibility for full review of City Ordinance requirements. Deviations from Ordinance requirements may be noted at any time during the review, permitting or construction processes. Re-submittals should include a narrative indicating how and where the review comments were addressed.

Very truly yours,

KECK & WOOD, INC.



Michael J. Moffitt, P.E.



DAVID BLOODWORTH
FIRE CHIEF

FIRE DEPARTMENT

To: Adrienne Senter

From: Brian Eskew, Fire Marshal

Re: Hapeville Library 525 King Arnold

Date: March 25, 2019

I have completed my review of this project and have found the following items to be corrected:

- 1) Parking lot needs to be connected at lower driveway and upper driveway.**
- 2) If Building is going to be sprinklered FDC location must be shown.**

If you should you should need any questions please let me know. Thanks.



**Department of Planning and Zoning
Planner's Report**

DATE: April 1, 2019
TO: Adrienne Senter
FROM: Lynn Patterson, Consulting Planner for City of Hapeville
RE: Veterinarians, Animal Hospitals and Kennels

BACKGROUND

Following are proposed text amendments to allow for veterinarians and animal hospitals in all commercial districts. Kennels, where animals are boarded for an extended period of time, will be allowable in I-1 and C-1, where they are already allowed, and will be added to C-2 districts.

No text amendments are proposed for districts R-AD, R-SF, R-O, R-1, R-2, R-3, R-4, R-5, P-D, or I-1.

CODE

ARTICLE 11.1. – V ZONE (VILLAGE)

Sec. 93-11.1-3. - Nonpermitted uses.
Add "Kennels"

ARTICLE 93-11.2 – U-V ZONE (URBAN VILLAGE)

Sec. 93-11.2-3. - Permitted uses.
Add "Veterinarians and animal hospitals"

Sec. 93-11.2-4. - Nonpermitted uses.
Add "Kennels"

ARTICLE 11.5. - RMU ZONE (RESIDENTIAL MIXED USE)

Sec. 93-11.5-3. - Permitted uses.
Add "Veterinarians and animal hospitals"

Sec. 93-11.5-4. - Nonpermitted uses.
Add "Kennels"

ARTICLE 13. - C-1 ZONE (RETAIL COMMERCIAL)

Sec. 93-13-3. - Permitted uses.

Change "Kennels" to "Veterinarians, animal hospitals and kennels"

ARTICLE 14. - C-2 (GENERAL COMMERCIAL)

Sec. 93-14-3. - Permitted uses.

Add "Veterinarians, animal hospitals and kennels"