

AGENDA

City of Hapeville

3468 North Fulton Avenue

Hapeville, Georgia 30354

Design Review Committee

September 18, 2019

6:00 PM

1. Welcome And Introduction

2. Approval Of Minutes

2.I. Design Review Committee Minutes August 21, 2019

Documents:

[DRC MINUTES AUGUST 21, 2019.PDF](#)

3. Reuben Buckareff 438 Porsche Avenue

Mr. Reuben Buckareff has submitted an application seeking approval of plans for the addition of a window to the right-side elevation of the existing structure at 438 Porsche Avenue. The property is zoned U-V, Urban Village.

Documents:

[438 PORSCHE AVENUE APP.PDF](#)

4. Daniel Moore 219 Maple Street

Mr. Daniel Moore has submitted an application seeking approval of plans to remodel a front porch and a rear deck on the existing single-family dwelling at 219 Maple Street. The property is zoned R-1, One Family Detached.

Documents:

[219 MAPLE STREET APP.PDF](#)

5. David Cook 257 Birch Street

Mr. David Cook has submitted an application seeking approval of plans to construct a new 1,777-square foot single family dwelling at 257 Birch Street. The property is zoned R-1, One Family Detached.

Documents:

[257 BIRCH STREET APP.PDF](#)

6. David Cook 261 Birch Street

Mr. David Cook has submitted an application seeking approval of plans to construct a new 1,777-square foot single family dwelling at 261 Birch Street. The property is zoned R-1, One Family Detached.

Documents:

[261 BIRCH STREET APP.PDF](#)

7. Bernard Vigilance 449 Walnut Street

Mr. Bernard Vigilance has submitted an application seeking approval of plans to construct a new 2,337-square foot single family dwelling with a 484-square foot, two-car attached garage at 449 Walnut Street. The property is zoned R-SF, Residential Single Family.

Documents:

[449 WALNUT STREET APP.PDF](#)

8. Bernard Vigilance 451 Walnut Street

Mr. Bernard Vigilance has submitted an application seeking approval of plans to construct a new 2,337-square foot single family dwelling with a 484-square foot, two-car attached garage at 451 Walnut Street. The property is zoned R-SF, Residential Single Family.

Documents:

[451 WALNUT STREET APP.PDF](#)

9. Miller Lowry Developments LLC 591 King Arnold Street

Miller Lowry Developments, LLC has submitted an application seeking approval of plans to construct a new project consisting of 18 townhomes. The property is zoned U-V, Urban Village and is within the A-D, Arts District Overlay.

Documents:

[591 KING ARNOLD STREET APP.PDF](#)

10. Next Scheduled Meeting - Wednesday, October 16, 2019 At 6:00PM

11. Adjourn

Please note that if the Design Review Committee approves the submitted application with condition (s), the applicant is responsible for making the necessary changes and resubmitting.

Agenda subject to change

Design Review Committee Meeting Minutes

August 21, 2019

I. Call to Order

Jonathan Love called to order the regular meeting of the Design Review Committee at 6:05 PM on August 21, 2019 at Hapeville City Hall Conference Room.

II. Roll Call

Jonathan Love (Chairman) conducted a roll call. The following persons were present Brian Gregory, Karl Dufrenne, John Stalvey, Rick Ferrero, and Lynn Patterson (non-voting).

III. Meeting Minutes

The Committee reviewed the minutes from the July 17th meeting. One correction was made for a typo. Mr. Stalvey made a motion to approve the minutes and Mr. Ferrero seconded. Motion passed 5-0.

The Committee reviewed the minutes from the July 31st called meeting. Mr. Ferrero made a motion to approve the minutes, Mr. Dufrenne seconded Motion passed 5-0.

IV. Applications

- a) Motion was made by Mr. Love to add two applications to the agenda, 903 Margaret Street and 3048 Dogwood Drive. Mr. Stalvey seconded the motion and it passed 5-0.

- b) 3312 Myrtle Street – Don May attending

The final construction does not meet the approved plans. Applicant agreed to update the plans with the addition of pavers from the front entry to the street.

Mr. Dufrenne made a motion to approve the application with the following design exceptions:

1. House built on grade
2. Windows are not recessed the required 2-inches.
3. Window trim requirements due to the approved contemporary design.

Mr. Stalvey seconded the motion and it passed 5-0

- c) 3408 Orchard Street – John Berry attending

The final construction does not meet the approved plans. Applicant provided updated plans to the DRC.

Mr. Stalvey made a motion to approve the application based on the updated plans provided by the applicant.

Mr. Ferrero seconded the motion and it passed 5-0

- d) 600 South Central Avenue – Michael Foster attending
Mr. Gregory made a motion to approve the application contingent upon approval of the text amendment for drive-thru windows with the following design exception:

1. Awning depth less than 5-feet

Mr. Stalvey seconded the motion and it passed 5-0.

- e) 3429 Rainey Avenue – Andy Steele attending
Applicant must get approval from Board of Appeals for construction of addition in the supplemental area. Existing structure is already in the supplemental area and is not further encroaching into the area. DRC recommends approval from the Board of Appeals.

Mr. Stalvey made a motion to approve the application upon appeal approval and the receipt of window details that are compliant with code and with the following design exceptions:

1. Allow a side-screened porch as it is hidden from the right-of-way;
2. Allow for parking in the supplemental area
3. Allow for fenestration requirement other than the 30%-50% coverage

Mr. Dufrenne seconded the motion and it passed 5-0.

- f) 336 Moreland Way – Jim Joyner attending
Application was missing a site plan and structure elevation from grade. Applicant must address issues identified in Planner's Report. Due to several other deficiencies in the application, Mr. Gregory made a motion to table the application until the re-submittal. Mr. Dufrenne seconded the motion and it passed 5-0.

- g) 105 Lilly Street – Jim Joyner attending
Mr. Love made a motion to table the application until all items in the Planner's report are addressed. The following requirements were made by the Committee as well:

1. Add three single windows on the second story in the front elevation gable;
2. Columns to be wood box columns instead of brick if foundation is parged with cement;
3. Add corner boards and trim to eaves as noted on drawings
4. Add front facing gable over front entry.

Mr. Stalvey seconded the motion and it passed 5-0.

h) 644 Coleman Street – Janice White attending

Mr. Love made a motion to approve the application with the following requirements:

1. Move the second story Bedroom 2 front elevation window so that is in line with the first story window at 2'-10" from the outside edge;
2. Move the second story M Bath front elevation window so that is in line with the first story window at 2'-10" from the outside edge.
3. Add window to Bedroom 1 closet on west lower elevation
4. Provide site plan
5. Add sloped soffits on eaves
6. On A102, correct the elevation identifiers (all are incorrect)

The following design exceptions are allowed:

7. Porch width is less than 80% of the front façade
8. Windowsill height is not between 2.5 and 3.5 feet above the finished floor elevation
9. House style is allowed

Mr. Gregory seconded the motion and it passed 5-0.

i) 3384 North Fulton Avenue – Janice White attending

Mr. Gregory made a motion to approve the application with the following requirements:

1. Move the right front porch column so that it centered on the main roofline gable.
2. Tablature (box beam) to line up with the head of the column (See added drawing on A102).
3. Address all items identified in the Planner's Report

The following design exceptions are also granted:

4. Existing sidewalk does not have landscape zone
5. Porch width is less than 80% of the front façade
6. Porch column width is greater than 8-feet

Mr. Stalvey seconded the motion and it passed 5-0.

j) 903 Margaret Street – Shannon Short attending

The final construction does not meet the approved plans. Mr. Stalvey made a motion to approve the updated plans for as built with the requirement to add the sills on windows that do not meet on a material transition. A design exception was granted for the window recess requirement.

Mr. Dufrenne seconded the motion and it passed 5-0.

- k) 3048 Dogwood Drive – Terrence Adams attending
The final construction does not meet the approved plans. Mr. Gregory made a motion to approve the updated plans with a requirement to add windowsills and address the findings in the Planner's report. The following design exceptions are also granted:

1. Window recess requirement of 2-inches
2. Height of porch is greater than 4-feet due to topography

Mr. Stalvey seconded the motion and it passed 4-0.

- l) Mr. Love made a motion to add 3303 Sims Street to the agenda. Mr. Gregory seconded the motion and it passed 5-0.

- m) 3303 Sims Street – Stanley Knowles and Pia Forbes attending
Construction does not meet the approved plans. Mr. Gregory made a motion to accept the plans upon submission with the following comments:

1. Remove picture window and add double-hung window (similar to second floor double-hung window on rear elevation)
2. Add railings to stoop and side porch per the Architectural Design Standards (Chapter 87)
3. Stoop placement is acceptable
4. Window placement is acceptable

A design exception is granted for the foundation as it is existing.

Mr. Stalvey seconded the motion and it passed 5-0.

V. New Business

Ms. Patterson informed the Committee that the City is considering adding a rule to the board that 4 missed meetings in a term (3-years for DRC) would allow the Mayor and Council to recall the nomination.

VI. Adjournment

Jonathan Love adjourned the meeting at 9:11 PM.

Minutes submitted by: _____
Brian Gregory, Secretary

Minutes approved by: _____
Jonathan Love, Chairman



DEPARTMENT OF PLANNING AND ZONING PLANNER'S REPORT

DATE: September 13, 2019
 TO: Tonya Hutson
 FROM: Lynn Patterson
 RE: **Design Review – 438 Porsche Avenue – Window Addition**

Key:

Compliant:	✓
Not Compliant:	✗
Incomplete:	✋
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received a design review application from Reuben Buckareff for the addition of a window to the right-side elevation of an existing structure at 438 Porsche Avenue. The applicant states the window opening was pre-existing but had been bricked in from the outside.

The property is zoned U-V, Urban Village and is subject to the Commercial/Mixed-Use area, Subarea B, of the Architectural Design Standards.

CODE

SEC. 81-1-6. COMMERCIAL/MIXED-USE AREA

(h) Door and window standards.

- ⊘ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ⊘ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ⊘ First-story doors or windows operating on sliders are only permitted when they open directly onto a required sidewalk or supplemental zone.
- ⊘ Building numbers, at least six inches in height, shall be located above or beside the street-facing pedestrian entrance.
- ✋ Window panes serving commercial uses shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade.
- ⊘ Where window lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids between glass are prohibited.
- ⊘ Where used, window shutters shall match one-half the width of the window opening.
- ✓ Enfronting windows shall be vertically shaped with a height greater than width, including display windows but not transoms.

- ④ Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- ④ Painted window or door glass is prohibited.
- ④ All enfronting "storefront and awning" treatments identified in Figure 3, and all enfronting facades along Atlanta Avenue, North Central Avenue, South Central Avenue, Virginia Avenue, Dogwood Drive (except within subarea C), and Sylvan Road shall provide a storefront consisting of:

A nonglass base or knee wall beginning at grade and extending not more than 24 inches above the sidewalk.

A glass display window beginning at the top of the bulkhead or knee wall, to a height not less than ten feet and not more than 12 feet above the adjacent required sidewalk. Such glass shall provide views into display windows having a minimum depth of two and one-half feet and that are accessible from the building interior.

A main entry door remaining unlocked during normal business hours, and having a surface area that is a minimum of 70 percent glass.

A glass transom located above the glass display window having a minimum height of 18 inches and a maximum height of 36 inches.

A minimum of 75 percent of the length of the enfronted portion of the build-to line shall be provided in glass, including glass doors and display windows.

No linear distance of more than ten feet without intervening glass display windows or glass doors.

First-story drop ceilings recessed a minimum of 18 inches from the display window opening.

- ④ Awnings projecting from buildings, serving as an entry canopy and/or providing identification to the business, are allowed, provided that:

Awnings shall be at least five feet deep as measured from the building's front facade.

Awnings serving as an entry canopy shall match adjacent business awnings in depth and height.

Valance width and height must align horizontally.

Frame construction on awnings should be square aluminum tubes. Thin, one-and-one-half-inch-diameter round aluminum tube frames are not permitted. It is suggested that Steel Stitch™ brand be used.

Valance on awnings should always be loose as valances should not be rigidly framed.

Approved awnings may be externally lighted with light fixtures in keeping with the style of the building, as approved by the DRC.

Light fixtures in awnings may light the ground surface or storefront below, however, light fixtures may not be visible from the public right-of-way.

Internally, back lit awnings, where the lights actually illuminate the awning fabric, are prohibited.

Signs on awning must meet all requirements of the sign ordinance.

NOTES:

- No changes are proposed to the enfronting façade.
- The applicant should provide the depth of the installed windowpane from the adjacent façade.

RECOMMENDATIONS

Windowpanes in the Commercial/Mixed-Use area must be recessed between three and six inches from adjacent facades. The applicant should provide the recession of the installed window. Once this has been provided and the condition has been satisfied, the application can be approved.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: Sep 11, 2019

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Reuben Buckareff Contact Number: [REDACTED]

Applicants Address: 438 Porsche Ave, Hapeville GA 30354

E-Mail Address: [REDACTED] Zoning Classification: Commercial

Address of Proposed Work: 438 Porsche Ave, Hapeville GA 30354

Parcel ID# (INFORMATION MUST BE PROVIDED): 14 009600050191

Property Owner: TL Hughes LLC. Contact Number: [REDACTED]

Project Description (including occupancy type): Office renovation - Adding window
in side of building. Window had previously been in the exact same area but had
been removed and bricked in from the outside.

Contractors Name: Reuben Buckareff Contact Number: [REDACTED]

Contact Person: Reuben Buckareff Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

[Signature]
Applicants Signature

Sep. 11, 2019
Date

Project Class (check one):

☐ Residential

☒ Commercial

☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction

☒ Addition to Existing Commercial Building

☐ Addition to Existing Residential Structure

☐ Accessory Structure

☐ Site Plan, Grading & Landscaping

☐ New Single Family Residential Construction

☐ Other

Total Square Footage of proposed New Construction: _____

Total Square Footage of existing building: 2,650

Estimated Cost of Construction: \$1150

List/Describe Building Materials on the exterior of the **existing** structure: _____

Cement block

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

Steel frame double pane insulated window with tempered glass.

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I Reuben Buckareff  swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICORR_CH81ARDEST

☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.

☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.

☒ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.

☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.

☒ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.

☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

☒ **Understood that builder must follow approved plan and that the Certificate of Occupancy will not be issued until a Design Inspection is performed and Architectural Design Standards are met.**

Reuben Buckaroff
Printed Name

[Signature]
Signature

Sep 11, 2019
Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

Property Profile for 438 HENRY FORD II AVE

Property Tax Information

Tax Year	2020
Parcel ID	14 009600050191
Property Address	438 HENRY FORD II AVE
Owner	TLHUGHES LLC
Mailing Address	671 STILL BRANCH DR CANTON GA 30115
Total Appraisal	\$226,700
Improvement Appraisal	\$116,400
Land Appraisal	\$110,300
Assessment	\$90,680
Tax District	30Z
Land Area	0.4821 ac
Property Class	Commercial Lots
Land Use Class	Rail/Bus/Air Terminal
TAD	Hapeville TAD
CID	

Zoning

Zoning Class	not available
Overlay District	
2035 Future Development	not available

Political

Municipality	Hapeville
Commission District	6
Commission Person	Emma I. Darnell
Council District	LRG
Council Person	Travis Horsley, Mark Adams, Chloe Alexander
Voting Precinct	HP01
Poll Location	Hoyt Smith Center, 3444 N Fulton Ave
Congressional District	005
State Senate District	036
State House District	060

School Zones

Elementary School	Hapeville
Middle School	Paul D West
High School	Tri-Cities

Other Information

Zip Code	30354
Census Tract	108
In Less Developed Census Tract	No

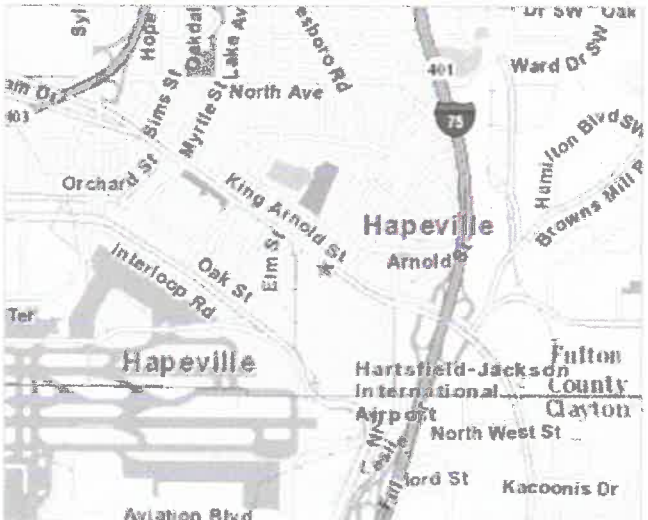
Aerial View



Property Map



Vicinity Map











DEPARTMENT OF PLANNING AND ZONING PLANNER'S REPORT

DATE: September 9, 2019
TO: Tonya Hutson
FROM: Michael Smith
RE: **Design Review – 219 Maple Street Remodel**

Key:

Compliant:	✓
Not Compliant:	✗
Incomplete:	✋
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received a design review application from Daniel Moore to remodel a front porch and a rear deck on an existing single-story single-family dwelling at 219 Maple Street. The porch roof addition will increase the heated floor area by 160 sq. ft. from 1,400 sq. ft. to 1,560 sq. ft.

The property is zoned R-1 - One-Family Detached and is subject to the Neighborhood Conservation Area, Subarea E of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(c) Utility Standards

- ⊘ Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.
- ⊘ When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- ⊘ Street lights may be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian-scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development.

- All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may be provided as long as it is properly shielded and does not become an annoyance to adjacent property owners or the public. General area illumination with oversized flood lights is prohibited. Specifically, lighting shall be shielded so that the source of light is not visible from adjacent properties or the public right-of-way.
- ☉ Trees shall not be planted directly above storm drains.

STAFF COMMENT:

- The scope of construction does not include changes to utilities.
- The applicant should retain the light at the front door and include it on the plans.

(e) Roof and Chimney Standards

- ☞ Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- ☞ Roof shingles shall be slate, cedar, or asphalt.
- ☉ Roof tiles shall be clay, terra cotta or concrete.
- ☉ Metal roofs are:
 - Allowed on one-family and two-family detached dwellings;
 - Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a parapet wall.
- ☞ Gutters shall be copper, aluminum or galvanized steel.
- ☞ Downspouts shall match gutters in material and finish.
- ✓ Roof forms shall be based on architectural style.
- ☞ All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- ☉ Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- ☉ Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- ☉ Chimneys on exterior building walls shall begin at grade.
- ☉ Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

STAFF COMMENT:

- The applicant should ensure the shingles for the proposed porch roof match the existing shingles in style and are guaranteed for at least 30 years by manufacturer's warranty.
- The applicant should show gutters and downspouts on the new roof and provide their material.
- The applicant should ensure the new roof overhangs at least 12" beyond the facade.

(f) Street Facing Facade and Style Standards.

- ☉ Exterior facade materials shall be limited to:
 - Full-depth brick;
 - Natural or cast stone;
 - Smooth natural-wood siding and/or cement-based siding;
 - Shake siding;

- Painted fish-scale style shingles, but only when used in front gables;
- True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- ⊖ Exterior building materials shall not be:
 - Simulated brick veneer, such as Z-Brick;
 - Exterior insulation and finish systems (EIFS);
 - Exposed concrete block;
 - Metal siding or other metal exterior treatment;
 - Glass curtain walls;
 - Liquid vinyl;
 - T-1-11 siding;
 - Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.
- ⊖ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ⊖ Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11.
- ⊖ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ⊖ All exterior stair risers visible from a street shall be enclosed.
- ✓ Porches, stoops, and balconies may be located in the front or side yard.
- ✓ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- ✓ Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- 👉 Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ✓ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ✓ Porch and stoop foundations shall be enclosed.
- ✓ Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- ⊖ Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- 👉 Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- ⊖ Stoops shall provide a minimum top landing of four feet by four feet.
- ⊖ Stoop stairs and landings shall be of similar width.
- ⊖ Stoops may be covered or uncovered.
- 👉 When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ✗ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- ⊖ Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.

- ⊗ Enfronting porches may have multistory verandas, living space, or balconies above.
- ✋ Porch columns shall be spaced a maximum distance of eight feet on center.
- ✓ Front porch columns shall have foundation piers extending to grade.
- ✓ All porches shall be covered.
- ⊗ Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- ⊗ Enfronting balconies shall have a minimum clear depth of four feet.
- ⊗ Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- ⊗ Balconies may be covered or uncovered.

STAFF COMMENT:

- **The scope of construction does not include changes to the façade.**
- **The top and bottom horizontal porch railings must comply with the following requirements:**
 - **The top railing must consist of two elements, the upper one measuring 2" x 6" and the lower one 2" x 4"**
 - **The bottom railing must measure 2" x 4"**
- **The height of the porch from grade has not been provided. Porches must be between 2' and 4' above grade. The project will re-use an existing porch slab.**
- **The depth of the porch columns from the front facade has not been provided. The front of the porch columns must measure 8' from the front facade. The project will re-use an existing porch slab.**
- **The porch will be less than 80% of the width of the front facade. The project will re-use an existing porch slab.**
- **Porch columns can be spaced no greater than 8' apart on center. The width between the two support columns has not been provided.**

RECOMMENDATIONS

Upon review of the information provided by the Applicant, the following items have been found to be missing or deficient and should be addressed prior to formalizing a recommendation:

1. The applicant should retain the light at the front door and include it on the plans.
2. The applicant should ensure the shingles for the proposed porch roof match the existing shingles in style and are guaranteed for at least 30 years by manufacturer's warranty.
3. The applicant should show gutters and downspouts on the new roof and provide their material.
4. The applicant should ensure the new roof overhangs at least 12" beyond the facade.
5. Scope of construction does not include changes to the façade.
6. The top and bottom horizontal porch railings must comply with the following requirements:
 - a. The top railing must consist of two elements, the upper one measuring 2" x 6" and the lower one 2" x 4"
 - b. The bottom railing must measure 2" x 4"
7. The height of the porch from grade has not been provided. Porches must be between 2' and 4' above grade. The project will re-use an existing porch slab.
8. The depth of the porch columns from the front facade has not been provided. The front of the porch columns must measure 8' from the front facade. The project will re-use an existing porch slab.
9. The porch will be less than 80% of the width of the front facade. The project will re-use an existing porch slab.

10. Porch columns can be spaced no greater than 8' apart on center. The width between the two support columns has not been provided.

Once these items are addressed to the satisfaction of Staff and/or the Design Review Committee, the application can be approved.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: August 27, 2019

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Daniel Moore Contact Number: [REDACTED]

Applicants Address: 219 Maple Street, Hapeville, GA 30354

E-Mail Address: [REDACTED] Zoning Classification: R-1

Address of Proposed Work: 219 Maple Street, Hapeville, GA 30354

Parcel ID# (INFORMATION MUST BE PROVIDED): 14009400090645

Property Owner: Daniel Moore Contact Number: [REDACTED]

Project Description (including occupancy type): Front Porch and Rear Deck modification.

Contractors Name: _____ Contact Number: _____

Contact Person: _____ Contact Number: _____

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

Daniel Moore
Applicants Signature

8/27/19
Date

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building
☒ Addition to Existing Residential Structure ☐ Accessory Structure
☐ Site Plan, Grading & Landscaping ☐ New Single Family Residential Construction
☐ Other

Total Square Footage of proposed New Construction: P-160, D-100

Total Square Footage of existing building: 1,400

Estimated Cost of Construction: \$10,000

List/Describe Building Materials on the exterior of the **existing** structure: _____

Vinyl Siding & Concrete

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

Wood.

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I Daniel Moore DM swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

DM Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST

DM Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.

DM Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.

DM Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.

DM Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.

DM Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.

DM Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

DM **Understood that builder must follow approved plan and that the Certificate of Occupancy will not be issued until a Design Inspection is performed and Architectural Design Standards are met.**

Daniel Moore
Printed Name

DM
Signature

8/27/19
Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

219 Maple Street



Front Elevation



Rear Elevation



Right Side Elevation



Left Side Elevation

PROJECT DATA:

APPLICABLE BUILDING
CODES AND COMMENTS

CITY OF ATLANTA

- INTERNATIONAL BUILDING CODE - 2012 EDITION W/GA. 2014 , 2015 , 2017 & 2018 AMENDMENTS
- INTERNATIONAL RESIDENTIAL CODE - 2012 EDITION W/GA. 2014 , 2015 & 2018 AMENDMENTS
- INTERNATIONAL PLUMBING CODE, 2012 EDITION W/GA. 2014 & 2015 AMENDMENTS
- INTERNATIONAL MECHANICAL CODE, 2012 EDITION W/GA. 2015 AMENDMENTS
- NATIONAL ELECTRICAL CODE, 2017 EDITION. NO AMENDMENTS
- INTERNATIONAL FUEL GAS CODE, 2012 EDITION W/GA. 2014 & 2015 AMENDMENTS
- INTERNATIONAL FIRE CODE, 2012 EDITION W/GA. 2014 AMENDMENTS
- NFPA NATIONAL 101 - LIFE SAFETY CODE, 2012 EDITION. W/GA 2013 AMENDENTS
- INTERNATIONAL ENERGY CONSERVATION CODE 2009 W/GA. 2011 , 2012 AMENDMENTS

PROPOSED FRONT PORCH ROOF ADDITION	=	160 SQ. FT.
EXISTING MAIN FLOOR	=	1,400 SQ. FT.
TOTAL HEATED AREA	=	1,560 SQ. FT.

CODES AND ORDINANCES

2012 INTERNATIONAL RESIDENTIAL BUILDING CODE
WITH 2014 DECK AMENDMENT

GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH ALL STATE AND LOCAL BUILDING CODES ENFORCED IN THE ATLANTA , GEORGIA AREA INCLUDING:
INTERNATIONAL RESIDENTIAL BUILDING CODE
- IRC 2012 EDITION W/ GA. AMENMENT
ONE AND TWO FAMILY DEWELLING CODE
- 2012 IRC 2012 EDITION W/ GA. AMENMENT
THE GEORGIA STATE ENERGY CODE.

2. DIMENSIONS ARE TAKEN FROM/TO FACE OF CONCRETE, MASONRY, WOOD STUDS, OR CENTERLINE OF COLUMNS, ETC. AS INDICATED, UNLESS NOTED OTHERWISE. ALL DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR AND ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.

3. HOUSE ARE AS INDICATED ARE SQUARE FOOTAGE FOR HEATED FLOOR SPACES ONLY. PORCHES OR DECKS ARE NOT INCLUDED. STAIR AREA ARE INCLUDED ON THE MAIN LEVEL FLOOR ONLY.

4. ELECTRICAL DEVICES SHOWN ARE FOR LOCATION PURPOSED ONLY. ALL ELECTRICAL INSTALLATIONS SHALL CONFORM TO THE ENFORCED ELECTRICAL CODE.
5. CONTRACTOR SHALL COORDINATE ALL LOCATIONS AND INSTALLATIONS OF PLUMBING, ELECTRICAL AND HVAC EQUIPMENT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL INFORM ARCHITECT OF ANY CONFLICTS BETWEEN THESE ITEMS AND ARCHITECTURAL ITEMS.

6. BATT INSULATION SHALL BE INSTALLED IN ALL EXTERIOR WALLS, CRAWL SPACES, ATTIC SPACES, AND SOFFITS AS INDICATED. BATT INSULATION SHALL HAVE A THERMAL RESISTANCE OF R-13 FOR 2 X 4 STUD WALLS AND R-30 FOR ALL CRAWL SPACES, ATTIC SPACES AND SOFFITS WITH INTEGRAL VAPOR BARRIER. INSULATION SHALL BE BUILTING. ALL VOIDS AROUND DOOR AND WINDOW FRAMES, AND OTHER PENETRATIONS SHALL BE FILLED TIGHTLY WITH INSULATION MATERIAL.

7. ALL WINDOWS SIZES INDICATED ARE STANDARD SIZES EVERY SLEEPING ROOM MUST HAVE A LEAST ONE OPERABLE WINDOW (OR DOOR) OF CLEAR OPENING SIZE APPROVED FOR EMERGENCY EGRESS OR RESCUE ACCORDING TO THE APPLICABLE BUILDING CODE.

8. ANY DISCREPANCY BETWEEN PLANS, ELEVATIONS, AND DETAILS FOUND BY CONTRACTOR SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION.

DESIGN LIVE LOADS

FIRST FLOOR : 40 PSF
SECOND FLOOR : 30 PSF
ROOF: 40 PSF

SCOPE OF WORK

- HOUSE RENOVATION
1. ADD GABLE ROOF EXISTING SLAB FRONT PORCH
 2. REPAIR EXISTING DECK
 3. NEW EXTERIOR PAINTING



219 MAPLE ST.

DRAWING INDEX

A-1	COVER SHEET
A-2	EXISTING & PROPOSED FLOOR PLAN
A-3	FRONT PORCH & DECK FRAMING
A-4	EXISTING & PROPOSED FRONT & REAR ELEVATION
A-5	EXISTING & PROPOSED RIGHT ELEVATIONS
A-6	EXISTING & PROPOSED LEFT ELEVATION
A-8	EXISTING & PROPOSED ROOF & FRAMING

RELEASE FOR CONSTRUCTION

General Notes

COVER SHEET

No.	Revision/Issue	Date
-----	----------------	------

Plan Name and Address

J.S. CADD DESIGN SERVICE
1426 GOLF LINK DR.
STONEMOUNTAIN GA, 30088
(404) 502-8574
swineyj@bellsouth.net

Project Name and Address

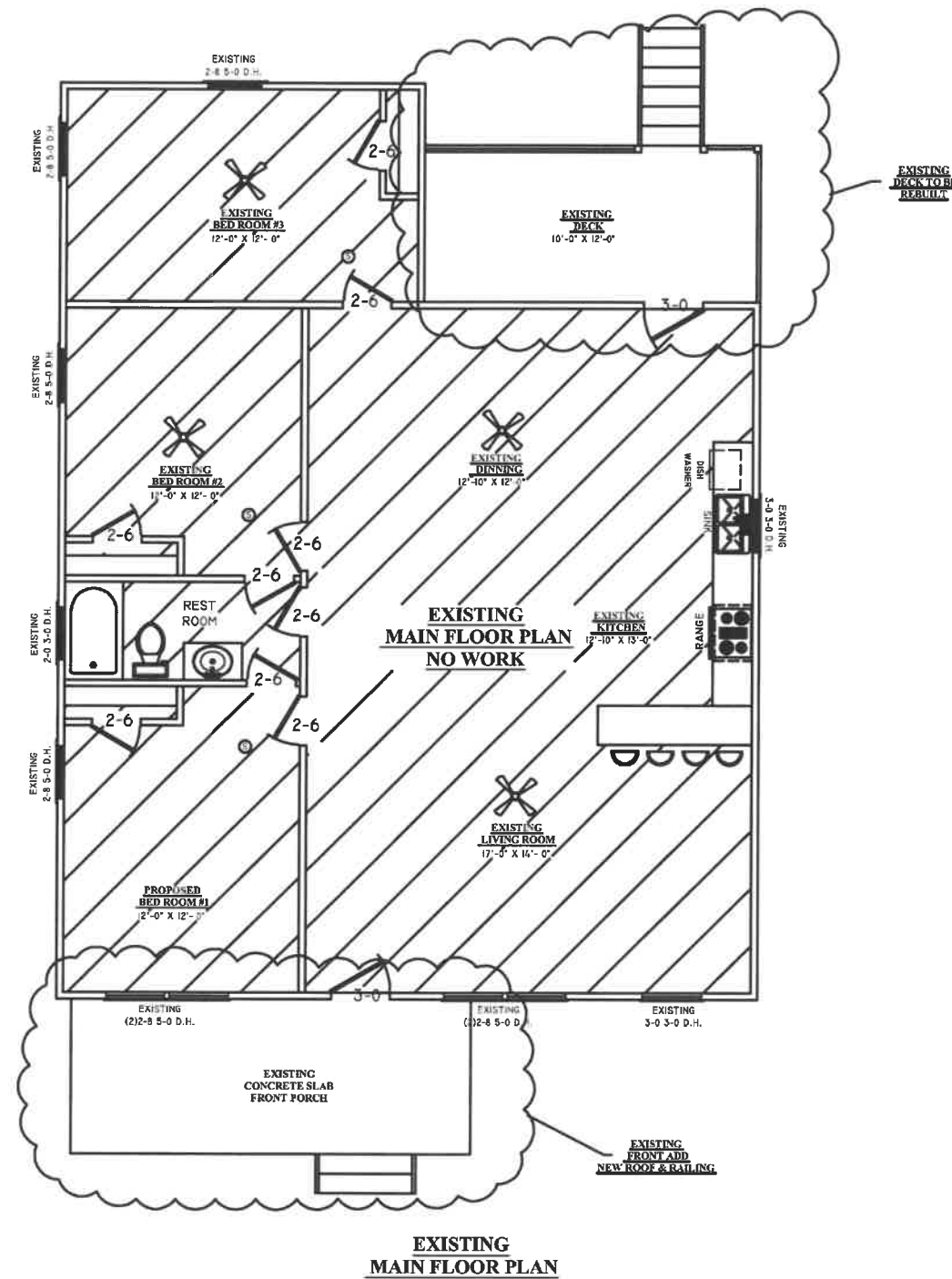
FRONT PORCH & DECK
RENOVATION
219 MAPLE ST.
ATLANTA, GA, 30354

Project

Date 8/18/2019

Scale 3/16" =1'-0"

A-1



PROPOSED FRONT PORCH ROOF ADDITION	=	160 SQ. FT.
EXISTING MAIN FLOOR	=	1,400 SQ. FT.
TOTAL HEATED AREA	=	1,560 SQ. FT.

RELEASE FOR CONSTRUCTION

General Notes

EXISTING FLOOR PLAN & FRONT PORCH ROOF ADDITION DECK REPAIRS

No.	Revision/Issue	Date

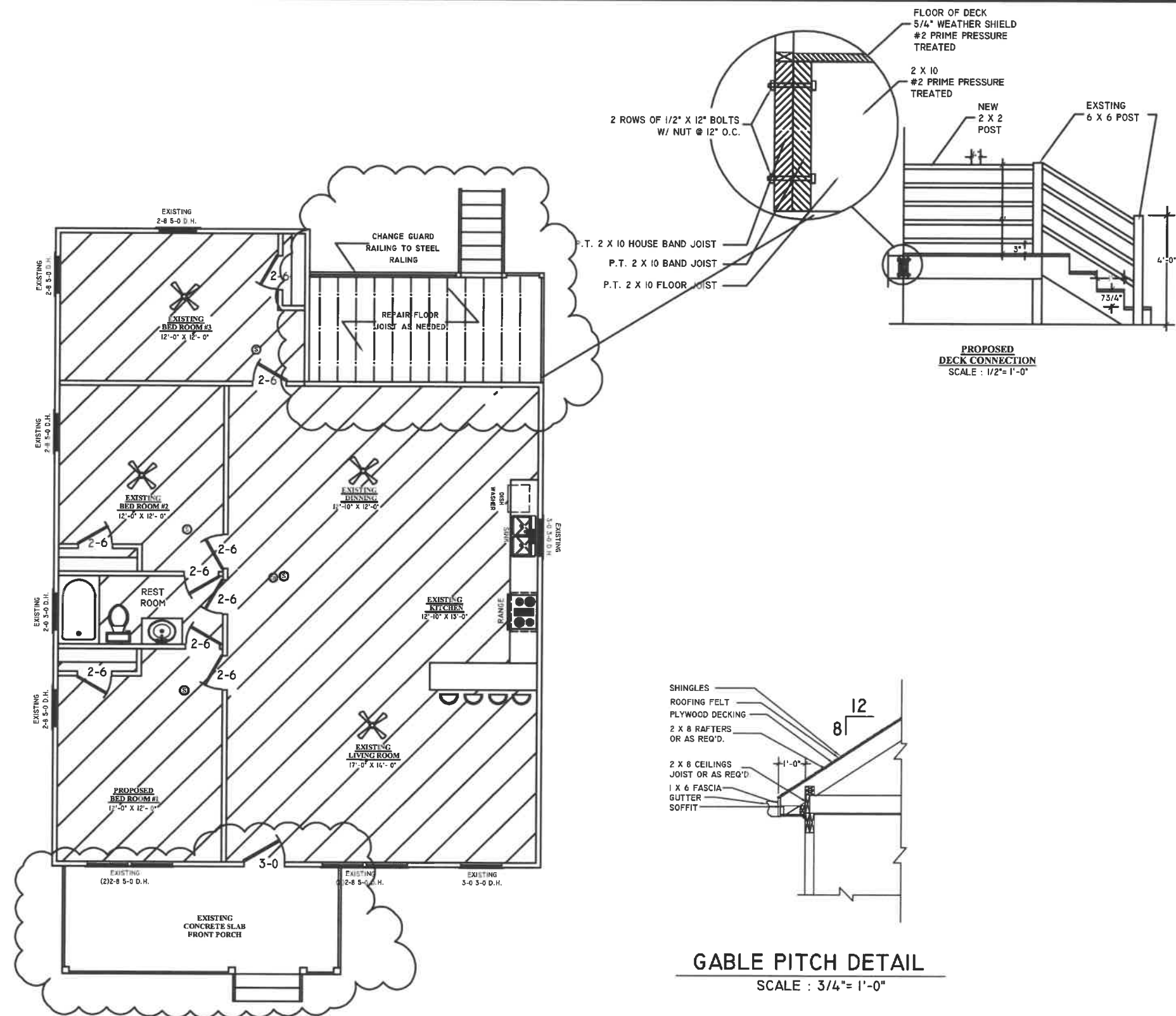
Plan Name and Address

J.S. CADD DESIGN SERVICE
1426 GOLF LINK DR.
STONEMOUNTAIN GA, 30088
(404) 502-8574
swineyj@bellsouth.net

Project Name and Address

FRONT PORCH & DECK
RENOVATION
219 MAPLE ST.
ATLANTA, GA, 30354

Project	Sheet
Date 8/18/2019	A-2
Scale 3/16" = 1'-0"	



PROPOSED FRAMING & DECK FRAMING PLAN

No.	Revision/Issue	Date

Owner Name and Address
J.S. CADD DESIGN SERVICE
1426 GOLF LINK DR.
STONEMOUNTAIN GA, 30088
(404) 502-8574
swineyj@bellsouth.net

Project Name and Address
FRONT PORCH & DECK
RENOVATION
219 MAPLE ST.
ATLANTA, GA, 30354

Project	Date	Sheet A-3
Date 8/18/2019	Date 3/16" = 1'-0"	

RELEASE FOR CONSTRUCTION



**PROPOSED
FRONT ELEVATION**
SCALE : 3/16" = 1'-0"



**EXISTING
FRONT ELEVATION**
SCALE : 3/16" = 1'-0"



**PROPOSED
FRONT ELEVATION**
SCALE : 3/16" = 1'-0"



**EXISTING
FRONT ELEVATION**
SCALE : 3/16" = 1'-0"

General Notes

EXISTING & PROPOSED FRONT , REAR ELEVATIONS

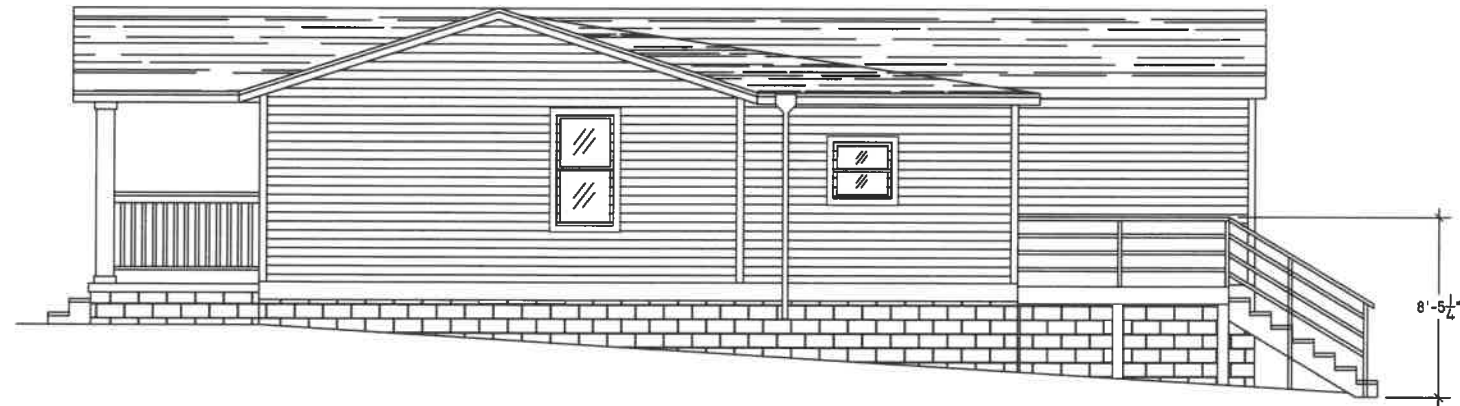
No.	Revision/Issue	Date

Firm Name and Address
J.S. CADD DESIGN SERVICE
1426 GOLF LINK DR.
STONEMOUNTAIN GA, 30088
(404) 502-8574
swineyj@bellsouth.net

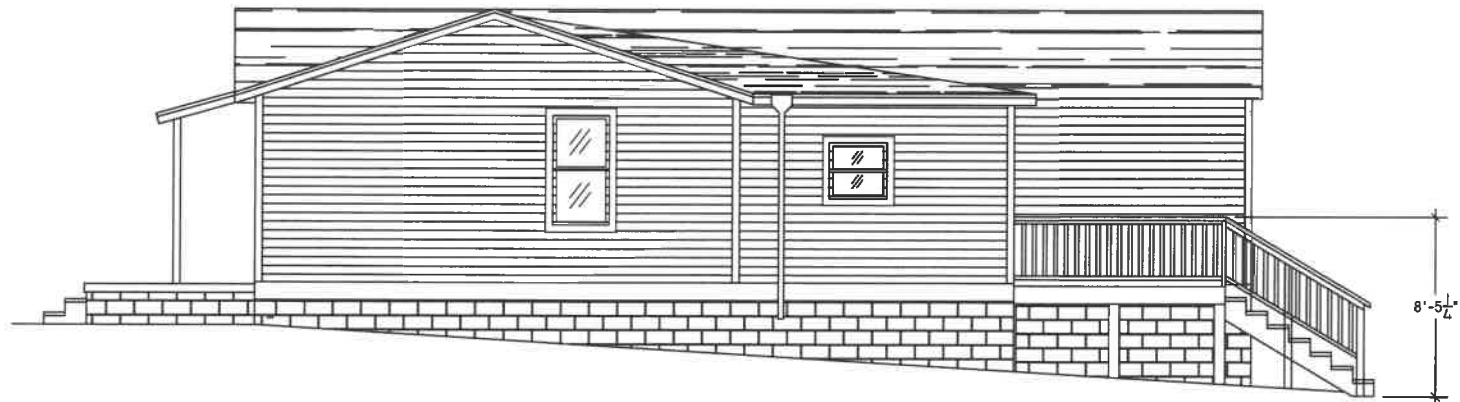
Project Name and Address
**FRONT PORCH & DECK
RENOVATION**
219 MAPLE ST.
ATLANTA, GA, 30354

Project	Sheet
Date 8/18/2019	A-4
Scale 3/16" = 1'-0"	

RELEASE FOR CONSTRUCTION



PROPOSED
RIGHT ELEVATION



EXISTING
RIGHT ELEVATION

SCALE : 3/16" = 1'-0"

RELEASE FOR CONSTRUCTION

General Notes

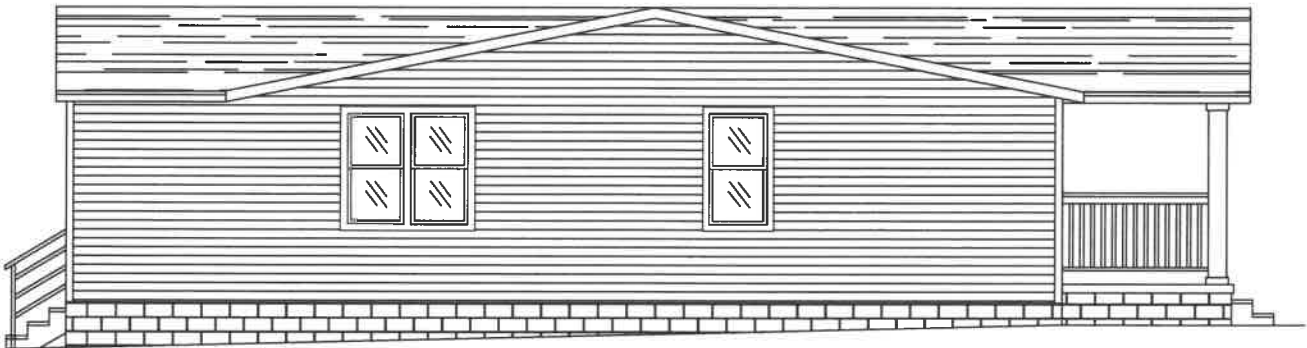
EXISTING & PROPOSED
RIGHT ELEVATIONS

No.	Revision/Issue	Date

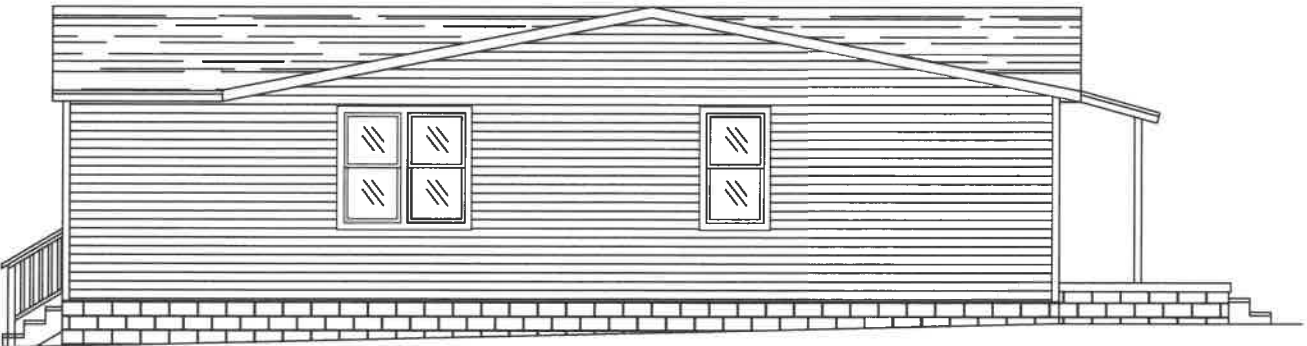
Client Name and Address
J.S. CADD DESIGN SERVICE
1426 GOLF LINK DR.
STONEMOUNTAIN GA, 30088
(404) 502-8574
swineyjj@bellsouth.net

Project Name and Address
FRONT PORCH & DECK
RENOVATION
219 MAPLE ST.
ATLANTA, GA, 30354

Project	Sheet
Date 8/18/2019	A-5
Scale 3/16" = 1'-0"	



PROPOSED
LEFT ELEVATION



EXISTING
LEFT ELEVATION
SCALE : 3/16" = 1'-0"

General Notes

EXISTING & PROPOSED
LEFT ELEVATIONS

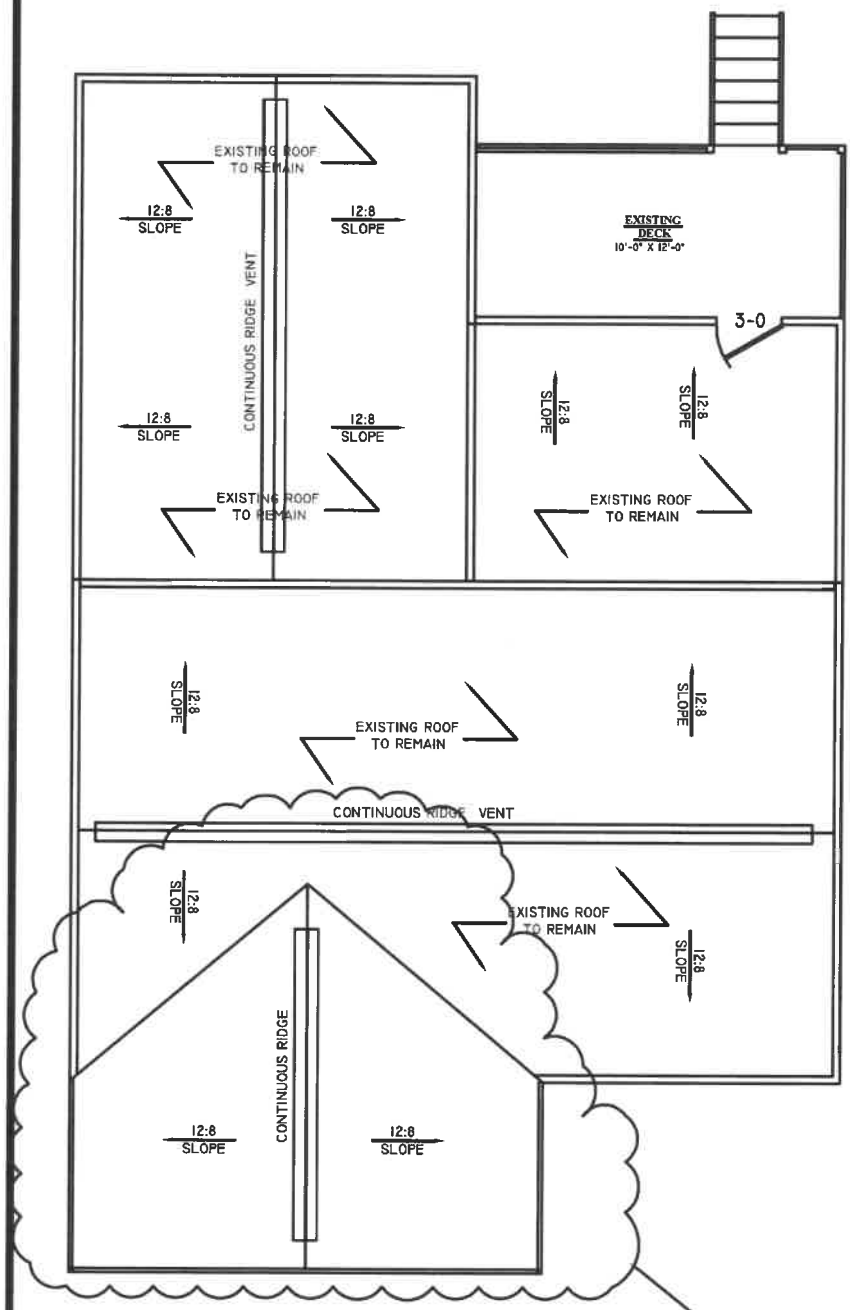
No.	Revision/Issue	Date

Firm Name and Address
J.S. CADD DESIGN SERVICE
1426 GOLF LINK DR.
STONEMOUNTAIN GA, 30088
(404) 502-8574
swineyj@bellsouth.net

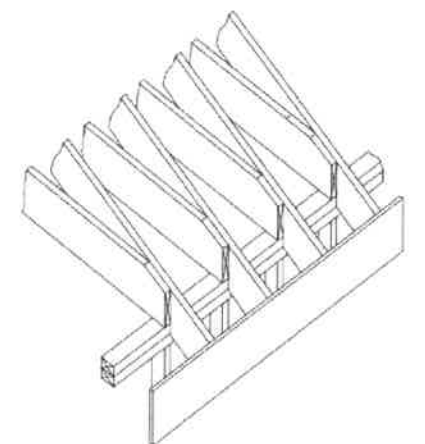
Project Name and Address
FRONT PORCH & DECK
RENOVATION
219 MAPLE ST.
ATLANTA, GA, 30354

Project	Sheet
Date 8/18/2019	A-6
Scale 3/16" = 1'-0"	

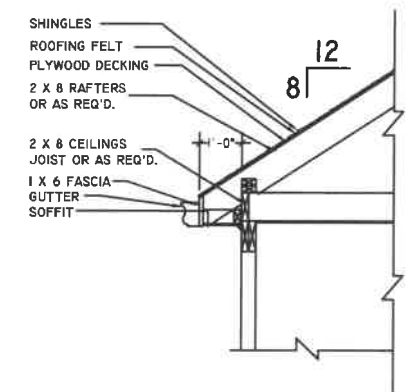
RELEASE FOR CONSTRUCTION



**PROPOSED
ROOF FRAMING PLAN**
SCALE : 1/4" = 1'-0"

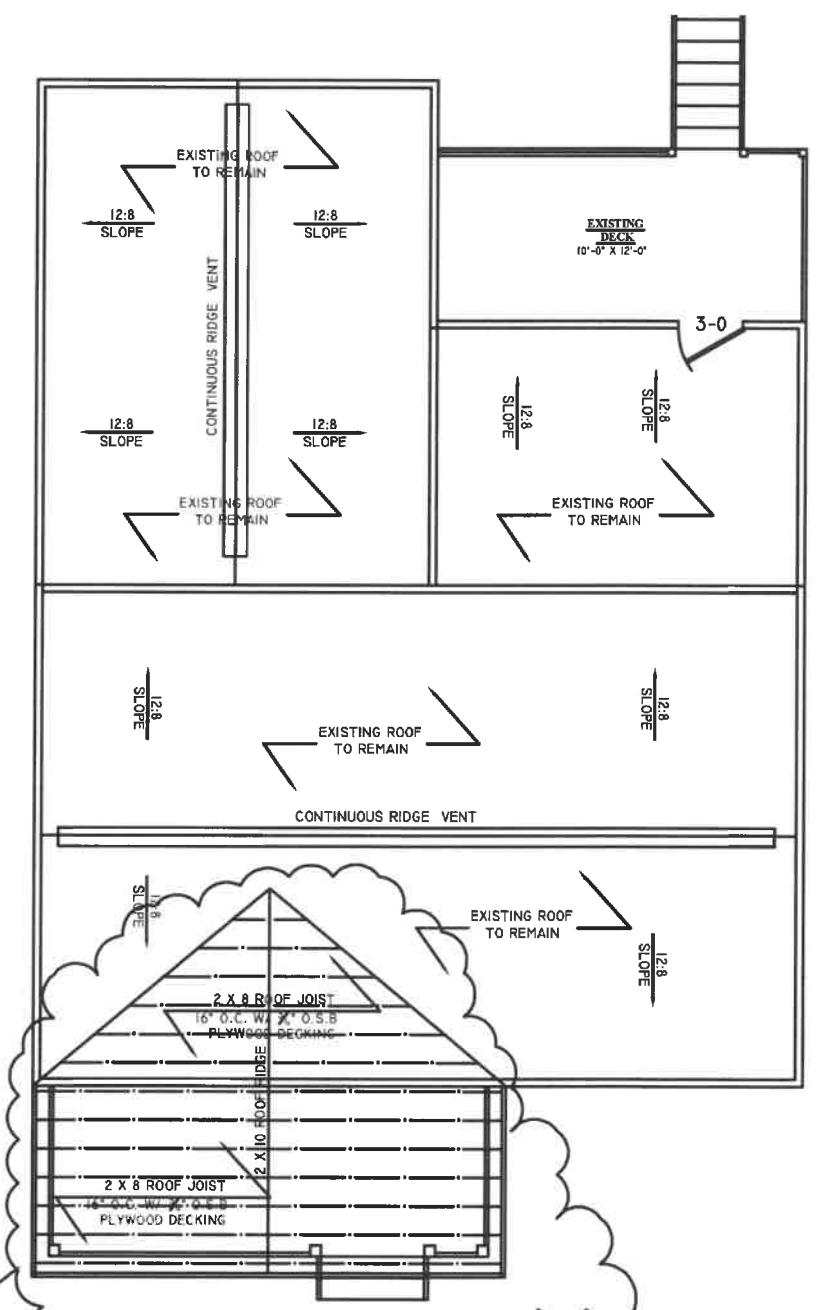


RAFTER CONNECTION DETAIL
SCALE : 3/4" = 1'-0"



GABLE PITCH DETAIL
SCALE : 3/4" = 1'-0"

CONCRETE SHALL
INSTALL NEW PORCH
COVER OVER EXISTING
CONCRETE SLAB PORCH



**NEW
ROOF FRAMING PLAN**
SCALE : 1/4" = 1'-0"

General Notes

**ROOF
FRAMING PLAN**

No.	Revision/Issue	Date

Plan Name and Address
J.S. CADD DESIGN SERVICE
 1426 GOLF LINK DR.
 STONEMOUNTAIN GA, 30088
 (404) 502-8574
 swineyj@bellsouth.net

Project Name and Address
**FRONT PORCH & DECK
 RENOVATION**
 219 MAPLE ST.
 ATLANTA, GA, 30354

Project	Sheet
Date 8/18/2019	A-7
Scale 3/16" = 1'-0"	

RELEASE FOR CONSTRUCTION



DEPARTMENT OF PLANNING AND ZONING PLANNER'S REPORT

DATE: September 11, 2019
TO: Tonya Hutson
FROM: Michael Smith
RE: **Design Review – 257 Birch Street**

Key:

Compliant:	✓
Not Compliant:	✗
Incomplete:	✋
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received a design review application from David Cook to construct a new one and a half story single-family dwelling at 257 Birch Street. The dwelling will have 1,777 SF of living area. It will include three bedrooms and two and a half bathrooms. Parking will be provided by a 11' wide driveway running along the west side of the house. The submitted elevations and floor plans for the structure are identical to the application for 261 Birch Street.

The property is zoned R-1, One-Family Residential and is subject to the Neighborhood Conservation Area, Subarea E of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(a) Site development standards

- ✓ Except where indicated, setbacks shall be established by zoning.
- ⊘ On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.
- ⊘ Minimum building heights shall be established by zoning.
- ✗ Within subareas D and E maximum building heights shall be as established by zoning, except that:

Where this chapter provides a more-stringent standard as compared to the zoning code, the more-stringent standard shall prevail. The only exception to this shall be a use grandfathered under the zoning code.

Portions of buildings equal to or less than five feet from a side or rear lot line shall be limited in height to the greater of 16 feet.

✗ Portions of buildings between five and ten feet of a side or rear lot line shall be limited in height to the greater of 25 feet.

Portions of buildings ten feet or greater from a side or rear lot line shall be limited in height to 35 feet.

- ⊖ Outside of subareas D and E maximum building heights shall be as established by zoning.
- ✓ All buildings shall provide first-story occupiable space, for the first ten feet of building depth along the enfronting facade.
- ✓ Sidewalks shall be located along all public and private streets. Sidewalks shall consist of two areas: a landscape area and a clear area.
 - ✓ Developments less than one acre shall provide a minimum one-foot landscape zone and a minimum four-foot clear zone.
 - Development of one acre or more shall provide a minimum two-foot landscape zone and a minimum five-foot clear zone.
 - The above notwithstanding, multifamily developments and all developments along Dogwood Drive shall provide a minimum five-foot landscape zone and a minimum six-foot clear zone.

STAFF COMMENT:

- **Within subarea E, the maximum height for the portion of a building between 5' and 10' from the property line is 25'. The east side setback is 9.1'. While not reflected on the submitted elevations, an updated site plan provides the height as approximately 30' above grade with no reduction approaching the side setbacks, which is not compliant.**

(b) Supplemental Area and Fence Standards

- ✓ Developments shall locate landscape supplemental areas adjacent to first-story residential uses and place a minimum of one tree every 50 feet in the supplemental area. See list of allowed trees in section 93-2-14.
- ⊖ Chain link fencing is not permitted in areas visible from a public right-of-way.
- ⊖ On all lots a fence, wall, curb or hedge between six and 48 inches in height is encouraged at the back of the required sidewalk, except at openings to access steps, drives or pedestrian walkways.
- ⊖ Fences adjacent to the street shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.
- ⊖ Retaining walls adjacent to the required sidewalk shall not exceed 32 inches in height unless required by topography.
- ⊖ All street-facing walls shall be faced with stone, brick, or smooth stucco.
- ⊖ Small planting between retaining walls and the required sidewalk are encouraged and should have a minimum width of six inches.

STAFF COMMENT:

- **A fence between 6" and 48" in height is encouraged at the back of the required sidewalk.**

(c) Utility Standards

- ✋ Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.

- ⊙ When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- ⊙ Street lights may be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian-scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development.
- ✗ All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may be provided as long as it is properly shielded and does not become an annoyance to adjacent property owners or the public. General area illumination with oversized flood lights is prohibited. Specifically, lighting shall be shielded so that the source of light is not visible from adjacent properties or the public right-of-way.
- ⊙ Trees shall not be planted directly above storm drains.

STAFF COMMENT:

- **The applicant should show mechanical utility features on the plans and indicate any screening.**
- **A light at the front door should be included and shown on the plans.**

(d) *Parking and Traffic Standards*

- ✓ One-family detached dwellings and two-family dwellings shall meet the following requirements:
 - ✓ Driveways shall have a minimum width of nine feet and a maximum width of 15 feet.
Circular drives are permitted.
A grass strip in the middle of driveways is encouraged.
- ⊙ All other buildings shall meet the following requirements:
 - Parcels are permitted a maximum of one driveway curb cut per street. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
 - Driveways shall have a maximum width of 12 feet for one-way and 24 feet for two-way.
 - Two curb cuts serving two one-way driveways shall be counted as one curb cut.
 - Public or private alleys, or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.
 - New public streets shall not count as curb cuts.
 - Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
- ⊙ Carports are only permitted subject to the following requirements:
 - Carports shall be located in the rear or side yard, but shall not be visible from a public right-of-way.
 - Carport roofs shall be supported by columns with a minimum width and depth of eight inches.
 - The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.
- ✓ On-site parking shall be prohibited in the supplemental areas. This shall not be interpreted as restricting on-street parking located along a public street.
- ⊙ Garage access on single-family lots shall be prohibited in the front yard of the home.

STAFF COMMENT:

(e) *Roof and Chimney Standards*

- ✎ Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- ✎ Roof shingles shall be slate, cedar, or asphalt.
- ⊖ Roof tiles shall be clay, terra cotta or concrete.
- ⊖ Metal roofs are:
 - Allowed on one-family and two-family detached dwellings;
 - Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a parapet wall.
- ✎ Gutters shall be copper, aluminum or galvanized steel.
- ✎ Downspouts shall match gutters in material and finish.
- ✓ Roof forms shall be based on architectural style.
- ✎ All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- ⊖ Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- ⊖ Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- ⊖ Chimneys on exterior building walls shall begin at grade.
- ⊖ Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

STAFF COMMENT:

- The plans indicate the roofing material will consist of cedar shake and "composition" shingles. The applicant should ensure all roof shingles are slate, cedar, or asphalt.
- The applicant should provide the manufacturer's warranty, ensuring the roof is warranted for at least 30 years.
- The applicant should specify the distance the roof overhangs the facades of the house, ensuring it is at least 12".
- The applicant should describe the material of the gutters and downspouts and show them on elevations.

(f) Street Facing Facade and Style Standards.

- ✓ Exterior facade materials shall be limited to:
 - Full-depth brick;
 - ✓ Natural or cast stone;
 - ✓ Smooth natural-wood siding and/or cement-based siding;
 - ✓ Shake siding;
 - Painted fish-scale style shingles, but only when used in front gables;
 - True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- ✓ Exterior building materials shall not be:
 - Simulated brick veneer, such as Z-Brick;
 - Exterior insulation and finish systems (EIFS);
 - Exposed concrete block;
 - Metal siding or other metal exterior treatment;
 - Glass curtain walls;
 - Liquid vinyl;

T-1-11 siding;

Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.

- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ✓ Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11.
- ✎ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ✓ All exterior stair risers visible from a street shall be enclosed.
- ✓ Porches, stoops, and balconies may be located in the front or side yard.
- ✓ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- ✓ Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- ✗ Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ✓ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ✓ Porch and stoop foundations shall be enclosed.
- ✓ Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- ⊖ Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- ✎ Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- ⊖ Stoops shall provide a minimum top landing of four feet by four feet.
- ⊖ Stoop stairs and landings shall be of similar width.
- ⊖ Stoops may be covered or uncovered.
- ✗ When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ✓ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- ⊖ Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- ⊖ Enfronting porches may have multistory verandas, living space, or balconies above.
- ✗ Porch columns shall be spaced a maximum distance of eight feet on center.
- ✓ Front porch columns shall have foundation piers extending to grade.
- ✓ All porches shall be covered.
- ⊖ Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- ⊖ Enfronting balconies shall have a minimum clear depth of four feet.
- ⊖ Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- ⊖ Balconies may be covered or uncovered.

STAFF COMMENT:

- The applicant should clarify if the foundation will extend above grade and, if so, should design it to contrast with the facade materials.
- The proposed porch railings are not constructed with top and bottom horizontal members connected by vertical railings, which is not compliant. The applicant should refer to the standards in section (f) for porch railing dimensional requirements.
- Porches must be between 2' and 4' above grade. The applicant should provide the height of the porch above grade.
- Porches must have a clear depth of 8' from building façade to the outside face of columns. The proposed porch has a depth of 6', which is not compliant.
- Porch columns may be spaced no more than 8' apart on center. The porch columns are approximately 26' apart, which is not compliant.

(g) Door and window standards.

- ✓ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ✓ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ✗ Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- ⊖ Doors that operate as sliders are prohibited along enfronting facades.
- 👉 Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- 👉 Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- 👉 Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- ⊖ Where used, window shutters shall match one-half the width of the window opening.
- ⊖ Painted window or door glass is prohibited.
- ⊖ Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- ✓ Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- ✓ Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.
- 👉 Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- 👉 Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

STAFF COMMENT:

- Building numbers at least 6" in height on the porch or adjacent to the front door should be included and shown on the plans.
- The applicant should ensure no GBGs will be utilized.
- Windows must comply with all requirements of Sec. 81-1-7(g) - *Door and window standards*. The elevations should be revised to demonstrate compliance and the plans should provide the following information:
 - Windowpane recession from adjacent facades
 - The width of window trim
 - The width of mullions between grouped windows
 - Windowsill materials

(h) Detached one-family dwellings/ two-family dwellings. In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.

- 👉 **First Stories.** First stories shall be elevated above the grade between two and four feet, unless existing topography is greater or unless wheelchair access is desired and cannot be provided from the side or rear.
- 👉 **Window Sills.** Enfronting first story window sills should be no less than two and one-half feet and no more than three and one-half feet above finished floor elevation.
- 🕒 **Wheelchair access.** Where practical, wheelchair access, when provided, should be installed at the side or rear of the home in order to preserve the architectural character of the primary facade.
- ✓ **Architectural style.** Architecture is one of the most critical components of place, and nowhere is this more evident than on building facades. The design and character of street-facing facades is a reflection of both buildings and their users, and must be carefully considered for its impact on the overall sense of place.

New homes in the neighborhood conservation area should be designed to reflect the principal traditional styles found in the community. These include national folk, Queen Anne, ranch, Tudor revival, craftsman, and minimal traditional styles.

These styles, however, do not reflect the only styles historically found in Hapeville, which also includes a few occurrences of neocolonial revival. Where an applicant desires to utilize a style historically found in Hapeville, but not reflected in the six principal styles identified in subsections (4)a. through (4)e., they shall provide the Design Review Committee with photo documentation of the relevant style in Hapeville, a description of the key features of such style, and written justification of such style's appropriateness for the community.

- ✓ **Craftsman.** Craftsman homes may include:
 - ✓ i. A rectangular building footprint, with the short end facing a street.
 - ✓ ii. Gabled roofs having gables with a minimum pitch of 20 and a maximum pitch of 40 degrees from horizontal and with roof lines running parallel or perpendicular to the street.
 - ✓ iii. Decorative beams, brackets or braces under gables.
 - ✓ iv. Exposed roof rafters where roofs overhang.
 - ✓ v. Optional dormers.
 - ✓ vi. Windows that are taller than they are wide.
 - ✗ vii. Equal height windows along a single floor.
 - ✓ viii. Symmetrical or asymmetrical front facade.
 - ✓ ix. A front porch extending the entire width of the building or with a width of one-half of the building. Said porch shall include square columns that taper from bottom to top, but are not less than eight inches thick. Said columns shall be set atop stone or masonry bases extended to the ground. They may include optional square or rectangular balusters and handrails.

STAFF COMMENT:

- The applicant should provide the height of the finished first floor above grade, ensuring it is between 2' and 4'.
- The applicant should provide the height of the first story windowsills above the finished first floor, ensuring they are between 2.5' and 3.5' high.
- The design is for a Craftsman home. However, for full compliance with the style, windows on the same floor must be the same height.

⊙ **Outbuildings.** In conventional development, outbuildings are often designed and located as an afterthought. Yet in traditional towns and cities, outbuildings serve to enrich the quality of design through their placement, design and use. In Hapeville, where outbuildings are provided on many residential lots, their design must be to the same high standards found in the community's neighborhoods.

The following standards shall apply to construction of new outbuildings in residential districts.

- i. On lots with one street frontage, set outbuildings back at least 15 feet behind the front facade of the principal building.
- ii. On corner lots, outbuildings should be setback at least 15 feet behind the front facade of the principal building and with a setback greater than or equal to that of the facade along the side lot line.
- iii. Outbuilding may be linked to the principal building with covered walks, trellises or enclosed breezeway.
- iv. Outbuildings shall be of compatible material and architectural style to the principal building.
- v. Outbuildings shall have a minimum height of 14 feet and a maximum height of that of the principal building or 25 feet, whichever is less.
- vi. Outbuildings shall be set a minimum of ten feet from any other outbuilding on adjoining lots.

STAFF COMMENT:

RECOMMENDATIONS

Upon review of the information provided by the Applicant, the following items have been found to be missing or deficient and should be addressed by the Applicant and the Design Review Committee:

1. Within subarea E, the maximum height for the portion of a building between 5' and 10' from the property line is 25'. The east side setback is 9.1'. **While not reflected on the submitted elevations, an updated site plan provides the height as approximately 30' above grade with no reduction approaching the side setbacks, which is not compliant.**
2. **A fence between 6" and 48" in height is encouraged at the back of the required sidewalk.**
3. **The applicant should show mechanical utility features on the plans and indicate any screening.**
4. **A light at the front door should be included and shown on the plans.**
5. The plans indicate the roofing material will consist of cedar shake and "composition" shingles. **The applicant should ensure all roof shingles are slate, cedar, or asphalt.**
6. **The applicant should provide the manufacturer's warranty, ensuring the roof is warrantied for at least 30 years.**
7. **The applicant should specify the distance the roof overhangs the facades of the house, ensuring it is at least 12".**
8. **The applicant should describe the material of the gutters and downspouts and show them on elevations.**
9. **The applicant should clarify if the foundation will extend above grade and, if so, should design it to contrast with the facade materials.**
10. **The proposed porch railings are not constructed with top and bottom horizontal members connected by vertical railings, which is not compliant.** The applicant should refer to the standards in section (f) for porch railing dimensional requirements.
11. Porches must be between 2' and 4' above grade. **The applicant should provide the height of the porch above grade.**

12. Porches must have a clear depth of 8' from building façade to the outside face of columns. **The proposed porch has a depth of 6', which is not compliant.**
13. Porch columns may be spaced no more than 8' apart on center. **The porch columns are approximately 26' apart, which is not compliant.**
14. **Building numbers at least 6" in height on the porch or adjacent to the front door should be included and shown on the plans.**
15. **The applicant should ensure no GBGs will be utilized.**
16. Windows must comply with all requirements of Sec. 81-1-7(g) - *Door and window standards*. **The elevations should be revised to demonstrate compliance and the plans should provide the following information:**
 - a. Windowpane recession from adjacent facades
 - b. The width of window trim
 - c. The width of mullions between grouped windows
 - d. Windowsill materials
17. **The applicant should provide the height of the finished first floor above grade, ensuring it is between 2' and 4'.**
18. **The applicant should provide the height of the first story windowsills above the finished first floor, ensuring they are between 2.5' and 3.5' high.**
19. The design is for a Craftsman home. However, for full compliance with the style, **windows on the same floor must be the same height.**

Once these items are addressed to the satisfaction of staff and the Design Review Committee, the application can be approved.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: 8/21/2019

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: DAVID W. COOK Contact Number: [REDACTED]

Applicants Address: [REDACTED]

E-Mail Address: [REDACTED] Zoning Classification: R-1

Address of Proposed Work: 257 Birch Street Hapeville GA 30354

Parcel ID# (INFORMATION MUST BE PROVIDED): 14-0094-0009-176-7

Property Owner: TSLE LLC Contact Number: [REDACTED]

Project Description (including occupancy type):

Build single family home.

Contractors Name: DAVID W. COOK GEN. CONT. Contact Number: [REDACTED]

Contact Person: DAVID W COOK Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

David W Cook
Applicants Signature

8/21/2019
Date

Project Class (check one):

☒ Residential

☐ Commercial

☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction

☐ Addition to Existing Commercial Building

☐ Addition to Existing Residential Structure

☐ Accessory Structure

☐ Site Plan, Grading & Landscaping

☒ New Single Family Residential Construction

☐ Other

Total Square Footage of proposed New Construction: 1777

Total Square Footage of existing building: N/A

Estimated Cost of Construction: \$180,000.00

List/Describe Building Materials on the exterior of the **existing** structure: _____

N/A

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

Hardi siding - RB+B, Lap and
Brick Accents.

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I DAVID Cook *DC* swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- ___ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOR_CH81ARDEST
- ___ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- ___ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- ___ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- ___ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- ___ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- ___ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

DAVID W COOK [Signature] 8/20/2019
Printed Name Signature Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

After recording, please return to:

PARCEL ID: 14 -0094-0009-176-7

BURGESS TITLE & ESCROW, LLC
2330 PATRICK HENRY PKWY.
SUITE #350
MCDONOUGH, GA 30253
File #18-3593

STATE OF GEORGIA
COUNTY OF HENRY

LIMITED WARRANTY DEED

THIS INDENTURE is made this 21st day of **DECEMBER, 2018** by and between **TERROIR DEVELOPMENT, LLC** (hereinafter called "**Grantor**"); and **TSLE, LLC** (hereinafter called "**Grantee**"). The words "**Grantor**" and "**Grantee**" include the neuter, masculine and feminine genders, and the singular and the plural.

WITNESSETH:

FOR AND IN CONSIDERATION of the sum of Ten Dollars (\$10.00) in hand paid to Grantor by Grantee at and before the execution, sealing and delivery hereof, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Grantor has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto Grantee, and the successors, legal representatives and assigns of Grantee, all that tract or parcel of land lying and being in **FULTON** County, Georgia, being more particularly described as follows:

SEE THE LEGAL DESCRIPTION ATTACHED HERETO AS EXHIBIT "A"

EXHIBIT A

(Legal Description of the Property)

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 94 of the 14th District of Fulton County, Georgia, and being more particularly described as follows:

BEGINNING at a point located on the north side of Birch Street, 250 feet east as measured along the north side of Birch Street from the northeast corner of the intersection of Birch Street and Fifth Street; thence running east as measured along the north side of Birch Street, 50 feet to a point; thence running north 150 feet to a point; thence running west fifty feet to a point; thence running south 150 feet to the point of beginning and being Lot 23, Block F of Moreland Park Subdivision, as further described in Deed Book 10557, Page 19.

Tax Parcel ID: 14-0094-0009-176

FLOOD NOTES

BASED ON THE INFORMATION SHOWN ON THE FLOOD HAZARD BOUNDARY MAPS FURNISHED BY FEMA, IT IS MY OPINION THAT THE PROPERTY SHOWN HEREON IS OUTSIDE THE 100-YEAR FLOOD HAZARD AREA.

PANEL# 13121C0367F DATED 09/18/2013

ZONING R-1
SETBACKS
FRONT 15'
SIDE 5'
REAR 20'

THIS BLOCK RESERVED FOR THE CLERK
OF THE SUPERIOR COURT

PARCEL ID# 14 009400091130

REF. DEED
DB: 49270 PG: 341
LOT 23 BLOCK F OF
MORLAND PARK S/D
PB.19, PG. 68
#257 BIRCH ST.

SURVEY ORDERED BY:
NAME: DAVID COOK
ADDRESS: 100 GLENDALE DR.
PEACHTREE, CITY, GA 30269
PHONE (24HR.): 770-231-7215

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN (N/A) FEET, AND AN ANGULAR ERROR OF (N/A) PER ANGLE POINT, AND WAS ADJUSTED USING (N/A) COMPASS RULE. FIELD DATA WAS OBTAINED RADIALLY

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 399,160,000 FEET. EQUIPMENT USED GTS220

GENERAL NOTES

- TOGETHER WITH ALL EASEMENTS RECORDED OR UNRECORDED.
- LAST DATE OF FIELD SURVEY 07/31/19
- ALL LINEAR DISTANCES SHOWN ON PLAT SHALL BE HORIZONTAL.
- INFORMATION REGARDING THE PRESENCE, SIZE, AND LOCATION OF UNDERGROUND UTILITIES IS SHOWN HEREON. THE INFORMATION IS BASED ON THE LOCATION OF ABOVE GROUND APPURTENANCES, AVAILABLE SITE PLANS, AND PAINT PLACED BY UNDERGROUND SERVICES.
"NO CERTIFICATION IS MADE AS TO THE ACCURACY"
- ALL BEARINGS AND DISTANCES WERE MEASURED AND USED.
- This survey was prepared without benefit of a title report which may reveal additional conveyances, easements or rights-of-way not shown hereon.

This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, NOR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

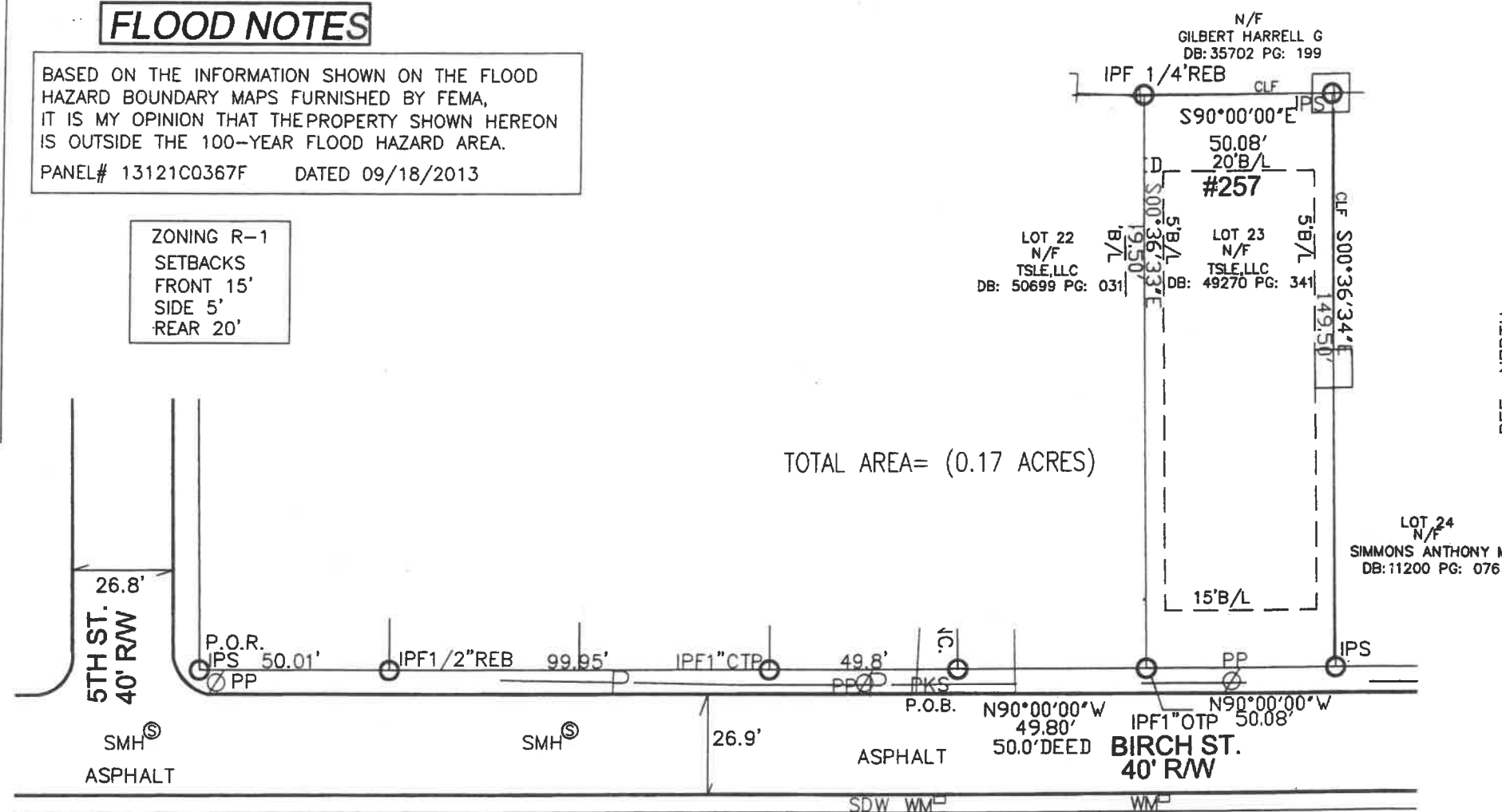


A'NGEL M. MARRERO P.L.S. #2642
Certified Design Professional # 4479

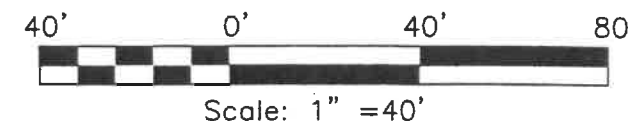
LEGENDS OF SYMBOLS

P.O.B.	POINT OF BEGINNING
P.O.R.	POINT OF REFERENCE
GM	GAS MARKER/GAS METER
OOTF	OPEN TOP PIPE
OIPF	IRON PIN FOUND
OIPS	IRON PIN SET 1/2" Ø REBAR W/ CAP
C/G	CURB AND GUTTER
P/L	PROPERTY LINE
R/W	RIGHT-OF-WAY
L.L.L.	LAND LOT LINE
CMF	CONCRETE MONUMENT FOUND
POL	POINT ON LINE
B.O.C.	BACK OF CURB
FNC	FENCE CORNER
EP	EDGE OF PAVEMENT
PC	PROPERTY CORNER
SP	STEEL POLE
PP	POWER POLE
GW	GUY WIRE
JB	EXISTING JUNCTION BOX
WV	EXISTING WATER VALVE
FH	EXISTING FIRE HYDRANT
T.B.M.	TEMPORARY BENCH MARK
B.F.E.	BASE FLOOD ELEVATION
M.F.E.	MINIMUM FLOOR ELEVATION
HW	HEADWALL
SWCB	SINGLE WALL CATCH BASIN
DWCB	DOUBLE WALL CATCH BASIN
OS	OUTLET STRUCTURE (RISER)
DI	DROP INLET
W	WATER METER
W	WATERLINE
SS	SANITARY SEWER LINE
OVP	OVERHEAD POWERLINE
UFO	UNDERGROUND FIBER OPTICS
G	GASLINE
LS	LANDSCAPING
PKS (F)	PK NAIL SET (FOUND)
EX-MH	EXISTING SANITARY SEWER MANHOLE
SSMH	SANITARY SEWER MANHOLE
S.S.E.	SANITARY EASEMENT
C/O	CLEAN-OUT
FDC	FIRE DEPARTMENT CONNECTOR
C.L.F.	CHAIN LINK FENCE
D.E.	DRAINAGE EASEMENT
R.R.E.	RAIL ROAD EASEMENT
H	HEIGHT
UE	UNDERGROUND ELECTRIC
AC	AIRCONDITION UNITS

REF. NORTH
COMPASS
SINGLE OBSERVATION



** PURSUANT TO RULE 180-6.09 OF THE GEORGIA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS, THE TERM "CERTIFY" OR "CERTIFICATION" MEANS TO DECLARE A PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.



REV.	DESCRIPTION	DATE
	SOUTHSIDE SURVEYING & PLANNING LSF000831	#205 CORPORATE CENTER DR. STOCKBRIDGE, GA 30281 Phone: (770) 320-8009 Fax: (770) 320-8098
	RETRACEMENT SURVEY FOR: TSLE, LLC	
	Land Lot 94 14TH Dist. FULTON County, GA	
	Drawn By: AMM	Scale: 1"=40'
	Dwg No: 2-180983	Date: 07/31/19

FLOOD NOTES

BASED ON THE INFORMATION SHOWN ON THE FLOOD HAZARD BOUNDARY MAPS FURNISHED BY FEMA, IT IS MY OPINION THAT THE PROPERTY SHOWN HEREON IS OUTSIDE THE 100-YEAR FLOOD HAZARD AREA.

PANEL# 13121C0367F DATED 09/18/2013

BUILDER NEEDS TO CONTACT WATER AND SEWER DEPARTMENT FOR SERVICES.

GENERAL NOTES

- TOGETHER WITH ALL EASEMENTS RECORDED OR UNRECORDED.
- LAST DATE OF FIELD SURVEY 07/31/19
- ALL LINEAR DISTANCES SHOWN ON PLAT SHALL BE HORIZONTAL.
- INFORMATION REGARDING THE PRESENCE, SIZE, AND LOCATION OF UNDERGROUND UTILITIES IS SHOWN HEREON. THE INFORMATION IS BASED ON THE LOCATION OF ABOVE GROUND APPURTENANCES, AVAILABLE SITE PLANS, AND PAINT PLACED BY UNDERGROUND SERVICES.
- "NO CERTIFICATION IS MADE AS TO THE ACCURACY"
- ALL BEARINGS AND DISTANCES WERE MEASURED AND USED.
- TOPOGRAPHY IS BASED ON FIELD RUN SURVEY BY SOUTHSIDE SURVEYING.
- CONTOURS INTERVALS 2FT

REF. NORTH
COMPASS
SINGLE OBSERVATION

LEGENDS OF SYMBOLS

P.O.B.	POINT OF BEGINNING
P.O.R.	POINT OF REFERENCE
GM	GAS MARKER/GAS METER
OOTF	OPEN TOP PIPE
OIPF	IRON PIN FOUND
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DI	DROP INLET
W	WATER METER
SS	WATERLINE
SS	SANITARY SEWER LINE
OVP	OVERHEAD POWERLINE
UFO	UNDERGROUND FIBER OPTICS
G	GASLINE
LS	LANDSCAPING
PKS (F)	PK NAIL SET (FOUND)
EX-MH	EXISTING SANITARY SEWER MANHOLE
SSMH	SANITARY SEWER MANHOLE
S.S.E.	SANITARY EASEMENT
C/O	CLEAN-OUT
FDC	FIRE DEPARTMENT CONNECTOR
C.L.F.	CHAIN LINK FENCE
D.E.	DRAINAGE EASEMENT
R.R.E.	RAIL ROAD EASEMENT
H	HEIGHT
UE	UNDERGROUND ELECTRIC
AC	AIRCONDITION UNITS

PROP. SLOPE "DRAINAGE"
O OAK TREE
P PINE TREE

---- EXIST. CONTOUR
-1000- PROP. CONTOUR

INITIAL PERIMETER ES&PC PLAN
INTERMEDIATE ES&PC PLAN
FINAL ES&PC PLAN



Scale: 1" = 30'

AREA 0.17 ACRES

- INDEX
- SITE PLAN, GRADING, EROSION CONTROLS PLANS
 - 2-4. EROSION CONTROL NOTES
 - 5.-6. EROSION CONTROL DETAILS
 7. LANDSCAPING PLANS
 - CONSTRUCTION DETAILS

SURVEY ORDERED BY:
NAME: DAVID COOK
ADDRESS: 100 GLENDALE DR.
PEACHTREE CITY, GA 30269
PHONE (24HR.): 770-231-7215

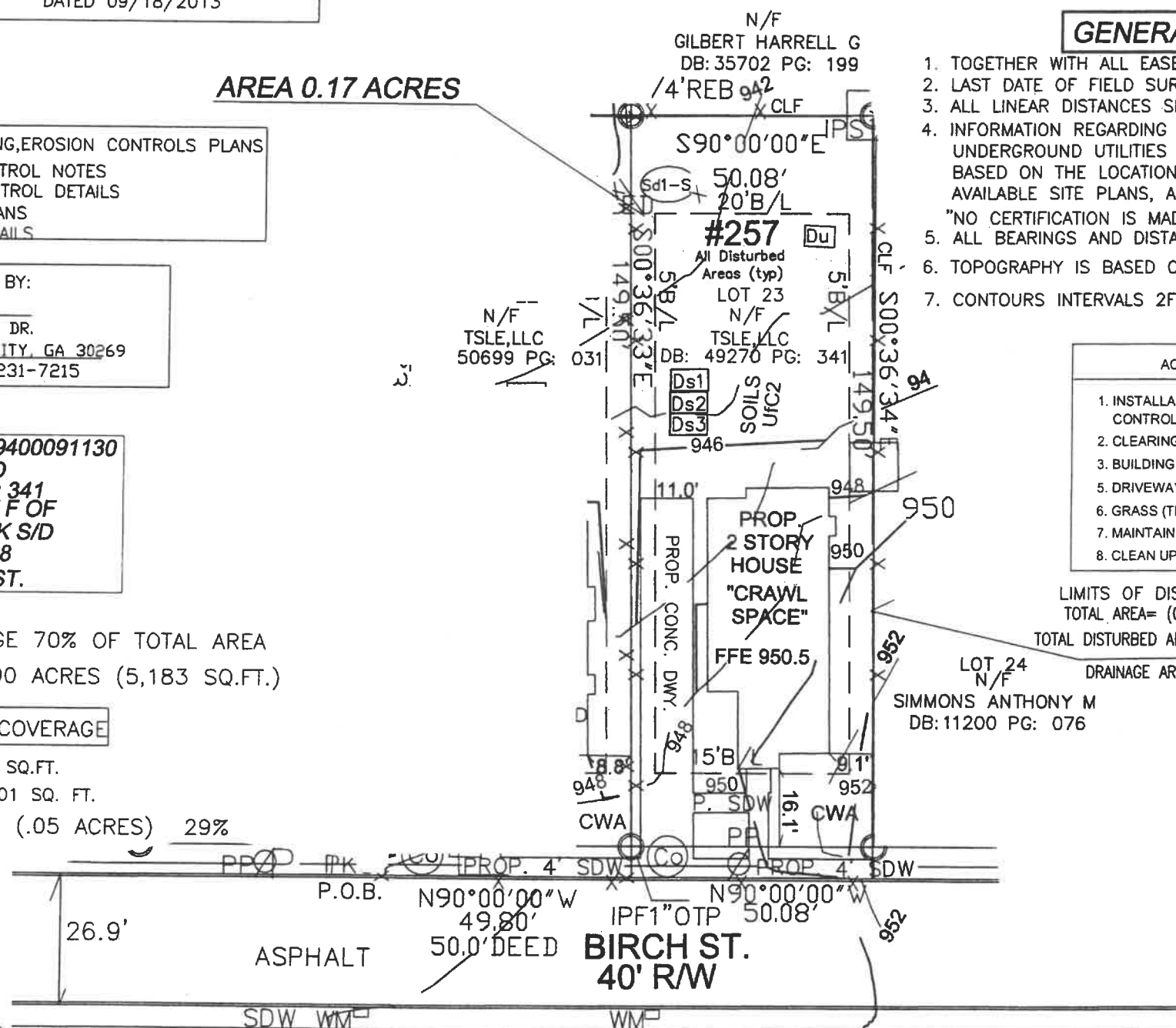
PARCEL ID# 14 009400091130
REF. DEED
DB: 49270 PG: 341
LOT 23 BLOCK F OF
MORLAND PARK S/D
PB. 19, PG. 68
#257 BIRCH ST.

MAXIMUM LOT COVERAGE 70% OF TOTAL AREA
0.17 X 70% = 0.1190 ACRES (5,183 SQ.FT.)

PROPOSED LOT COVERAGE

- HOUSE 1,296 SQ.FT.
- CONC. DWY 901 SQ. FT.

TOTAL 2,197 SQ. FT. (.05 ACRES) 29%



ZONING R-1
SETBACKS
FRONT 15'
SIDE 5'
REAR 20'

ANGEL M. MARRERO P.L.S. #2642
Certified Design Professional # 4479

REV.	DESCRIPTION	DATE
	SOUTHSIDE SURVEYING & PLANNING LSF000831	#205 CORPORATE CENTER DR. STOCKBRIDGE, GA 30281 Phone: (770) 320-8009 Fax: (770) 320-8098
	SITE PLAN, GRADING, EROSION CONTROLS PLANS FOR: TSLE, LLC	1 8
	Land Lot 94 14TH Dist. FULTON County, GA	
	Drawn By: AMM	Scale: 1" = 30'
	Dwg No: 2-180983	Date: 07/31/19

SITE



VICINITY MAP "NTS"

PARCEL ID# 14 009400091130
REF. DEED
D.B. 49270, PG. 341
LOT 22 BLOCK F OF
MORLAND PARK S/D
PB. 19, PG. 68
#257 BIRCH ST.

TERTIARY Permittee	Operator	Qualified Personnel
TSLE, LLC DEVELOPER: Land Lot 94	CONTRACTOR: 14th Dist.	Land Surveyors (NPDES): Southside Surveying and Planning LLC. #18 Atlanta Street McDonough, GEORGIA 30253 (770)-320-8009
NAME: DAVID COOK ADDRESS: 100 GLENDALE DR. PEACHTREE, CITY, GA 30269 PHONE (24HR.): 770-231-7215		

Description of Existing Land Use: Site Purpose and Construction Activity:

One Residential Home

Site Description and Location:

LOCATION: LAND LOT 94, 14th DISTRICT, FULTON COUNTY, GEORGIA
SITE AREA: 0.17 ACRES
TOTAL AREA OF DISTURBANCE: 0.17 ACRES
SOIL TYPES: UIC2 (Urban Land)

Wetlands:
THERE ARE NO WETLANDS LOCATED ON OR WITHIN 200' OF THIS SITE.

Receiving Waters
UNNAMED TRIBUTARY TO SOUTH RIVER

State Waters
THERE ARE NO STATE WATERS LOCATED ON OR WITHIN 200' OF THIS SITE.
NO BUFFERS

Drainage Description
Please refer to the Site Plan, prepared by Southside Surveying for more specific information concerning proposed drainage patterns and slopes.

Slopes After Grading
Maximum Slope is 3:1

Erosion Control Measures
Structural and nonstructural controls will be used onsite to prevent erosion during construction including temporary and permanent grassing, silt fencing.

1. Site Description

The proposed site will be used for 1 Residential home

Approximately 0.17 acres of disturbed land will be utilized for this development. There will be numerous structural and nonstructural controls to be implemented throughout the site. Temporary vegetation as well as permanent vegetation will be strongly utilized and are essential for the development of this lot.

2. Controls

The following controls will be implemented at the construction site:

1. Initial perimeter controls will include silt fencing, and a crushed stone pad to be used at the construction exit.
2. Intermediate grading and drainage BMPS will include temporary grassing and Silt Fence.
3. Final BMPs will include permanent grassing and landscaping.

Stabilization measures will be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Where the initiation of stabilization measures by the 14th day after construction activity temporarily or permanently ceases is precluded by snow cover or other adverse weather conditions, stabilization measures shall be initiated as soon as practicable. Where construction activity will resume on a portion of the site within 21 days from when activities ceased, (i.e., the total time period that construction activity is temporarily ceased is less than 21 days) then stabilization measures do not have to be initiated on that portion of the site by the 14th day after construction activity temporarily ceased.

WASTE DISPOSAL

ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER, THE DUMPSTER WILL MEET ALL SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF ONCE PER WEEK OR MORE OFTEN IF NECESSARY - AND TRASH WILL BE HAULED AS REQUIRED BY LOCAL REGULATIONS. NO CONSTRUCTION WASTE WILL BE BURIED ONSITE. ALL PERSONNEL WILL BE INSTRUCTED ON PROPER PROCEDURES FOR WASTE DISPOSAL. A NOTICE STATING THESE PRACTICES WILL BE POSTED AT THE JOB SITE AND THE CONTRACTOR WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

SPILL PREVENTION & CONTROL

PETROLEUM BASED PRODUCTS, INCLUDING FUELS, LUBRICANTS, TRANSFORMER OIL, TARS, ETC., KEPT ON SITE SHALL BE STORED IN TIGHTLY SEALED CONTAINERS THAT ARE CLEARLY LABELED. ALL ON-SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE. ASPHALT SUBSTANCES SHALL BE APPLIED AS LABELED. LOCAL, STATE, AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. TYPICAL EQUIPMENT AND MATERIALS FOR CLEANUP INCLUDE GLOVES, GOGGLES, RAGS, RESPIRATORS, CAT LITTER, SAWDUST, AND PROPERLY LABELED PLASTIC AND METAL WASTE CONTAINERS. SPILL PREVENTION PRACTICES AND PROCEDURES WILL BE REVIEWED AFTER A SPILL AND ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY FOLLOWING DISCOVERY. ALL SPILLS WILL BE REPORTED AS REQUIRED BY LOCAL, STATE, AND FEDERAL REGULATIONS. -- FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-426-2675. *FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-426-2675. *FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA EPD WILL BE CONTACTED WITHIN 24 HOURS. *FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1,320 GALLONS OF PETROLEUM IS STORED ONSITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 660 GALLONS. THE CONTRACTOR WILL NEED A SPILL PREVENTION CONTAINMENT AND COUNTERMEASURES PLAN PREPARED BY THAT LICENSED PROFESSIONAL.

Certification

"I certify that the permittee's Erosion, Sedimentation and Pollution Control Plan provides for an appropriate and comprehensive system of best management practices required by the Georgia Water Quality Control Act and the document "Manual for Erosion and Sediment Control in Georgia" (Manual) published by the State Soil and Water Conservation Commission as of January 1 of the year in which the land-disturbing activity was permitted, provides for the sampling of the receiving water(s) or the sampling of the storm water outfalls and that the designed system of best management practices and sampling methods is expected to meet the requirements contained in the General NPDES Permit No. GAR 100003."

Georgia Licensed Professional #4479

Date

Certification

"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY DIRECT SUPERVISION."

ANGEL M MARRERO, PLS

DATE

Certified Design Professional # 4479

1.	DESCRIPTION	DATE
REV.		
	SOUTHSIDE SURVEYING & PLANNING LSF000831	#205 CORPORATE CENTER DR. STOCKBRIDGE, GA 30281 Phone: (770) 320-8009 Fax: (770) 320-8098
	EROSION CONTROLS NOTES FOR:	2 8
	TSLE, LLC	
	Land Lot 94	14TH Dist. FULTON County, GA
	Drawn By: AMM SR.	Scale: N.T.S.
	Dwg No: 2-180983SP	Date: 07/31/19

HAZARDOUS WASTES

OTHER CONTROLS

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. THE JOB SITE SUPERINTENDENT, WHO WILL ALSO BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED, WILL INSTRUCT SITE PERSONNEL IN THESE PRACTICES. MATERIAL SAFETY DATA SHEETS (MSDS's) FOR EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. A MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE SUCH PRODUCT IS STORED AND/OR USED AND ANOTHER COPY OF EACH MSDS WILL BE MAINTAINED IN THE ESPCP FILE AT THE JOB SITE CONSTRUCTION TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE USE OF THE MSDS SHEETS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING, PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES.

"THE CONTRACTOR WILL IMPLEMENT THE SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN FOUND WITHIN THE ESPCP AND WILL TRAIN ALL PERSONNEL IN THE PROPER CLEANUP AND HANDLING OF SPILLED MATERIALS. NO SPILLED HAZARDOUS MATERIALS OR HAZARDOUS WASTES WILL BE ALLOWED TO COME IN CONTACT WITH STORMWATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORMWATER DISCHARGE WILL BE CONTAINED ON SITE UNTIL APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORMWATER. IT SHALL BE THE RESPONSIBILITY OF THE JOB SITE SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN THE USE OF THE SPCC PLAN.

PRODUCT SPECIFIC PRACTICES

PETROLEUM BASED PRODUCTS - CONTAINERS FOR PRODUCTS SUCH AS FUELS, LUBRICANTS, AND TARS WILL BE INSPECTED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ON-SITE VEHICLE AND MACHINERY DAILY INSPECTIONS AND REGULAR PREVENTATIVE MAINTENANCE OF SUCH EQUIPMENT. EQUIPMENT MAINTENANCE AREAS WILL BE LOCATED AWAY FROM STATE WATER, NATURAL DRAINS AND STORMWATER DRAINAGE INLETS. IN ADDITION, TEMPORARY FUELING TANKS SHALL HAVE A SECONDARY CONTAINMENT LINER TO PREVENT/MINIMIZE SITE CONTAMINATION. DISCHARGE OF OILS, FUELS, AND LUBRICANTS IS PROHIBITED. PROPERTY DISPOSAL METHODS WILL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND DISPOSAL AS REQUIRED BY LOCAL AND STATE REGULATIONS.

"PAINTS/FINISHES/SOLVENTS - ALL PRODUCTS WILL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS WHEN NOT IN USE. EXCESS PRODUCT WILL NOT BE DISCHARGED TO THE STORMWATER COLLECTION SYSTEM. EXCESS PRODUCT, MATERIALS USED WITH THESE PRODUCTS AND PRODUCT CONTAINERS WILL BE DISPOSED OF ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

"CONCRETE TRUCK WASHING" - NO CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON SITE.

"FERTILIZER/HERBICIDES" - THESE PRODUCTS WILL BE APPLIED AT RATES THAT DO NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS OR ABOVE THE GUIDELINES SET FORTH IN THE CROP ESTABLISHMENT OR IN THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. ANY STORAGE OF THESE MATERIALS WILL BE UNDER ROOF IN SEALED CONTAINERS.

"BUILDING MATERIALS"-NO BUILDING OR CONSTRUCTION MATERIALS WILL BE BURIED OR DISPOSED OF ON SITE. ALL SUCH MATERIALS WILL BE DISPOSED OF IN PROPER WASTE DISPOSAL PROCEDURES.

EROSION CONTROL NOTES:

1. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

2. ALL DISTURBED AREAS TO BE GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT.

3. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, LAND DISTURBING ACTIVITIES.

4. CUT AND FILL SLOPES SHALL NOT EXCEED 3H:1V ON ALL SLOPES

5. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

6. AMENDMENTS/ REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.

7. INSPECTIONS BY CERTIFIED PERSONNEL PROVIDED BY THE TERTIARY PERMITTEE AND THE ASSOCIATED RECORDS SHALL BE KEPT ON SITE IN COMPLIANCE WITH GAR. 100003.

8. WASTE MATERIALS SHALL NOT BE DISCHARGED INTO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

9. IT IS THE RESPONSIBILITY OF THE TERTIARY PERMITTEE TO PREPARE AND FILE THE NOTICE OF INTENT.

10. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES & PERMITS.

11. THIS ES&PC PLAN IS IN COMPLIANCE WITH WASTE DISPOSAL & SANITARY SEWER REGULATIONS DURING AND AFTER CONSTRUCTION (SEE SHEET NPDES FOR WASTE DISPOSAL NOTES).

12. 67 CY/ AC. SEDIMENT STORAGE SUBSTANTIALLY HANDLED BY PERIMETER SD1-S.
0.17 X 67 = 11.4 C.Y. REQUIRED 410 LF X 0.083 = 34.0 C/Y PROVIDED

13. SEDIMENT STORAGE VOLUME MUST BE IN PLACE PRIOR TO, AND DURING ALL LAND DISTURBANCE ACTIVITIES UNTIL FINAL STABILIZATION OF THE SITE HAS BEEN ACHIEVED.

14. CONTRACTOR MUST HAUL OFF ALL SOLID WASTE TO AN APPROVED LANDFILL. SOLID WASTE BURNING ON SITE IS PROHIBITED.

15. ADDITIONAL EROSION & SEDIMENT CONTROL MEASURES AND PRACTICES WILL BE INSTALLED IF DEEMED NECESSARY BY THE ON-SITE INSPECTOR.

16. EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED DAILY.

17. WEEKLY EROSION AND SEDIMENT CONTROL REPORTS SHALL BE SUBMITTED TO THE DEV. DEPT. STARTING WITH THE ISSUANCE OF THE DEV. PERMIT AND ENDING WHEN THE PROJECT IS RELEASED BY THE INSPECTOR.

18. WASHOUT OF THE CONCRETE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED.

SEE DETAIL SHEET# 5

19. No additional storm pipe added for this project.



ANGEL M. MARRERO P.L.S. #2642
Certified Design Professional # 4479

1.	DESCRIPTION	DATE
REV.		
SOUTHSIDE SURVEYING & PLANNING LSF000831		#18 ATLANTA ST. MCDONOUGH, GA 30253 Phone: (770) 320-8009 Fax: (770) 320-8098
EROSION CONTROLS NOTES FOR: TSLE, LLC		
Land Lot 94		14TH Dist. FULTON County, GA
Drawn By: AMM SR.		Scale: N.T.S.
Dwg No: 2-180983SP		Date: 07/31/19

c. Tertiary Permittee.

(1). Each day when any type of construction activity has taken place at a tertiary permittee's site, certified personnel provided by the tertiary permittee shall inspect: (a) all areas used by the tertiary permittee where petroleum products are stored, used, or handled for spills and leaks from vehicles and equipment; and (b) all locations at the tertiary permittee site where that permittee's vehicles enter or exit the site for evidence of off-site sediment tracking. These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.

(2). Measure rainfall once every 24 hours except any non-working Saturday, non-working Sunday and non-working Federal holiday until a Notice of Termination is submitted. Measurement of rainfall may be suspended if all areas of the site have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region.

(3). Certified personnel (provided by the tertiary permittee) shall inspect at least the following once every seven calendar days and within 24 hours of the end of a storm that is 0.5 inches rainfall or greater (unless such storm ends after 5:00 PM on any Friday or on any non-working Saturday, non-working Sunday or any non-working Federal holiday in which case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first): (a) disturbed areas of the tertiary permittee's construction site ; (b) areas used by the tertiary permittee for storage of materials that are exposed to precipitation ; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the tertiary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a

This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.

(4). Certified personnel (provided by the tertiary permittee) shall inspect at least once per month during the term of this permit (i.e., until a Notice of Termination is submitted to EPD) the areas of their sites that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.

(5). Based on the results of each inspection, the site description and the pollution prevention and control measures identified in the Erosion, Sedimentation and Pollution Control Plan, the Plan shall be revised as appropriate not later than seven (7) calendar days following each inspection. Implementation of such changes shall be made as soon as practical but in no case later than seven (7) calendar days following the inspection.

(6). A report of each inspection that includes the name(s) of certified personnel making each inspection, the date(s) of each inspection, construction phase (i.e., initial, intermediate or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IV.D.4.c.(5) of the permit shall be made and retained at the site or be readily available at a designated alternate location until the entire site has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall be readily available by the end of the second business day and/or working day and shall identify all incidents of best management practices that have not been properly installed and/or maintained as described in the Plan. Where the report does not identify any incidents, the inspection report shall contain a certification that the best management practices are in compliance with the Erosion, Sedimentation and Pollution Control Plan. The report shall be signed in accordance with Part V.G.2. of this permit. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.

F. Retention of Records.

1. The primary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:

- a. A copy of all Notices of Intent submitted to EPD;
- b. A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit;
- c. The design professional's report of the results of the inspection conducted in accordance with Part IV.A.5. of this permit;
- d. A copy of all sampling information, results, and reports required by this permit;
- e. A copy of all inspection reports generated in accordance with Part IV.D.4.a. of this permit;
- f. A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2. of this permit; and
- g. Daily rainfall information collected in accordance with Part IV.D.4.a.(2). of this permit.

2. Each secondary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:

- a. A copy of all Notices of Intent submitted to EPD;
- b. A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit or the applicable portion of the Erosion, Sedimentation and Pollution Control Plan for their activities at the construction site required by this permit;
- c. A copy of all inspection reports generated in accordance with Part IV.D.4.b. of this permit; and
- d. A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2. of this permit.

3. Each tertiary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:

- c. The design professional's report of the results of the inspection conducted in accordance with Part IV.A.5. of this permit;
- d. A copy of all sampling information, results, and reports required by this permit;
- e. A copy of all inspection reports generated in accordance with Part IV.D.4.c. of this permit;
- f. A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2. of this permit; and
- g. Daily rainfall information collected in accordance with Part IV.D.4.c.(2). of this permit.

4. Copies of all Notices of Intent, Notices of Termination, inspection reports, sampling reports (including all calibration and maintenance records and all original strip chart recordings for continuous monitoring instrumentation) or other reports requested by the EPD, Erosion, Sedimentation and Pollution Control Plans, records of all data used to complete the Notice of Intent to be covered by this permit and all other records required by this permit shall be retained by the permittee who either produced or used it for a period of at least three years from the date that the NOT is submitted in accordance with Part VI of this permit. These records must be maintained at the permittee's primary place of business once the construction activity has ceased at the permitted site. This period may be extended by request of the EPD at any time upon written notification to the permittee.



A'NGEL M. MARRERO P.L.S. #2642
Certified Design Professional # 4479

1.		
REV.	DESCRIPTION	DATE
SOUTHSIDE SURVEYING & PLANNING LSF000831		#205 CORPORATE CENTER DR. STOCKBRIDGE, GA 30281 Phone: (770) 320-8009 Fax: (770) 320-8098
EROSION CONTROLS NOTES FOR: TSLE, LLC		
Land Lot 94		14TH Dist. FULTON County, GA
Drawn By: AMM SR.		Scale: N.T.S.
Dwg No: 2-180983SP		Date: 07/31/19

Ds1 DISTURBED AREA STABILIZATION
(WITH MULCHING ONLY)

MATERIAL	RATE	DEPTH
STRAW OR HAY	2.5TON/ACRES	6"-10"
WOOD WASTE CHIPS, SAWDUST, BARK	6 TO 9TON/AC	2"-3"
CUTBACK ASPHALT	1200GAL/AC	---
POLYETHYLENE FILM	SEE MANUFACTURER'S RECOMMENDATION	---
GEOTEXTILE JUTE MATTING	SEE MANUFACTURER'S RECOMMENDATION	---

Ds2 - DISTURBED AREA STABILIZATION
(WITH TEMPORARY SEEDINGS)

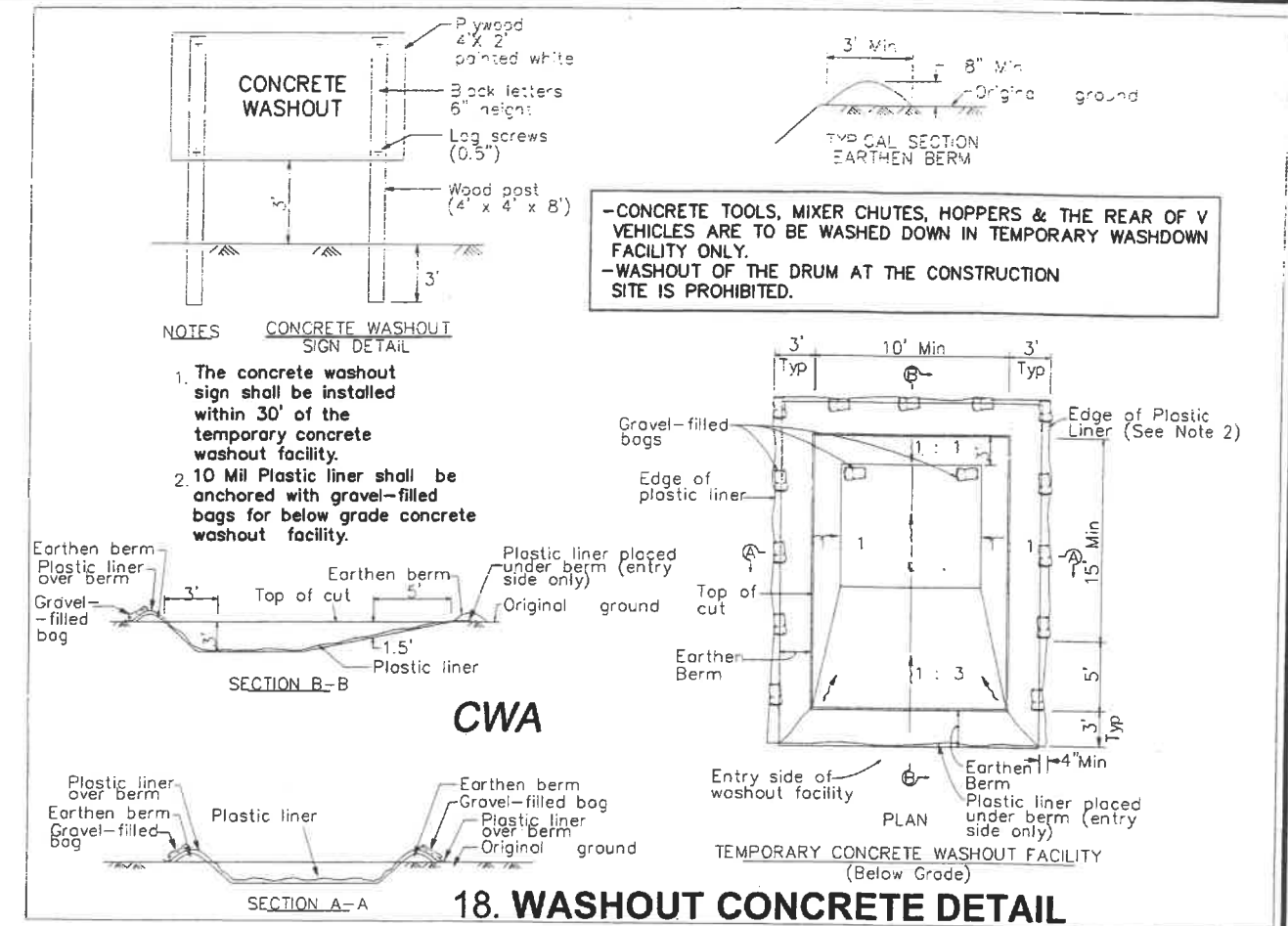
SPECIES	SEEDING RATE (LBS. PURE LIVE SEED)	PLANTING DATES
RYEGRASS (ANNUAL)	40 LBS/ACRE	AUGUST - APRIL
MILLET, PEARL	50 LBS/ACRE	APRIL - AUGUST
RYE	168 LBS/ACRE	AUGUST - DECEMBER

- NOTES:
- OTHER SPECIES MAY BE USED AS RECOMMENDED BY THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA"
 - LIME AND FERTILIZATION ARE REQUIRED
 - MULCHING SHALL BE REQUIRED AS DIRECTED BY THE ENGINEER USING DRY STRAW OR HAY AT A RATE OF 2.5 TONS/ACRE.

Ds3 - DISTURBED AREA STABILIZATION
(WITH PERMANENT VEGETATION)

SPECIES	SEEDING RATE (LBS. PURE LIVE SEED)	PLANTING DATES
BERMUDA, COMMON (HULLED)	6-10 LBS/ACRE	MARCH - JUNE
BERMUDA, COMMON (UN-HULLED)	6-10 LBS/ACRE	OCTOBER - FEBRUARY
FESCUE, TALL	30 -50 LBS/ACRE	AUGUST - OCTOBER MARCH - APRIL
LESPEDEZA	60 - 75 LBS/ACRE	JANUARY - DECEMBER

- NOTES:
- OTHER SPECIES MAY BE USED AS RECOMMENDED BY THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA"
 - MULCHING, LIME AND FERTILIZATION ARE REQUIRED. CONVENTIONAL PLANTING SHALL UTILIZE RECOMMENDED RATES DESCRIBED IN THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA"
 - HYDRAULIC SEEDING MIXTURES SHALL CONSIST OF APPROPRIATE AMOUNTS OF SEED, MULCH AND FERTILIZER AS DIRECTED BY THE ENGINEER.
 - SPECIES MAY BE MIXED TO OBTAIN OPTIMUM RESULTS.
 - APPLY AGRICULTURAL LIME AS PRESCRIBED BY SOIL TESTS OR AT A RATE OF 1 TO 2 TONS PER ACRE.



SD1- MAINTENANCE

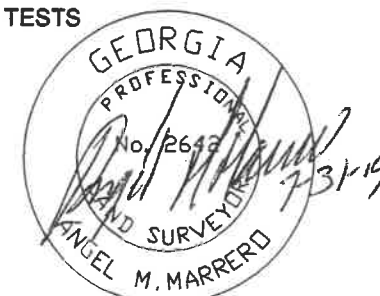
Sediment shall be removed once it has accumulated to one-half the original height of the barrier. Filter fabric shall be replaced whenever it has deteriorated to such an extent that the effectiveness of the fabric is reduced (approximately six months). Temporary sediment barriers shall remain in place until disturbed areas have been permanently stabilized. All sediment accumulated at the barrier shall be removed and properly disposed of before the barrier is removed.

EROSION & SEDIMENT CONTROL

CODE	PRACTICE	DETAIL	MAP SCALE	DESCRIPTION
Co	CONSTRUCTION EXIT			A CRUSHED STONE PAD LOCATED AT THE CONSTRUCTION SITE EXIT TO PROVIDE A PLACE FOR REMOVING MUD FROM TIRES TO PROTECT STREETS.
Ds1	DISTURBED AREA STABILIZATION WITH MULCHING ONLY			ESTABLISHING TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER.
Ds2	DISTURBED AREA STABILIZATION WITH TEMPORARY SEED			ESTABLISHING A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS
Ds3	DISTURBED AREA STABILIZATION WITH PERMANENT VEG.			ESTABLISHING A PERMANENT VEGETATIVE COVER
Sd1	SEDIMENT BARRIER TYPE-C			A BARRIER TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. IT MAY BE SANDBAGS, BALES OF STRAW OR HAY, BRUSH, LOGS AND POLES, GRAVEL OR A SEDIMENT FENCE. THE BARRIERS ARE USUALLY TEMPORARY AND INEXPENSIVE.

St	STORMDRAIN OUTLET PROTECTION			A paved or short section of riprap channel at the outlet of a storm drain system preventing erosion from the concentrated runoff.
----	------------------------------	--	--	---

Du	DUST CONTROL ON DISTURBED AREAS			Controlling surface and air movement of dust on construction site, roadways and similar sites.
----	---------------------------------	--	--	--

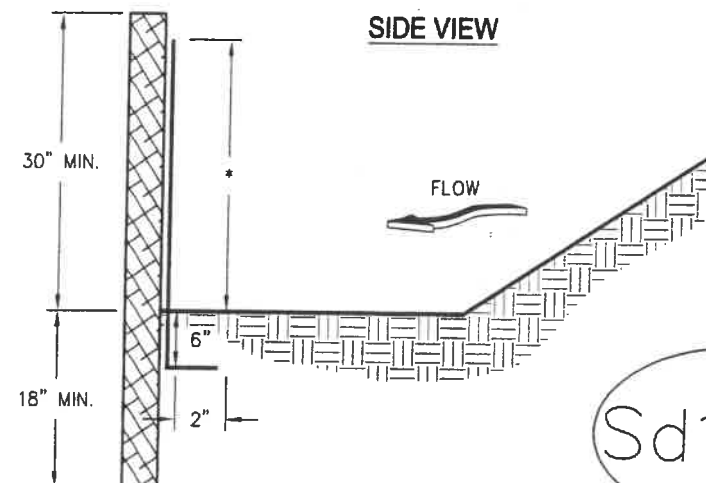


A'NGEL M. MARRERO P.L.S. #2642
Certified Design Professional # 4479

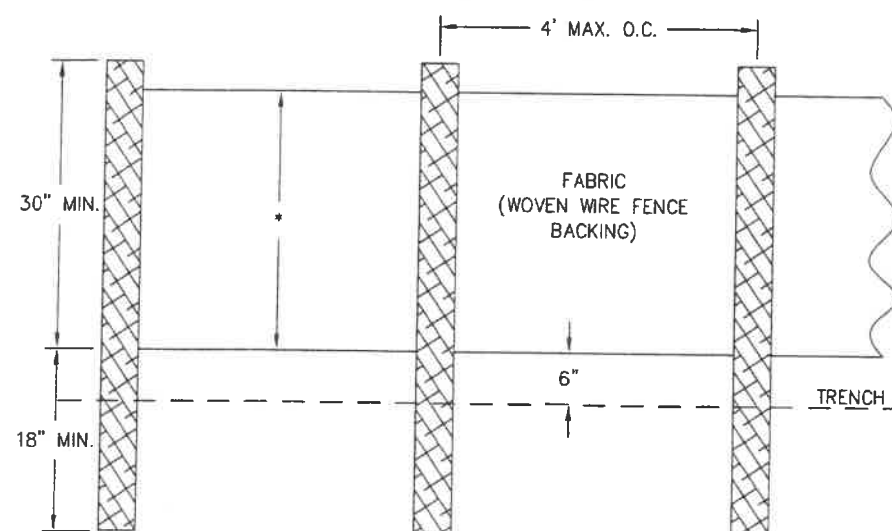
1.	REV.	DESCRIPTION	DATE
		SOUTHSIDE SURVEYING & PLANNING LSF000831	#205 CORPORATE CENTER DR. STOCKBRIDGE, GA 30281 Phone: (770) 320-8009 Fax: (770) 320-8098
		EROSION CONTROLS DETAILS FOR: TSLE, LLC	
		Land Lot 94	14TH Dist. FULTON County, GA
		Drawn By: AMM SR.	Scale: N.T.S.
		Dwg No: 2-180983SP	Date: 07/31/19

SILT FENCE - TYPE SENSITIVE

SIDE VIEW



FRONT VIEW

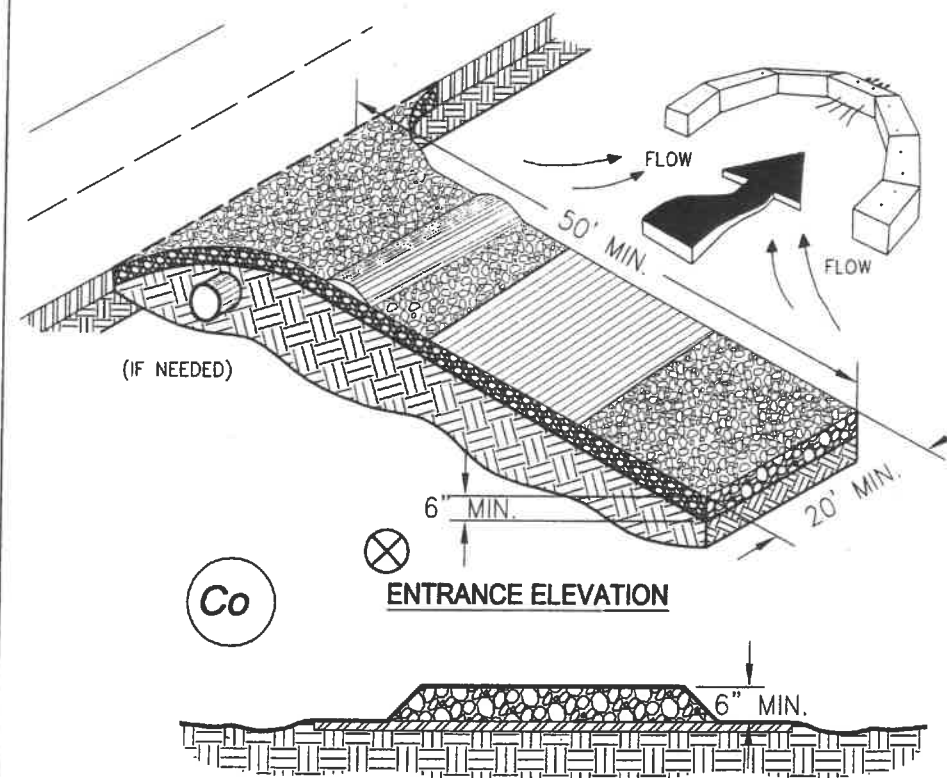


- NOTES:
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
 2. HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

Sd1-Sx

CRUSHED STONE CONSTRUCTION EXIT

EXIT DIAGRAM



- NOTES:
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
 4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
 5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
 6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
 8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.



A'NGEL M. MARRERO P.L.S. #2642
Certified Design Professional # 4479

REV.	DESCRIPTION	DATE
1.		
SOUTHSIDE SURVEYING & PLANNING LSF000831		#205 CORPORATE CENTER DR. STOCKBRIDGE, GA 30281 Phone: (770) 320-8009 Fax: (770) 320-8098
EROSION CONTROLS DETAILS FOR:		
Land Lot 94 14TH Dist. FULTON County, GA		6/8
Drawn By: AMM SR.		Scale: N.T.S.
Dwg No: 2-180983SP		Date: 07/31/19

FLOOD NOTES

BASED ON THE INFORMATION SHOWN ON THE FLOOD HAZARD BOUNDARY MAPS FURNISHED BY FEMA, IT IS MY OPINION THAT THE PROPERTY SHOWN HEREON IS OUTSIDE THE 100-YEAR FLOOD HAZARD AREA.
 PANEL# 13121C0366F DATED 09/18/2013

ZONING RSF
 SETBACKS
 FRONT 15'
 SIDE 5'
 REAR 20'

LEGENDS OF SYMBOLS

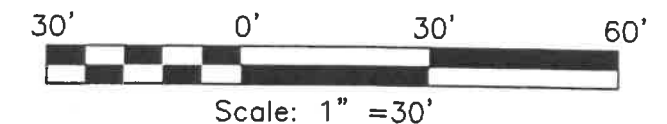
P.O.B. POINT OF BEGINNING
 P.O.R. POINT OF REFERENCE
 GM GAS MARKER/GAS METER
 OOTP OPEN TOP PIPE
 OIPF IRON PIN FOUND
 OIPS IRON PIN SET 1/2"Ø REBAR W/ CAP
 C/G CURB AND GUTTER
 P/L PROPERTY LINE
 R/W RIGHT-OF-WAY
 L.L.L. LAND LOT LINE
 CMF CONCRETE MONUMENT FOUND
 POL POINT ON LINE
 B.O.C. BACK OF CURB
 FNC FENCE CORNER
 EP EDGE OF PAVEMENT
 PC PROPERTY CORNER
 SP STEEL POLE
 PP POWER POLE
 GW GUY WIRE
 JB EXISTING JUNCTION BOX
 WV EXISTING WATER VALVE
 FH EXISTING FIRE HYDRANT
 T.B.M. TEMPORARY BENCH MARK
 B.F.E. BASE FLOOD ELEVATION
 M.F.E. MINIMUM FLOOR ELEVATION
 HW HEADWALL
 SWCB SINGLE WALL CATCH BASIN
 DWCB DOUBLE WALL CATCH BASIN
 OS OUTLET STRUCTURE (RISER)
 DI DROP INLET
 WM WATER METER
 WL WATERLINE
 SS SANITARY SEWER LINE
 OVP OVERHEAD POWERLINE
 UFO UNDERGROUND FIBER OPTICS
 G GASLINE
 LS LANDSCAPING
 PKS (F) PK NAIL SET (FOUND)
 EX-MH EXISTING SANITARY SEWER MANHOLE
 SSMH SANITARY SEWER MANHOLE
 S.S.E. SANITARY EASEMENT
 C/O CLEAN-OUT
 FDC FIRE DEPARTMENT CONNECTOR
 C.L.F. CHAIN LINK FENCE
 D.E. DRAINAGE EASEMENT
 R.R.E. RAIL ROAD EASEMENT
 H HEIGHT
 UE UNDERGROUND ELECTRIC
 AC AIRCONDITION UNITS

HW HARDWOOD

REF. NORTH
 COMPASS
 SINGLE OBSERVATION



ANGEL M. MARRERO P.L.S. #2642
 Certified Design Professional # 4479



PARCEL ID# 14 009400091130
 REF. DEED
 DB: 49270 PG: 341
 LOT 23 BLOCK F OF
 MORLAND PARK S/D
 PB.19, PG. 68
 #257 BIRCH ST.

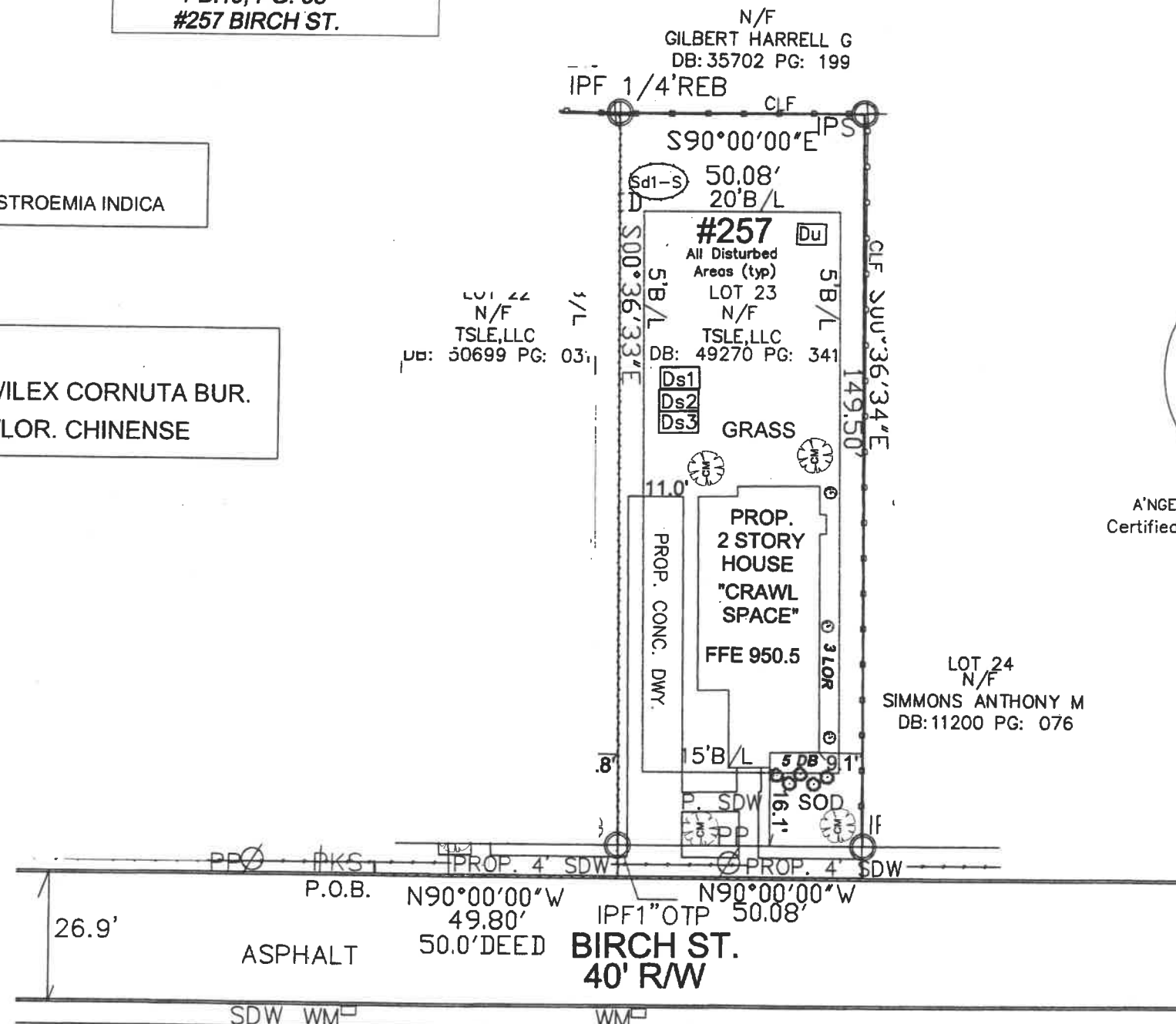
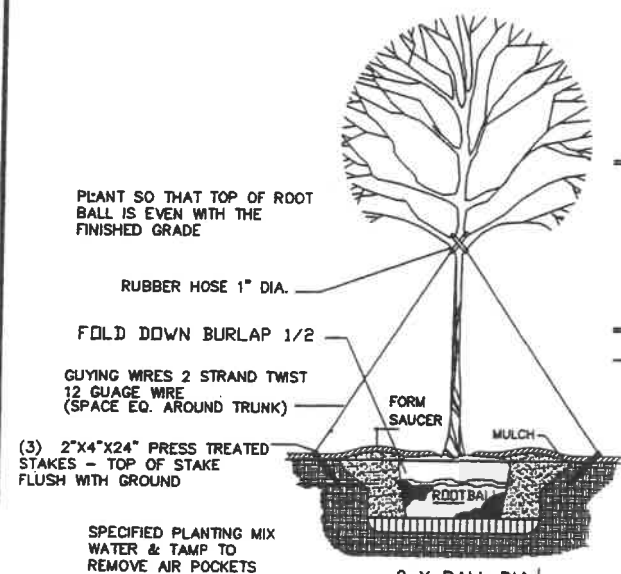
PLANT NAME
 UNDERSTORY TREES

SYM.
 CM NATCHEZ CRAPE MYRTLE/LAGERSTROEMIA INDICA

SHRUBS

SYM.
 DB DWARF BURFORDI HOLLY/ILEX CORNUTA BUR.
 LOR DWF. RED LOROPETALUM/LOR. CHINENSE

SOD BERMUDAGRASS
 GRASS - COMMON BERMUDA GRASS

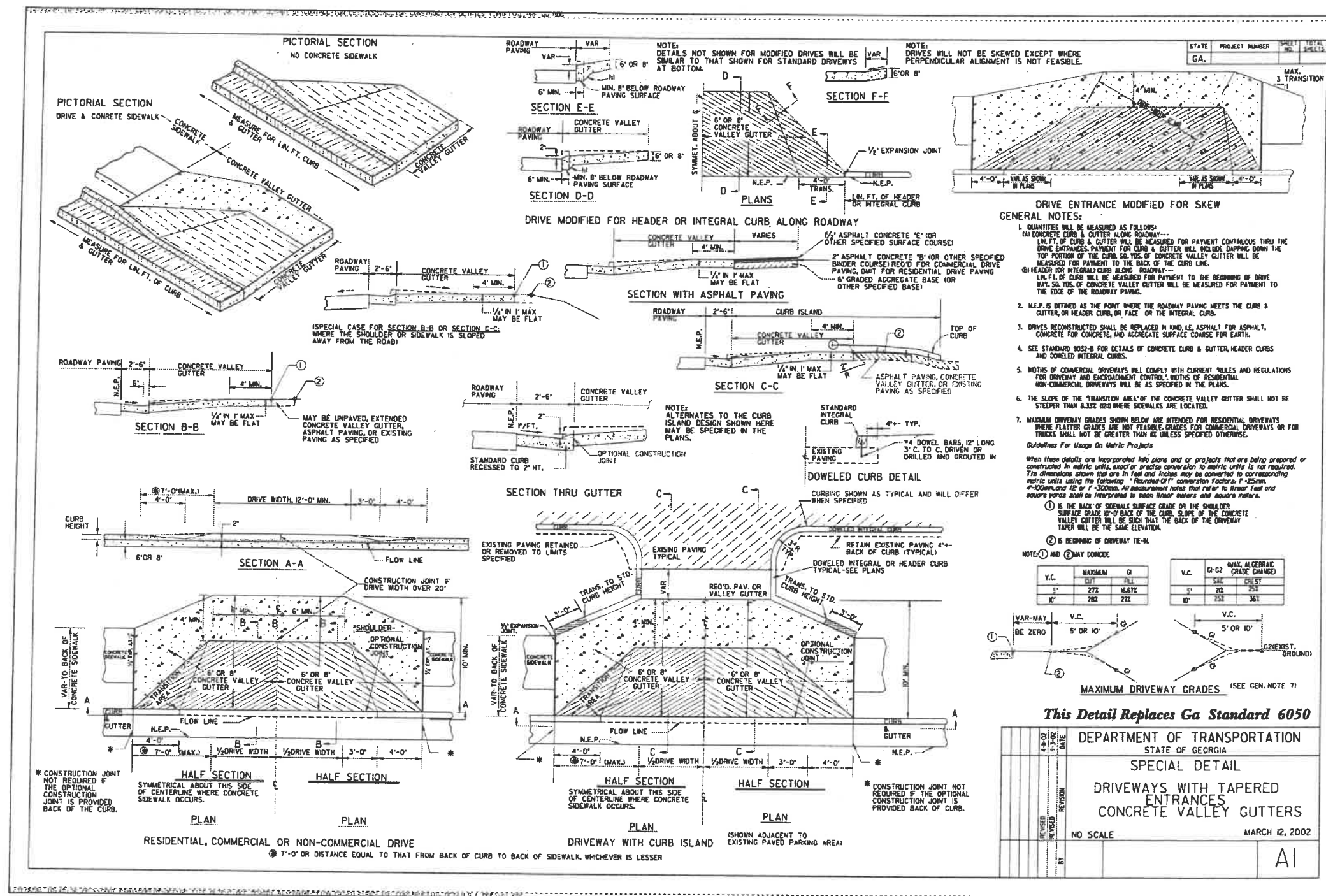


1.	REV.	DESCRIPTION	DATE
		SOUTHSIDE SURVEYING & PLANNING LSF000831	#205 CORPORATE CENTER DR. STOCKBRIDGE, GA 30281 Phone: (770) 320-8009 Fax: (770) 320-8098
		LANDSCAPING PLANS FOR:	
		Land Lot 94	14TH Dist. FULTON County, GA
		Drawn By: AMM SR.	Scale: 1"=30'
		Dwg No: 2-180983SP	Date: 07/31/19

LEGENDS OF SYMBOLS

P.O.B.	POINT OF BEGINNING
P.O.R.	POINT OF REFERENCE
GM	GAS MARKER/GAS METER
OOTF	OPEN TOP PIPE
OIPF	IRON PIN FOUND
OIPS	IRON PIN SET 1/2"Ø REBAR W/ CAP
C/G	CURB AND GUTTER
P/L	PROPERTY LINE
R/W	RIGHT-OF-WAY
L.L.L.	LAND LOT LINE
CMF	CONCRETE MONUMENT FOUND
POL	POINT ON LINE
B.O.C.	BACK OF CURB
FNC	FENCE CORNER
EP	EDGE OF PAVEMENT
PC	PROPERTY CORNER
SP	STEEL POLE
PP	POWER POLE
GW	GUY WIRE
JB	EXISTING JUNCTION BOX
WV	EXISTING WATER VALVE
FH	EXISTING FIRE HYDRANT
T.B.M.	TEMPORARY BENCH MARK
B.F.E.	BASE FLOOD ELEVATION
M.F.E.	MINIMUM FLOOR ELEVATION
HW	HEADWALL
SWCB	SINGLE WALL CATCH BASIN
DWCB	DOUBLE WALL CATCH BASIN
OS	OUTLET STRUCTURE (RISER)
DI	DROP INLET
W	WATER METER
W	WATERLINE
SS	SANITARY SEWER LINE
OVP	OVERHEAD POWERLINE
UFO	UNDERGROUND FIBER OPTICS
G	GASLINE
LS	LANDSCAPING
PKS (F)	PK NAIL SET (FOUND)
EX-MH	EXISTING SANITARY SEWER MANHOLE
SSMH	SANITARY SEWER MANHOLE
S.S.E.	SANITARY EASEMENT
C/O	CLEAN-OUT
FDC	FIRE DEPARTMENT CONNECTOR
C.L.F.	CHAIN LINK FENCE
D.E.	DRAINAGE EASEMENT
R.R.E.	RAIL ROAD EASEMENT
H	HEIGHT
UE	UNDERGROUND ELECTRIC
AC	AIRCONDITION UNITS

HW HARDWOOD

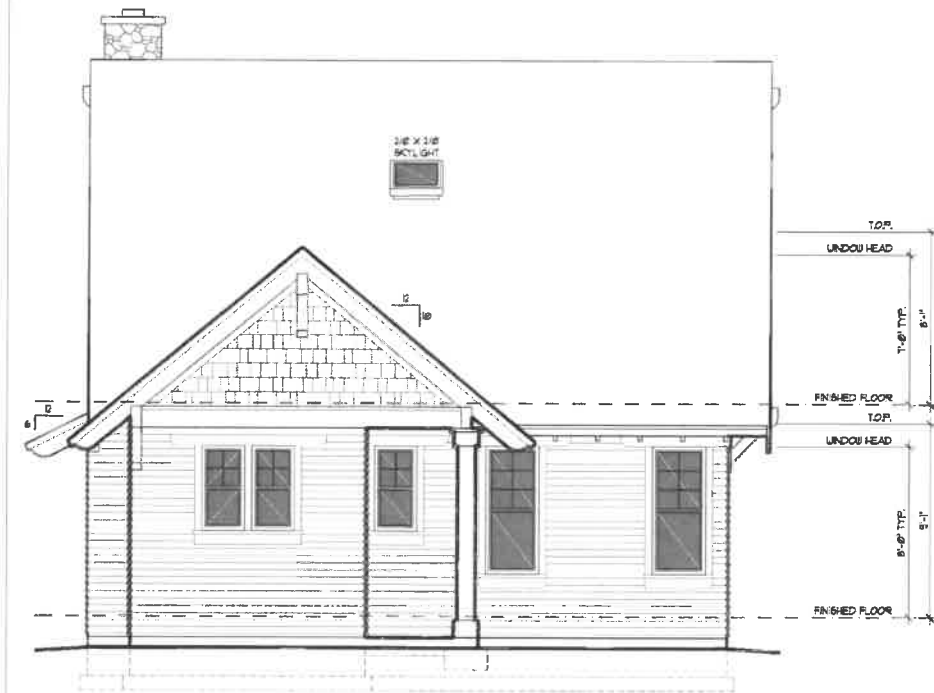


PROPP. CONC. DWY AND SDW.



ANGEL M. MARRERO P.L.S. #2642
Certified Design Professional # 4479

REV.	DESCRIPTION	DATE
1.		
SOUTHSIDE SURVEYING & PLANNING LSF000831		205 CORPORATE CENTER DR. STOCKBRIDGE, GA 30281 Phone: (770) 320-8009 Fax: (770) 320-8098
DETAILS FOR:		
Land Lot 94 14TH Dist. FULTON County, GA		
Drawn By: AMM SR.		Scale: N/A
Dwg No: 2-180983SP		Date: 07/31/19



REAR ELEVATION

SCALE : 1/4" = 1'-0"

CHIMNEY TO EXTEND MIN. 24" ABOVE ANY
ROOF WITHIN 18" HORIZONTAL

ROOFING MATERIAL
(SEE ROOF PLAN)

G. I. GUTTER ON 2 X 8 FASCIA
CAV DOWNSPOUTS (SEE ROOF PLAN)

CEDAR SHINGLE SIDING INSTALL
PER MANUF. SPECS

HORIZONTAL LAP SIDING

3/4" X CEDAR TRIM BOB

2 X 10 R/S TRIM BO. W/ 26
GA G.I. FLASHING

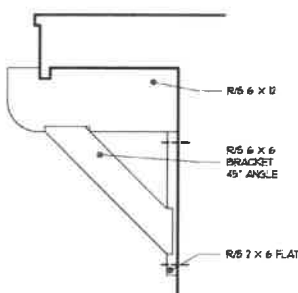
STONE VENEER

THE TYPE OF EXTERIOR FINISH, THE INSTALLATION AND
THE WATERPROOFING DETAILS ARE ALL TO BE THE FULL
RESPONSIBILITY OF THE OWNER/BUILDER. THIS DESIGNER
ASSUMES NO RESPONSIBILITY FOR THE INTEGRITY OF
THE BLDG ENVELOPE



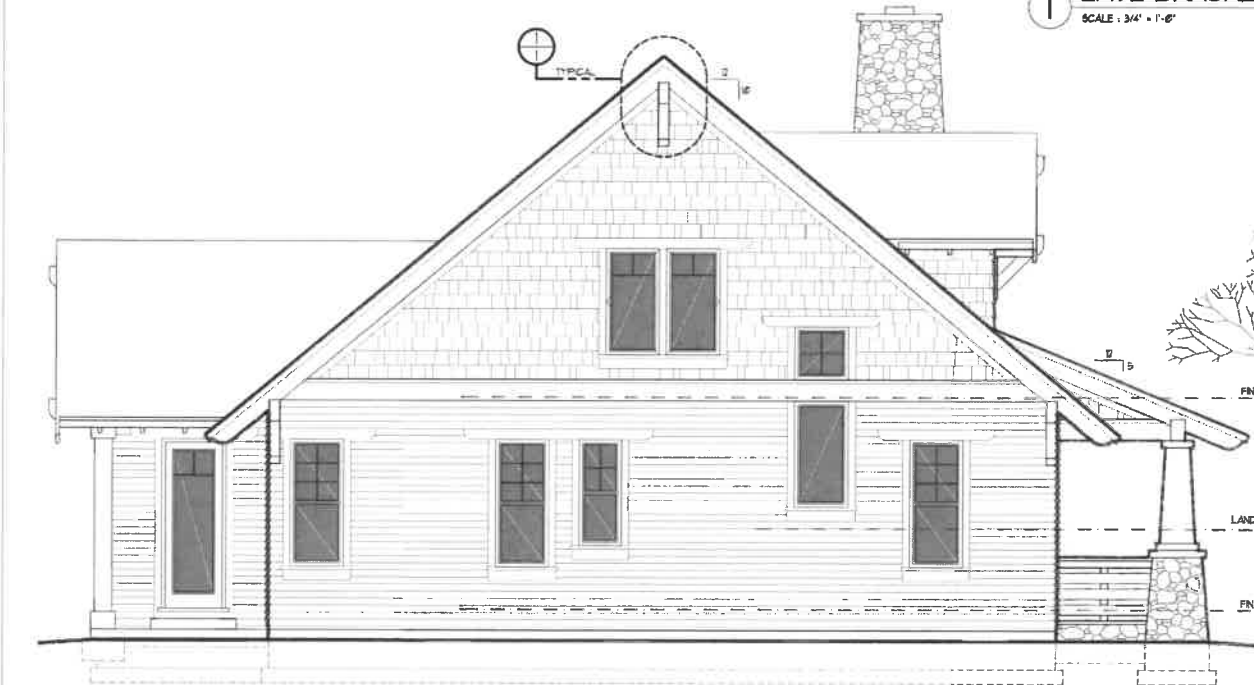
RIGHT SIDE ELEVATION

SCALE : 1/4" = 1'-0"



EAVE BRACKET

SCALE : 3/4" = 1'-0"



LEFT SIDE ELEVATION

SCALE : 1/4" = 1'-0"



FRONT ELEVATION

SCALE : 1/4" = 1'-0"

THE CONTRACTOR ASSUMES FULL RESPONSIBILITY
FOR THE CORRECT INSTALLATION OF ALL
EXTERIOR FINISHES AND WEATHERPROOFING.

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IF LATERAL ENGINEERING IS REQUIRED, REFER TO
ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS

IF LATERAL ENGINEERING IS REQUIRED, REFER TO
ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS

SCALE: 1/4" = 1'-0"

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ROOF DESIGN NOTES

THIS ROOF HAS BEEN DESIGNED TO SUPPORT CEDAR SHAKE ROOFING MATERIALS AND COMPOSITION ROOFING OF VARIOUS TYPES. THE TABLE BELOW DESCRIBES IN DETAIL THE ASSUMPTIONS MADE IN THE DESIGN OF THE ROOF STRUCTURE OF THIS BUILDING.

ROOF LIVE LOAD (SNOW)	20.0 PSF	32.0 PSF	AVERAGE
FRAMING MATERIALS:	15 PSF	33.25 PSF	ACTUAL REQ'D
BREATHING MATERIALS:	15 PSF	6.75 PSF	SAFETY FACTOR
MISC. MATERIALS:	15 PSF	40.0	PSF TL
ROOFING TYPE	DRY / JET		
MED SHAKES	2.0 / 3.25 PSF		
HVT SHAKES	3.0 / 4.0 PSF		
BUNGLES	2.0 / 3.25 PSF		
COMPOSITION	2.5 / 3.0 PSF		

GYPSUM MATERIALS: ADD 2.0 PSF FOR VALLED AREAS (COVERED IN SAFETY FACTOR)

NOTE: HIPS, VALLEYS & RIDGES SHALL NOT BE LESS IN DEPTH THAN THE END CUT OF THE RAFTERS (FIELD VERIFY ALL CONDITIONS)

LEGEND

- 4" X 4" WOOD POST FROM RIDGE (HIP OR VALLEY) TO WALL BELOW (MIN. 12" X 4" REQ'D AT WALL BEARING POINT) NOTE: SPLICES IN HIPS & VALLEYS CAN ONLY OCCUR AT POST DOWN LOCATIONS
- 48 SQ. IN. ROOF VENTS (SEE VENT TABLE FOR CITY - 50%/60% SHOWN)
- 2X4 PURLIN WALL TO 8" W/ WALL BELOW (FRAMING AT 24" O.C.)
- SHADED AREA DENOTES ROOF FRAMED OVER RAFTERS BELOW
- DOWNSPOUTS

COMPOSITION SHAKE ROOF

MAXIMUM SPANS PER 1004 U.S.P.A. B.L. RR-38

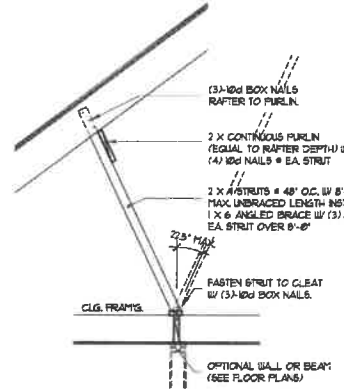
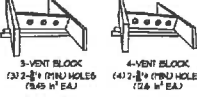
SIZE	SPACING	SPAN
2X6	12" O.C.	14'-0"
	16" O.C.	12'-1"
	24" O.C.	9'-10"
2X8	12" O.C.	17'-8"
	16" O.C.	15'-4"
	24" O.C.	12'-6"
2X10	12" O.C.	21'-7"
	16" O.C.	18'-8"
	24" O.C.	15'-3"
2X12	12" O.C.	25'-1"
	16" O.C.	21'-5"
	24" O.C.	17'-9"

ROOF VENTS

ROOF AREA (sq. ft.)	% EAVE	AREA (sq. ft.)	% ROOF	AREA (sq. ft.)	3-VENT	4-VENT	48 IN.
500	37.5	50	33.0	34	26	7	
400	25.0	40	30.6	21	21	8	
300	18.8	30	27.3	21	15	9	
200	12.5	20	24.0	14	10	1	

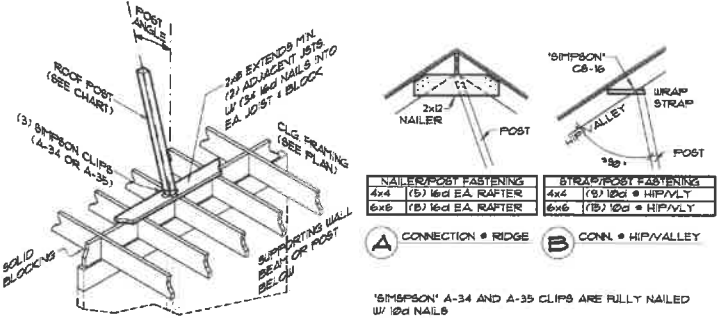
PER 309 I.R.C. - MINIMUM AREA: THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/300TH OF THE AREA OF THE SPACE VENTILATED, PROVIDED AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED WITH VENT OPENINGS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE THE EAVE OR CORNER VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNER VENTS IN CLIMATE ZONE 3, 4, 5, 6, 7, 8, 9, 10 OR 11 VAPOR RETARDER SHALL BE INSTALLED ON THE WARMER-INSIDE SIDE OF THE CLG. (ASSUMES 25% LOSS VIA SCREEN)

EAVE BLOCKING



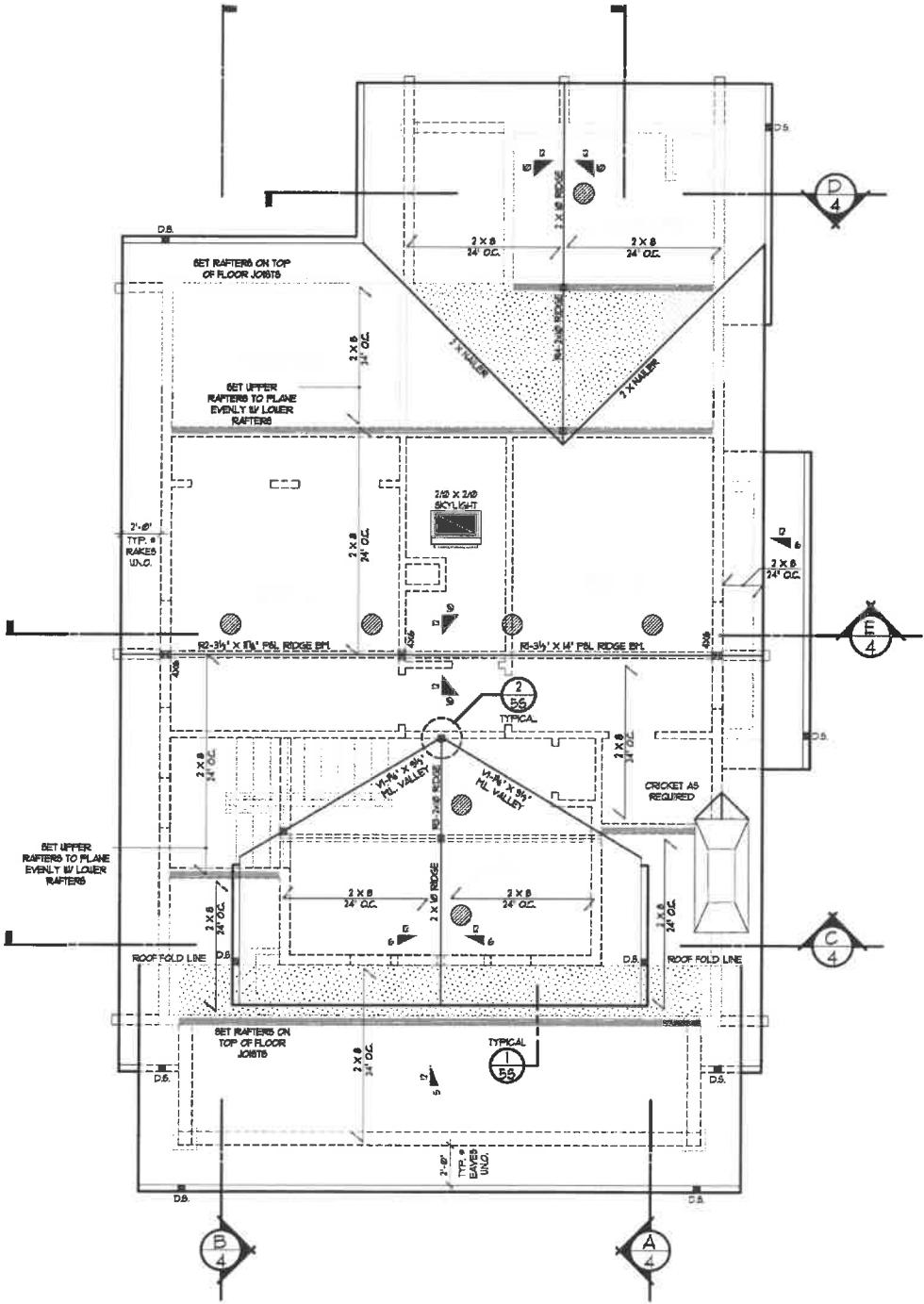
PURLIN DETAIL

SCALE: 1/4" = 1'-0"



ROOF SUPPORT POST

SCALE: N.T.S.



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

IF LATERAL ENGINEERING IS REQUIRED, REFER TO ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS

RADON MITIGATION

THE FOLLOWING CONSTRUCTION TECHNIQUES AND MEASURES ARE INTENDED TO MITIGATE RADON ENTRY IN NEW CONSTRUCTION. THESE TECHNIQUES MAY BE REQUIRED ON A JURISDICTION BY JURISDICTION BASIS. FOR EXAMPLE, IN THE STATE OF OREGON, PER 2011 ORS 31.000, THE COUNTIES OF MULTNOMAH, WASHINGTON, CLATSOP, POLK, TILLAMOOK, HOOVER RIVER AND BAKER REQUIRE RADON MITIGATION AS DO THE COUNTIES OF CLATSOP, HENRY, OREGON, PER 2011 ORS 31.000, BAKER, BROWN AND STEVENSON. IN THE STATE OF WASHINGTON, PER 2011 IRLC 31.000, PER 2011 IRLC 31.000.

FOLLOWING THE U.S. EPA "MODEL STANDARDS AND TECHNIQUES FOR CONTROL OF RADON IN NEW RESIDENTIAL BUILDINGS", THESE SPECIFICATIONS MEET MOST NATIONAL CODES. THE BUILDER AND HOME OWNER SHOULD CHECK FOR ANY LOCAL VARIANTS TO THESE GUIDELINES.

BUILDING TIGHTNESS MEASURES

THE FOLLOWING ARE POINTS OF ENTRY TO PROTECT FROM PASSAGE OF RADON GAS INTO LIVING SPACE - PROVIDE POLYURETHANE CALK OR EQUIVALENT SEALANT AT THE FOLLOWING CRITICAL POINTS:

SLAB ON-GRADE AND BASEMENT WALLS

- CRACKS IN CONCRETE SLABS
- COLD JOINT BETWEEN TWO CONCRETE POURS
- POLES AND JOINTS IN CONCRETE BLOCKS
- FLOOR-TO-WALL CRACK OR FRENCH DRAIN
- EXPOSED SOIL AS IN A SUMP
- JEEPING (DRAIN) TILE IF DRAINED TO OPEN SUMP
- PORTLAND CEMENT
- LOOSE FITTING PIPE PENETRATIONS
- OPEN TOPS OF BLOCK WALLS
- WATER FROM SOME BELLS
- UNTRAPPED FLOOR DRAIN TO A DRY WELL OR SEPTIC SYSTEM

CRAIL SPACE

- CRACKS IN SUB-FLOORING AND FLOORING
- SPACES BEHIND STUD WALLS AND BRICK VENEER WALLS THAT REST ON UNCAFFED HOLLOW-BLOCK FOUNDATION
- ELECTRICAL PENETRATIONS
- LOOSE-FITTING PIPE PENETRATIONS
- OPEN TOPS OF BLOCK WALLS
- WATER FROM SOME BELLS
- HEATING DUCT REGISTER PENETRATIONS
- COLD-AIR RETURN DUCTS IN CRAIL SPACE

CONDENSATE DRAINS SHALL BE RUN TO THE EXTERIOR USING NON PERFORATED PIPE OR SHALL BE PROVIDED WITH AN APPROVED TRAP.

SUMP PITS THAT SERVE AS END POINT FOR A SUB-SLAB OR EXTERIOR DRAIN TILE LOOP SYSTEM, AND SUMP PITS WHICH ARE NOT SEALED FROM THE SOIL, SHALL BE FITTED WITH A GASKETED OR SEALED LID. WHERE THE SUMP IS USED AS THE SUCTION POINT IN A SUB-SLAB DEPRESSURIZATION SYSTEM, THE LID MUST BE DESIGNED TO ACCOMMODATE THE VENT PIPE WHERE USED AS A FLOOR DRAINING, THE SUMP PIT LID SHALL HAVE A TRAPPED INLET.

DUCTWORK WHICH PASSES THROUGH OR BENEATH A CONCRETE FLOOR SLAB SHALL BE FREE OF BEANS AND MUST BE PERFORMANCE TESTED.

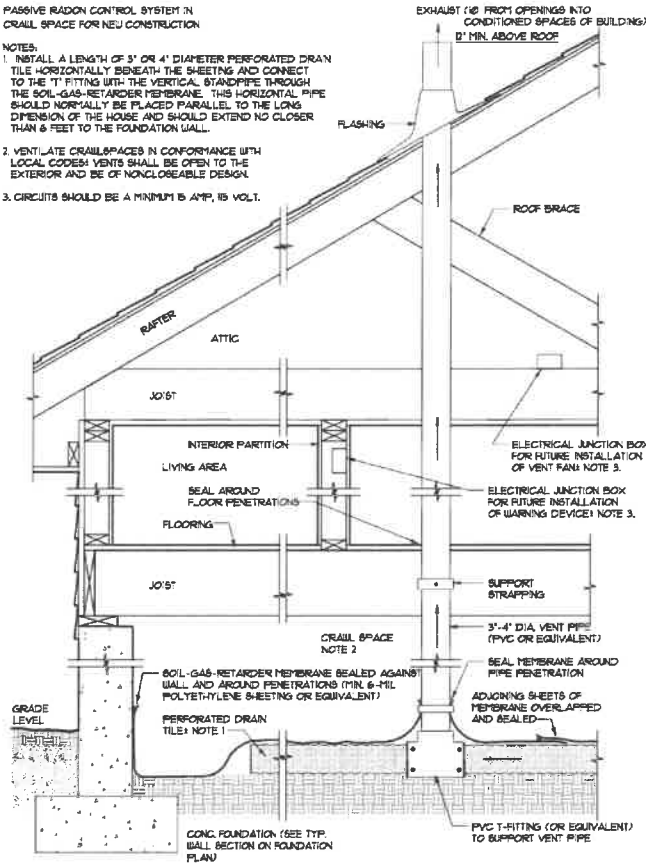
DUCTWORK PASSING THROUGH A CRAILSPACE MUST HAVE ALL BEANS AND JOINTS SEALED (PER 1964:41). ALL JOINTS OF DUCT SYSTEMS USED IN THE HEATING OR COOLING OF A CONDITIONED SPACE SHALL BE SEALED BY MEANS OF TAPES, MASTIC, AEROSOL SEALANT, GASKETING OR OTHER APPROVED CLOSURE SYSTEMS. WHERE MASTIC IS USED TO SEAL OPENINGS GREATER THAN 1/4", A COMBINATION OF MASTIC AND MESH SHALL BE USED.

CRAILSPACE ACCESS OR UNDER-FLOOR MECHANICAL EQUIPMENT ACCESS, OR ANY OTHER ACCESS POINT FROM THE HABITABLE SPACE INTO THE CRAIL SPACE, SUCH AS DOORS OR PANELS, MUST BE CLOSED AND GASKETED TO CREATE AN AIR-TIGHT SEPARATION.

AIR HANDLING UNITS IN CRAIL SPACES SHALL BE SEALED TO PREVENT AIR FROM BEING DRAWN INTO THE UNIT.

PASSIVE RADON CONTROL SYSTEM IN CRAIL SPACE FOR NEW CONSTRUCTION

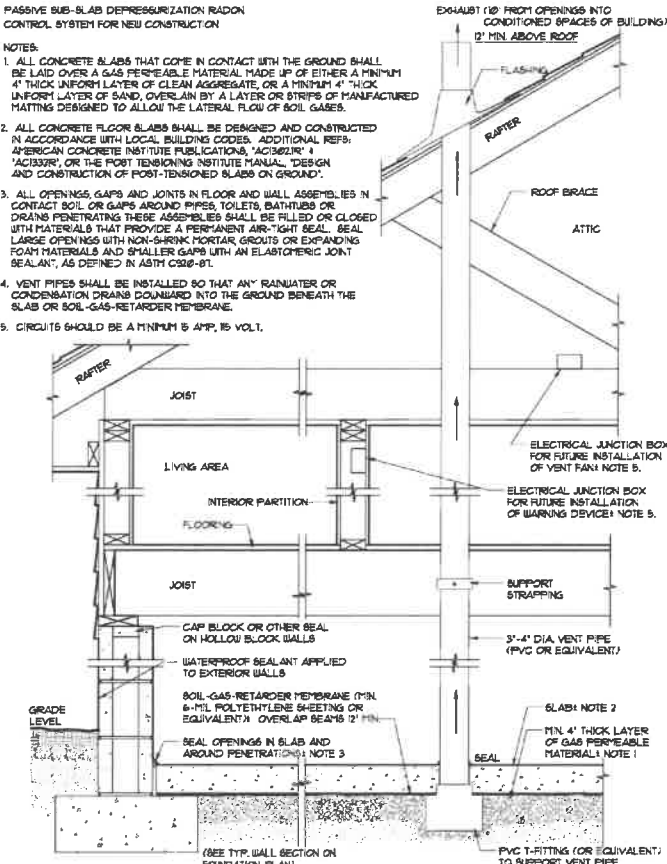
- NOTES:
1. INSTALL A LENGTH OF 3" OR 4" DIAMETER PERFORATED DRAIN TILE HORIZONTALLY BENEATH THE SHEETING AND CONNECT TO THE T- FITTING WITH THE VERTICAL STANDPIPE THROUGH THE SOIL-GAS-RETARDER MEMBRANE. THIS HORIZONTAL PIPE SHOULD NORMALLY BE PLACED PARALLEL TO THE LONG DIMENSION OF THE HOUSE AND SHOULD EXTEND NO CLOSER THAN 6 FEET TO THE FOUNDATION WALL.
 2. VENTILATE CRAILSPACES IN CONFORMANCE WITH LOCAL CODES. VENTS SHALL BE OPEN TO THE EXTERIOR AND BE OF NONCLOSEABLE DESIGN.
 3. CIRCUITS SHOULD BE A MINIMUM 15 AMP, 120 VOLT.



CRAILSPACE SUB-MEMBRANE DEPRESSURIZATION SYSTEM

PASSIVE SUB-SLAB DEPRESSURIZATION RADON CONTROL SYSTEM FOR NEW CONSTRUCTION

- NOTES:
1. ALL CONCRETE SLABS THAT COME IN CONTACT WITH THE GROUND SHALL BE LAID OVER A GAS PERMEABLE MATERIAL MADE UP OF EITHER A MINIMUM 4" THICK UNIFORM LAYER OF CLEAN AGGREGATE, OR A MINIMUM 4" THICK UNIFORM LAYER OF SAND, OVERLAIN BY A LAYER OR STRIPS OF MANUFACTURED MATTING DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASES.
 2. ALL CONCRETE FLOOR SLABS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL BUILDING CODES. ADDITIONAL REFS: AMERICAN CONCRETE INSTITUTE PUBLICATIONS, 'AC308' AND 'AC309', OR THE PORTLAND CEMENT INSTITUTE MANUAL, 'DESIGN AND CONSTRUCTION OF PORTLAND CEMENT SLABS ON GROUND'.
 3. ALL OPENINGS, GAPS AND JOINTS IN FLOOR AND WALL ASSEMBLIES IN CONTACT WITH SOIL OR GAPS AROUND PIPES, TOILETS, BATHUBS OR DRAINS PENETRATING THESE ASSEMBLIES SHALL BE FILLED OR CLOSED WITH MATERIALS THAT PROVIDE A PERMANENT AIR-TIGHT SEAL. SEAL LARGE OPENINGS WITH NON-SHRINK PORTLAND GROUTS OR EXPANDING FOAM MATERIALS AND SMALLER GAPS WITH AN ELASTOMERIC JOINT SEALANT, AS DEFINED IN ASTM C926-87.
 4. VENT PIPES SHALL BE INSTALLED SO THAT ANY RAINWATER OR CONDENSATE DRAINS DOWNWARD INTO THE GROUND BENEATH THE SLAB OR SOIL-GAS-RETARDER MEMBRANE.
 5. CIRCUITS SHOULD BE A MINIMUM 15 AMP, 120 VOLT.



SLAB ON-GRADE/BELOW-GRADE (BASEMENTS) SUB-MEMBRANE DEPRESSURIZATION SYSTEM

CRAIL SPACE RADON MITIGATION

IN ADDITION TO THE CRAIL SPACE SEALING REQUIREMENTS, ONE OF THREE RADON MITIGATION METHODS SHALL BE IMPLEMENTED.

METHOD 1 - MECHANICAL VENTILATION (AFB33, EXCEPTION)

- PROVIDE AN APPROVED MECHANICAL CRAIL SPACE VENTILATION SYSTEM OR OTHER EQUIVALENT SYSTEM.

METHOD 2 - PASSIVE SUB-MEMBRANE DEPRESSURIZATION SYSTEM (AFB33.1)

- PROVIDE FOUNDATION VENTILATION SYSTEM (SEE FOUNDATION NOTES FOR CRAILSPACE VENTING)
- PROVIDE A SOIL-GAS RETARDER, SUCH AS 6 MIL POLYETHYLENE OR EQUIVALENT (SEE GAS-RETARDER NOTES)
- PROVIDE A VENT STACK (SEE VENT STACK NOTES)

METHOD 3 - CRAILSPACE VENTILATION AND BUILDING TIGHTNESS

- PROVIDE NO LESS THAN ONE NET 66 SQ. FT. OF CRAILSPACE FOUNDATION VENT AREA PER EACH 500 SQ. FT. OF UNDER-FLOOR AREA (SEE FOUNDATION NOTES FOR CRAILSPACE VENTING LOCATION REQUIREMENTS)
- OPERABLE LOUVERS, DAMPERS, OR OTHER MEANS TO TEMPORARILY CLOSE OFF VENT OPENINGS ARE NOT ALLOWED TO MEET THE REQUIREMENTS OF THIS RADON MITIGATION METHOD.
- DUELLINGS SHALL BE TESTED WITH A BLOWER DOOR, DEPRESSURIZING THE CRAILING TO 50 PASCALS FROM AMBIENT CONDITIONS AND FOUND TO EXHIBIT NO MORE THAN 5.0 AIR CHANGES PER HOUR
- INSTALL A MECHANICAL EXHAUST, SUPPLY, OR COMBINATION VENTILATION SYSTEM PROVIDING SINGLE-BUILDING VENTILATION RATES AS PER TABLE N100.13.

VENTILATION AIR REQUIREMENTS (cfm)

FLOOR AREA (sq. ft.)	NUMBER OF BEDROOMS	1-2	3-4	5-6	7-8
1,500-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-7,500	90	105	120	135	150
7,501-9,000	105	120	135	150	165

(TABLE N100.13.1)

SLAB-ON-GRADE/BASEMENT RADON MITIGATION

A PASSIVE SUB-SLAB DEPRESSURIZATION SYSTEM SHALL BE INSTALLED DURING CONSTRUCTION IN BASEMENT OR SLAB-ON-GRADE BUILDINGS. FOLLOW THE NOTES HERE REGARDING BUILDING TIGHTNESS MEASURES AND ASSEMBLY THE FOLLOWING ELEMENTS OF THIS MITIGATION SYSTEM:

- PROVIDE A RADON VENT PIPE EXTENDING FROM A GAS PERMEABLE LAYER BENEATH THE SLAB FLOOR SYSTEM, THROUGH THE FLOORS OF THE DUELLING AND TERMINATING AT THE ROOF.
- SEE NOTES REGARDING VENT PIPE, SOIL-GAS-RETARDER AND SLAB SUB-FLOOR PREPARATION.

SLAB SUB-FLOOR PREPARATION

- A LAYER OF GAS-PERMEABLE MATERIAL SHALL BE PLACED UNDER ALL CONCRETE SLABS AND OTHER FLOOR SYSTEMS THAT DIRECTLY CONTACT THE GROUND, AND ARE WITHIN THE WALLS OF THE LIVING SPACES OF THE BUILDING. THE GAS-PERMEABLE LAYER SHALL CONSIST OF ONE OF THE FOLLOWING:

1. A UNIFORM LAYER OF CLEAN AGGREGATE, A MINIMUM OF 4 INCHES THICK, THE AGGREGATE SHALL CONSIST OF MATERIAL SHALL ENOUGH TO PASS THROUGH A 3" SIEVE AND BE RETAINED BY A 1/4" SIEVE.
2. A UNIFORM LAYER OF SAND (NATIVE OR FILL), A MINIMUM OF 4 INCHES THICK, OVERLAIN BY A LAYER OR STRIPS OF GEO-TEXTILE DRAINAGE MATTING DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASES.

SOIL-GAS-RETARDER

- THE SOIL, CRAILSPACES SHALL BE COVERED WITH A CONTINUOUS LAYER OF MINIMUM 6-MIL POLYETHYLENE SOIL-GAS-RETARDER. THE GROUND COVER SHALL BE LAPPED A MINIMUM OF 12 INCHES AT JOINTS AND SHALL EXTEND TO ALL FOUNDATION WALLS ENCLOSING THE CRAIL SPACE AREA.
- THE SHEETING SHALL FIT CLOSELY AROUND ANY PIPE, DURE OR OTHER PENETRATIONS OF THE MATERIAL.
- ALL PUNCHES OR TEARS IN THE MATERIAL SHALL BE SEALED OR COVERED WITH ADDITIONAL SHEETING.

VENT PIPE (RADON)

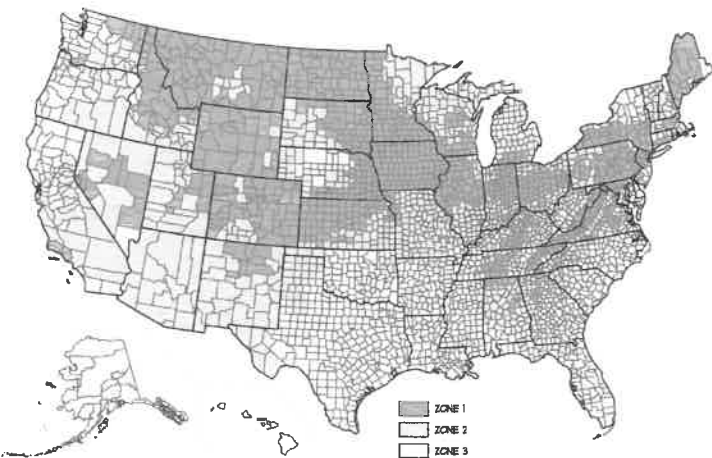
- A PUMPING TEE OR OTHER APPROVED CONNECTION SHALL BE INSTALLED HORIZONTALLY BENEATH THE SOIL-GAS-RETARDER SHEETING AND CONNECTED TO A 3" OR 4" DIAMETER FITTING WITH A VERTICAL VENT PIPE INSTALLED THROUGH THE SHEETING.
- THE VENT PIPE SHALL BE EXTENDED UP THROUGH THE BUILDING FLOORS TO TERMINATE AT LEAST 12 INCHES ABOVE THE ROOF SURFACE IN A LOCATION AT LEAST 10 FEET AWAY FROM ANY UNDOOR OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2 FEET BELOW THE EXHAUST POINT, AND 10 FEET FROM ANY UNDOOR OR OTHER OPENING IN ADJOINING OR ADJACENT BUILDINGS.
- IN BUILDINGS WHERE INTERIOR ROOFING OR OTHER BARRIERS SEPARATE THE SUB-SLAB AGGREGATE OR OTHER GAS-PERMEABLE MATERIAL, EACH AREA SHALL BE FITTED WITH AN INDIVIDUAL VENT PIPE.
- MULTIPLE VENT PIPES SHALL CONNECT TO A SINGLE VENT THAT TERMINATES ABOVE THE ROOF. EACH INDIVIDUAL VENT PIPE SHALL BE INSTALLED TO PROVIDE POSITIVE DRAINAGE TO THE GROUND BENEATH THE SLAB OR SOIL-GAS-RETARDER.
- RADON VENT PIPES SHALL BE ACCESSIBLE FOR FUTURE FAN INSTALLATION THROUGH AN ATTIC OR OTHER AREA OUTSIDE THE HABITABLE SPACE OR AN APPROVED ROOF TOP ELECTRICAL SUPPLY MAY BE PROVIDED FOR FUTURE USE FOR A POWERED RADON VENT FAN.
- ALL EXPOSED AND VISIBLE INTERIOR RADON VENT PIPES SHALL BE IDENTIFIED WITH AT LEAST ONE LABEL ON EACH FLOOR AND IN ACCESSIBLE ATTICS. THE LABEL SHALL READ: "RADON REDUCTION SYSTEM".

POWER SOURCE REQUIREMENT

- TO ACCOMMODATE FUTURE INSTALLATION OF AN ACTIVE SUB-MEMBRANE OR SUB-SLAB DEPRESSURIZATION SYSTEM, AN ELECTRICAL CIRCUIT TERMINATED IN AN APPROVED BOX SHALL BE INSTALLED DURING CONSTRUCTION IN THE ATTIC OR OTHER ANTICIPATED LOCATION OF VENT PIPE FANS. AN ELECTRICAL SUPPLY SHALL ALSO BE ACCESSIBLE IN ANTICIPATED LOCATION OF SYSTEM FAILURE ALARMS.

COMBINATION FOUNDATIONS

- COMBINATION BASEMENT/CRAIL SPACE OR SLAB-ON-GRADE/CRAIL SPACE FOUNDATIONS SHALL HAVE SEPARATE RADON MITIGATION SYSTEMS IN EACH TYPE OF FOUNDATION AREA. PASSIVE SUB-SLAB AND PASSIVE SUB-MEMBRANE RADON VENT PIPES MAY BE CONNECTED TO A SINGLE VENT TERMINATING ABOVE THE ROOF, OR EACH VENT MAY INDIVIDUALLY CONTINUE TO TERMINATE ABOVE THE ROOF (SEE VENT PIPE NOTES).



EPA RADON ZONES

DISCLAIMER: THE PURPOSE OF THIS MAP IS TO ASSIST NATIONAL, STATE AND LOCAL ORGANIZATIONS TO TARGET THEIR RESOURCES AND TO IMPLEMENT RADON-RESISTANT BUILDING CODES. ALL NOTES SHOULD BE TESTED REGARDLESS OF GEOGRAPHIC LOCATION. EPA RECOMMENDS THAT THIS MAP BE SUPPLEMENTED WITH ANY AVAILABLE LOCAL DATA IN ORDER TO FURTHER UNDERSTAND AND PREDICT THE RADON POTENTIAL FOR A SPECIFIC AREA.



DEPARTMENT OF PLANNING AND ZONING PLANNER'S REPORT

DATE: September 11, 2019
TO: Tonya Hutson
FROM: Michael Smith
RE: **Design Review – 261 Birch Street**

Key:

Compliant:	✓
Not Compliant:	✗
Incomplete:	✋
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received a design review application from David Cook to construct a new one and a half story single-family dwelling at 261 Birch Street. The dwelling will have 1,777 SF of living area. It will include three bedrooms and two and a half bathrooms. Parking will be provided by a 11' wide driveway running along the west side of the house. The submitted elevations and floor plans for the structure are identical to the application for 257 Birch Street.

The property is zoned R-1, One-Family Residential and is subject to the Neighborhood Conservation Area, Subarea E of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(a) Site development standards

- ✓ Except where indicated, setbacks shall be established by zoning.
- ⊘ On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.
- ⊘ Minimum building heights shall be established by zoning.
- ✗ Within subareas D and E maximum building heights shall be as established by zoning, except that:

Where this chapter provides a more-stringent standard as compared to the zoning code, the more-stringent standard shall prevail. The only exception to this shall be a use grandfathered under the zoning code.

Portions of buildings equal to or less than five feet from a side or rear lot line shall be limited in height to the greater of 16 feet.

✗ Portions of buildings between five and ten feet of a side or rear lot line shall be limited in height to the greater of 25 feet.

Portions of buildings ten feet or greater from a side or rear lot line shall be limited in height to 35 feet.

- ⊖ Outside of subareas D and E maximum building heights shall be as established by zoning.
- ✓ All buildings shall provide first-story occupiable space, for the first ten feet of building depth along the enfronting facade.
- ✓ Sidewalks shall be located along all public and private streets. Sidewalks shall consist of two areas: a landscape area and a clear area.
 - ✓ Developments less than one acre shall provide a minimum one-foot landscape zone and a minimum four-foot clear zone.
 - Development of one acre or more shall provide a minimum two-foot landscape zone and a minimum five-foot clear zone.
 - The above notwithstanding, multifamily developments and all developments along Dogwood Drive shall provide a minimum five-foot landscape zone and a minimum six-foot clear zone.

STAFF COMMENT:

- **Within subarea E, the maximum height for the portion of a building between 5' and 10' from the property line is 25'. The east side setback is 8.8'. While not reflected on the submitted elevations, an updated site plan provides the height as approximately 30' above grade with no reduction approaching the side setbacks, which is not compliant.**

(b) Supplemental Area and Fence Standards

- ✓ Developments shall locate landscape supplemental areas adjacent to first-story residential uses and place a minimum of one tree every 50 feet in the supplemental area. See list of allowed trees in section 93-2-14.
- ⊖ Chain link fencing is not permitted in areas visible from a public right-of-way.
- ⊖ On all lots a fence, wall, curb or hedge between six and 48 inches in height is encouraged at the back of the required sidewalk, except at openings to access steps, drives or pedestrian walkways.
- ⊖ Fences adjacent to the street shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.
- ⊖ Retaining walls adjacent to the required sidewalk shall not exceed 32 inches in height unless required by topography.
- ⊖ All street-facing walls shall be faced with stone, brick, or smooth stucco.
- ⊖ Small planting between retaining walls and the required sidewalk are encouraged and should have a minimum width of six inches.

STAFF COMMENT:

- **A fence between 6" and 48" in height is encouraged at the back of the required sidewalk.**

(c) Utility Standards

- ✋ Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.

- ⊖ When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- ⊖ Street lights may be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian-scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development.
- ✗ All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may be provided as long as it is properly shielded and does not become an annoyance to adjacent property owners or the public. General area illumination with oversized flood lights is prohibited. Specifically, lighting shall be shielded so that the source of light is not visible from adjacent properties or the public right-of-way.
- ⊖ Trees shall not be planted directly above storm drains.

STAFF COMMENT:

- **The applicant should show mechanical utility features on the plans and indicate any screening.**
- **A light at the front door should be included and shown on the plans.**

(d) *Parking and Traffic Standards*

👉 One-family detached dwellings and two-family dwellings shall meet the following requirements:

- 👉 Driveways shall have a minimum width of nine feet and a maximum width of 15 feet.
Circular drives are permitted.
A grass strip in the middle of driveways is encouraged.
- ⊖ All other buildings shall meet the following requirements:
Parcels are permitted a maximum of one driveway curb cut per street. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
Driveways shall have a maximum width of 12 feet for one-way and 24 feet for two-way.
Two curb cuts serving two one-way driveways shall be counted as one curb cut.
Public or private alleys, or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.
New public streets shall not count as curb cuts.
Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
- ⊖ Carports are only permitted subject to the following requirements:
Carports shall be located in the rear or side yard, but shall not be visible from a public right-of-way.
Carport roofs shall be supported by columns with a minimum width and depth of eight inches.
The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.
- ✓ On-site parking shall be prohibited in the supplemental areas. This shall not be interpreted as restricting on-street parking located along a public street.
- ⊖ Garage access on single-family lots shall be prohibited in the front yard of the home.

STAFF COMMENT:

- **The applicant stated at the September 10, 2019 Planning Commission meeting that the existing driveway will be cut to make the proposed driveway consistently 11'. The provided plans still show the existing driveway on the plans and should be updated to remove it.**

(e) Roof and Chimney Standards

- ✎ Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- ✎ Roof shingles shall be slate, cedar, or asphalt.
- ⊖ Roof tiles shall be clay, terra cotta or concrete.
- ⊖ Metal roofs are:
 - Allowed on one-family and two-family detached dwellings;
 - Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a parapet wall.
- ✎ Gutters shall be copper, aluminum or galvanized steel.
- ✎ Downspouts shall match gutters in material and finish.
- ✓ Roof forms shall be based on architectural style.
- ✎ All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- ⊖ Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- ⊖ Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- ⊖ Chimneys on exterior building walls shall begin at grade.
- ⊖ Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

STAFF COMMENT:

- The plans indicate the roofing material will consist of cedar shake and "composition" shingles. The applicant should ensure all roof shingles are slate, cedar, or asphalt.
- The applicant should provide the manufacturer's warranty, ensuring the roof is warrantied for at least 30 years.
- The applicant should specify the distance the roof overhangs the facades of the house, ensuring it is at least 12".
- The applicant should describe the material of the gutters and downspouts and show them on elevations.

(f) Street Facing Facade and Style Standards.

- ✓ Exterior facade materials shall be limited to:
 - Full-depth brick;
 - ✓ Natural or cast stone;
 - ✓ Smooth natural-wood siding and/or cement-based siding;
 - ✓ Shake siding;
 - Painted fish-scale style shingles, but only when used in front gables;
 - True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- ✓ Exterior building materials shall not be:
 - Simulated brick veneer, such as Z-Brick;
 - Exterior insulation and finish systems (EIFS);
 - Exposed concrete block;
 - Metal siding or other metal exterior treatment;
 - Glass curtain walls;

Liquid vinyl;

T-1-11 siding;

Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.

- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ✓ Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11.
- 👉 Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ✓ All exterior stair risers visible from a street shall be enclosed.
- ✓ Porches, stoops, and balconies may be located in the front or side yard.
- ✓ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- ✓ Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- ✗ Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ✓ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ✓ Porch and stoop foundations shall be enclosed.
- ✓ Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- ⊖ Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- 👉 Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- ⊖ Stoops shall provide a minimum top landing of four feet by four feet.
- ⊖ Stoop stairs and landings shall be of similar width.
- ⊖ Stoops may be covered or uncovered.
- ✗ When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ✓ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- ⊖ Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- ⊖ Enfronting porches may have multistory verandas, living space, or balconies above.
- ✗ Porch columns shall be spaced a maximum distance of eight feet on center.
- ✓ Front porch columns shall have foundation piers extending to grade.
- ✓ All porches shall be covered.
- ⊖ Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- ⊖ Enfronting balconies shall have a minimum clear depth of four feet.
- ⊖ Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.

- ⊖ Balconies may be covered or uncovered.

STAFF COMMENT:

- The applicant should clarify if the foundation will extend above grade and, if so, should design it to contrast with the facade materials.
- The proposed porch railings are not constructed with top and bottom horizontal members connected by vertical railings, which is not compliant. The applicant should refer to the standards in section (f) for porch railing dimensional requirements.
- Porches must be between 2' and 4' above grade. The applicant should provide the height of the porch above grade.
- Porches must have a clear depth of 8' from building façade to the outside face of columns. The proposed porch has a depth of 6', which is not compliant.
- Porch columns may be spaced no more than 8' apart on center. The porch columns are approximately 26' apart, which is not compliant.

(g) Door and window standards.

- ✓ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ✓ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ✗ Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- ⊖ Doors that operate as sliders are prohibited along enfronting facades.
- 👉 Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- 👉 Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- 👉 Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- ⊖ Where used, window shutters shall match one-half the width of the window opening.
- ⊖ Painted window or door glass is prohibited.
- ⊖ Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- ✓ Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- ✓ Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.
- 👉 Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- 👉 Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

STAFF COMMENT:

- Building numbers at least 6" in height on the porch or adjacent to the front door should be included and shown on the plans.
- The applicant should ensure no GBGs will be utilized.
- Windows must comply with all requirements of Sec. 81-1-7(g) - *Door and window standards*. The elevations should be revised to demonstrate compliance and the plans should provide the following information:
 - Windowpane recession from adjacent facades
 - The width of window trim
 - The width of mullions between grouped windows
 - Windowsill materials

(h) Detached one-family dwellings/ two-family dwellings. In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.

- 👉 **First Stories.** First stories shall be elevated above the grade between two and four feet, unless existing topography is greater or unless wheelchair access is desired and cannot be provided from the side or rear.
- 👉 **Window Sills.** Enfronting first story window sills should be no less than two and one-half feet and no more than three and one-half feet above finished floor elevation.
- ⊕ **Wheelchair access.** Where practical, wheelchair access, when provided, should be installed at the side or rear of the home in order to preserve the architectural character of the primary facade.
- ✓ **Architectural style.** Architecture is one of the most critical components of place, and nowhere is this more evident than on building facades. The design and character of street-facing facades is a reflection of both buildings and their users, and must be carefully considered for its impact on the overall sense of place.

New homes in the neighborhood conservation area should be designed to reflect the principal traditional styles found in the community. These include national folk, Queen Anne, ranch, Tudor revival, craftsman, and minimal traditional styles.

These styles, however, do not reflect the only styles historically found in Hapeville, which also includes a few occurrences of neocolonial revival. Where an applicant desires to utilize a style historically found in Hapeville, but not reflected in the six principal styles identified in subsections (4)a. through (4)e., they shall provide the Design Review Committee with photo documentation of the relevant style in Hapeville, a description of the key features of such style, and written justification of such style's appropriateness for the community.

- ✓ **Craftsman.** Craftsman homes may include:
 - ✓ i. A rectangular building footprint, with the short end facing a street.
 - ✓ ii. Gabled roofs having gables with a minimum pitch of 20 and a maximum pitch of 40 degrees from horizontal and with roof lines running parallel or perpendicular to the street.
 - ✓ iii. Decorative beams, brackets or braces under gables.
 - ✓ iv. Exposed roof rafters where roofs overhang.
 - ✓ v. Optional dormers.
 - ✓ vi. Windows that are taller than they are wide.
 - ✗ vii. Equal height windows along a single floor.
 - ✓ viii. Symmetrical or asymmetrical front facade.
 - ✓ ix. A front porch extending the entire width of the building or with a width of one-half of the building. Said porch shall include square columns that taper from bottom to top, but are not less than eight inches thick. Said columns shall be set atop stone or masonry bases extended to the ground. They may include optional square or rectangular balusters and handrails.

STAFF COMMENT:

- The applicant should provide the height of the finished first floor above grade, ensuring it is between 2' and 4'.
- The applicant should provide the height of the first story windowsills above the finished first floor, ensuring they are between 2.5' and 3.5' high.
- The design is for a Craftsman home. However, for full compliance with the style, windows on the same floor must be the same height.

⊙ **Outbuildings.** In conventional development, outbuildings are often designed and located as an afterthought. Yet in traditional towns and cities, outbuildings serve to enrich the quality of design through their placement, design and use. In Hapeville, where outbuildings are provided on many residential lots, their design must be to the same high standards found in the community's neighborhoods.

The following standards shall apply to construction of new outbuildings in residential districts.

- i. On lots with one street frontage, set outbuildings back at least 15 feet behind the front facade of the principal building.
- ii. On corner lots, outbuildings should be setback at least 15 feet behind the front facade of the principal building and with a setback greater than or equal to that of the facade along the side lot line.
- iii. Outbuilding may be linked to the principal building with covered walks, trellises or enclosed breezeway.
- iv. Outbuildings shall be of compatible material and architectural style to the principal building.
- v. Outbuildings shall have a minimum height of 14 feet and a maximum height of that of the principal building or 25 feet, whichever is less.
- vi. Outbuildings shall be set a minimum of ten feet from any other outbuilding on adjoining lots.

STAFF COMMENT:

RECOMMENDATIONS

Upon review of the information provided by the Applicant, the following items have been found to be missing or deficient and should be addressed by the Applicant and the Design Review Committee:

1. Within subarea E, the maximum height for the portion of a building between 5' and 10' from the property line is 25'. The east side setback is 8.8'. While not reflected on the submitted elevations, an updated site plan provides the height as approximately 30' above grade with no reduction approaching the side setbacks, which is not compliant.
2. **A fence between 6" and 48" in height is encouraged at the back of the required sidewalk.**
3. **The applicant should show mechanical utility features on the plans and indicate any screening.**
4. **A light at the front door should be included and shown on the plans.**
5. The applicant stated at the September 10, 2019 Planning Commission meeting that the existing driveway will be cut to make the proposed driveway consistently 11'. **The provided plans still show the existing driveway on the plans and should be updated to remove it.**
6. The plans indicate the roofing material will consist of cedar shake and "composition" shingles. **The applicant should ensure all roof shingles are slate, cedar, or asphalt.**
7. **The applicant should provide the manufacturer's warranty, ensuring the roof is guaranteed for at least 30 years.**
8. **The applicant should specify the distance the roof overhangs the facades of the house, ensuring it is at least 12".**
9. **The applicant should describe the material of the gutters and downspouts and show them on elevations.**
10. **The applicant should clarify if the foundation will extend above grade and, if so, should design it to contrast with the facade materials.**

11. **The proposed porch railings are not constructed with top and bottom horizontal members connected by vertical railings, which is not compliant.** The applicant should refer to the standards in section (f) for porch railing dimensional requirements.
12. Porches must be between 2' and 4' above grade. **The applicant should provide the height of the porch above grade.**
13. Porches must have a clear depth of 8' from building façade to the outside face of columns. **The proposed porch has a depth of 6', which is not compliant.**
14. Porch columns may be spaced no more than 8' apart on center. **The porch columns are approximately 26' apart, which is not compliant.**
15. **Building numbers at least 6" in height on the porch or adjacent to the front door should be included and shown on the plans.**
16. **The applicant should ensure no GBGs will be utilized.**
17. Windows must comply with all requirements of Sec. 81-1-7(g) - *Door and window standards*. **The elevations should be revised to demonstrate compliance and the plans should provide the following information:**
 - a. Windowpane recession from adjacent facades
 - b. The width of window trim
 - c. The width of mullions between grouped windows
 - d. Windowsill materials
18. **The applicant should provide the height of the finished first floor above grade, ensuring it is between 2' and 4'.**
19. **The applicant should provide the height of the first story windowsills above the finished first floor, ensuring they are between 2.5' and 3.5' high.**
20. The design is for a Craftsman home. However, for full compliance with the style, **windows on the same floor must be the same height.**

Once these items are addressed to the satisfaction of staff and the Design Review Committee, the application can be approved.

CITY OF HAPEVILLE DESIGN REVIEW APPLICATION

SUBMITTAL DATE: 8-21-2019

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: DAVID COOK Contact Number: [REDACTED]

Applicants Address: [REDACTED]

E-Mail Address: [REDACTED] Zoning Classification: R-1

Address of Proposed Work: 2601 Birch Street Hapeville GA 30354

Parcel ID# (INFORMATION MUST BE PROVIDED): 14-0094-0009-113-0

Property Owner: TSLE LLC Contact Number: [REDACTED]

Project Description (including occupancy type):
Build single family home.

Contractors Name: David W. Cook Gen. Cont. Contact Number: [REDACTED]

Contact Person: David Cook Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

David W. Cook
Applicants Signature

8/21/2019
Date

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building
☐ Addition to Existing Residential Structure ☐ Accessory Structure
☐ Site Plan, Grading & Landscaping ☒ New Single Family Residential Construction
☐ Other

Total Square Footage of proposed New Construction: 1777

Total Square Footage of existing building: 0

Estimated Cost of Construction: \$180,000.00

List/Describe Building Materials on the exterior of the **existing** structure: _____

N/A

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

Hardi Plank RB & B and Plank siding
painted with stone accents.

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I DAVID W. Cook *DWC* swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- ☐ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST
- ☐ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- ☐ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- ☐ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- ☐ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- ☐ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- ☐ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

DAVID W. COOK
Printed Name

Signature

8/20/2019
Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

TPIN: 14 -0094-0009-113-0

WARRANTY DEED

Girardot & Associates, P.C.
4-A Lenox Pointe, NE
Atlanta, GA 30324
18473

STATE OF GEORGIA
COUNTY OF FULTON

THIS INDENTURE, Made this the 15th day of October, 2018 between

GRAVITOA, LLC

as party or parties of the first part, hereinafter called Grantor, and

TSLE LLC

as party or parties of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other good and valuable consideration in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee,

SUBJECT PROPERTY KNOWN AS

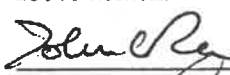
261 Birch Street, Hapeville (Fulton Co.) GA 30354

**AND AS SHOWN ON EXHIBIT "A" HERETO WHICH IS INCORPORATED
HEREIN.**

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoove the said Grantee forever in **FEE SIMPLE**.

AND THE SAID Grantor will warrant and forever defend the right and title to the above described property unto the said Grantee against the claims of all persons whomsoever.

IN WITNESS WHEREOF, the Grantor has signed and sealed this deed, the day and year above written.



Witness



GRAVITOA, LLC

BY: TOM MURTAUGH, MANAGER

(SEAL)



NOTARY PUBLIC



(SEAL)

EXHIBIT "A"

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 94 of the 14th District of Fulton County, Georgia, being Lot 22, Block F of Moreland Park Subdivision, as per plat recorded in Plat Book 19, Page 68, Fulton County records, more particularly described as follows:

BEGINNING at a point on the north side of Birch Street, two hundred (200) feet east from the northeast corner of Birch and Fifth Streets; thence north one hundred fifty (150) feet; thence east Fifty (50) feet; thence South one hundred fifty (150) feet to Birch Street; thence west along the north side of Birch Street, fifty (50) feet to the point of beginning, being improved property having thereon a one-story concrete block house as shown by blue print of survey made by E. Z. Huff, surveyor, dated April 18, 1947.

Property known as 261 Birch Street and Tax Parcel ID: 14-0094-0009-113-0 per records of Fulton County Tax Commissioner and plat maps of the Fulton County Tax Assessors office.

FLOOD NOTES

BASED ON THE INFORMATION SHOWN ON THE FLOOD HAZARD BOUNDARY MAPS FURNISHED BY FEMA, IT IS MY OPINION THAT THE PROPERTY SHOWN HEREON IS OUTSIDE THE 100-YEAR FLOOD HAZARD AREA.

PANEL# 13121C0367F DATED 09/18/2013

ZONING R-1
SETBACKS
FRONT 15'
SIDE 5'
REAR 20'

TOTAL AREA= (0.17 ACRES)

THIS BLOCK RESERVED FOR THE CLERK
OF THE SUPERIOR COURT

PARCEL ID# 14 009400091130
REF. DEED
D.B. 50699, PG. 32
LOT 22 BLOCK F OF
MORLAND PARK S/D
PB.19, PG. 68
#261 BIRCH ST.

SURVEY ORDERED BY:
NAME: DAVID COOK
ADDRESS: 100 GLENDALE DR.
PEACHTREE, CITY, GA 30269
PHONE (24HR.): 770-231-7215

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN (N/A) FEET, AND AN ANGULAR ERROR OF (N/A) PER ANGLE POINT, AND WAS ADJUSTED USING (N/A) COMPASS RULE. FIELD DATA WAS OBTAINED RADIALLY

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 398,600,000 FEET. EQUIPMENT USED GTS220

GENERAL NOTES

- TOGETHER WITH ALL EASEMENTS RECORDED OR UNRECORDED.
- LAST DATE OF FIELD SURVEY 07/31/19
- ALL LINEAR DISTANCES SHOWN ON PLAT SHALL BE HORIZONTAL.
- INFORMATION REGARDING THE PRESENCE, SIZE, AND LOCATION OF UNDERGROUND UTILITIES IS SHOWN HEREON. THE INFORMATION IS BASED ON THE LOCATION OF ABOVE GROUND APPURTENANCES, AVAILABLE SITE PLANS, AND PAINT PLACED BY UNDERGROUND SERVICES.
"NO CERTIFICATION IS MADE AS TO THE ACCURACY"
- ALL BEARINGS AND DISTANCES WERE MEASURED AND USED.
- This survey was prepared without benefit of a title report which may reveal additional conveyances, easements or rights-of-way not shown hereon.

This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, NOR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

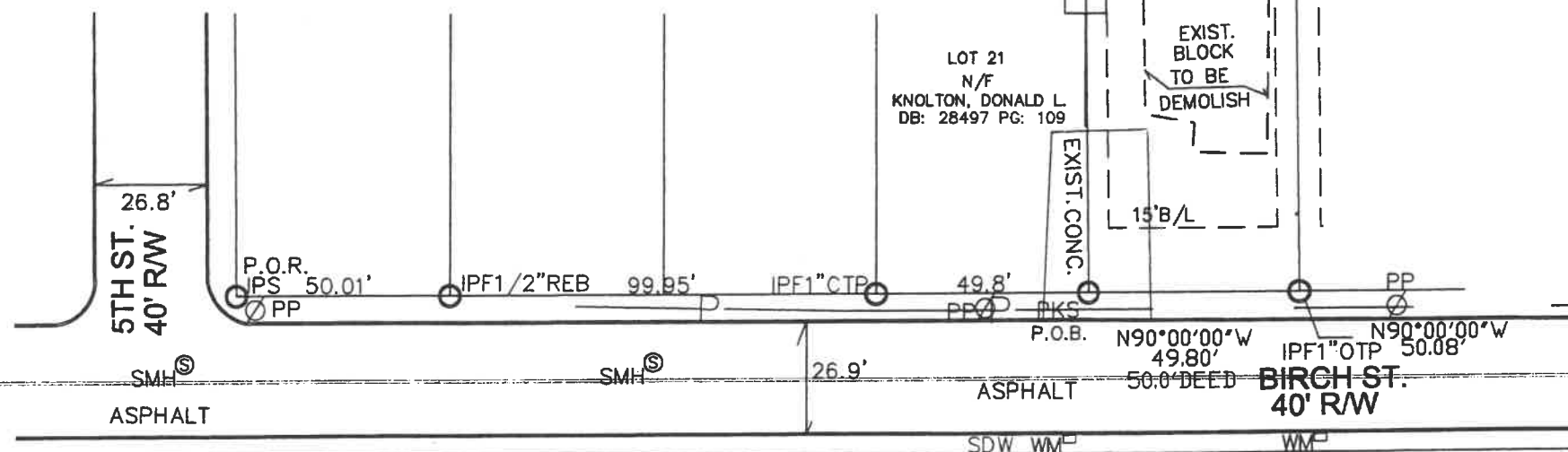


A'NGEL M. MARRERO P.L.S. #2642
Certified Design Professional # 4479

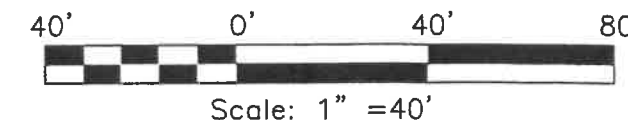
LEGENDS OF SYMBOLS

P.O.B.	POINT OF BEGINNING
P.O.R.	POINT OF REFERENCE
GM	GAS MARKER/GAS METER
OOTP	OPEN TOP PIPE
OIPF	IRON PIN FOUND
OIPS	IRON PIN SET 1/2"Ø REBAR W/ CAP
C/G	CURB AND GUTTER
P/L	PROPERTY LINE
R/W	RIGHT-OF-WAY
L.L.L.	LAND LOT LINE
CMF	CONCRETE MONUMENT FOUND
POL	POINT ON LINE
B.O.C.	BACK OF CURB
FNC	FENCE CORNER
EP	EDGE OF PAVEMENT
PC	PROPERTY CORNER
SP	STEEL POLE
PP	POWER POLE
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JB	EXISTING JUNCTION BOX
WV	EXISTING WATER VALVE
FH	EXISTING FIRE HYDRANT
T.B.M.	TEMPORARY BENCH MARK
B.F.E.	BASE FLOOD ELEVATION
M.F.E.	MINIMUM FLOOR ELEVATION
HW	HEADWALL
SWCB	SINGLE WALL CATCH BASIN
DWCB	DOUBLE WALL CATCH BASIN
OS	OUTLET STRUCTURE (RISER)
DI	DROP INLET
W	WATER METER
W	WATERLINE
SS	SANITARY SEWER LINE
OVP	OVERHEAD POWERLINE
UFO	UNDERGROUND FIBER OPTICS
G	GASLINE
LS	LANDSCAPING
PKS (F)	PK NAIL SET (FOUND)
EX-MH	EXISTING SANITARY SEWER MANHOLE
SSMH	SANITARY SEWER MANHOLE
S.S.E.	SANITARY EASEMENT
C/O	CLEAN-OUT
FDC	FIRE DEPARTMENT CONNECTOR
C.L.F.	CHAIN LINK FENCE
D.E.	DRAINAGE EASEMENT
R.R.E.	RAIL ROAD EASEMENT
H	HEIGHT
UE	UNDERGROUND ELECTRIC
AC	AIRCONDITION UNITS

REF. NORTH
COMPASS
SINGLE OBSERVATION



** PURSUANT TO RULE 180-6.09 OF THE GEORGIA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS, THE TERM "CERTIFY" OR "CERTIFICATION" MEANS TO DECLARE A PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.



REV.	DESCRIPTION	DATE
	SOUTHSIDE SURVEYING & PLANNING LSF000831	#205 CORPORATE CENTER DR. STOCKBRIDGE, GA 30281 Phone: (770) 320-8009 Fax: (770) 320-8098
	RETRACEMENT SURVEY FOR: TSLE, LLC	
	Land Lot 94 14TH Dist. FULTON County, GA	
	Drawn By: AMM	Scale: 1"=40'
	Dwg No: 2-180983	Date: 07/31/19

FLOOD NOTES

BASED ON THE INFORMATION SHOWN ON THE FLOOD HAZARD BOUNDARY MAPS FURNISHED BY FEMA, IT IS MY OPINION THAT THE PROPERTY SHOWN HEREON IS OUTSIDE THE 100-YEAR FLOOD HAZARD AREA.

PANEL# 13121C0367F DATED 09/18/2013

INDEX

1. SITE PLAN, GRADING, EROSION CONTROLS PLANS
- 2-4. EROSION CONTROL NOTES
- 5-6. EROSION CONTROL DETAILS
7. LANDSCAPING PLANS
8. CONSTRUCTION DETAILS

SURVEY ORDERED BY:

NAME: DAVID COOK
ADDRESS: 100 GLENDALE DR.
PEACHTREE, CITY, GA 30269
PHONE (24HR.): 770-231-7215

PARCEL ID# 14 009400091130

REF. DEED
D.B. 50699, PG. 32
LOT 22 BLOCK F OF
MORLAND PARK S/D
PB. 19, PG. 68
#261 BIRCH ST.

MAXIMUM LOT COVERAGE 70% OF TOTAL AREA
 $0.17 \times 70\% = 0.1190$ ACRES (5,183 SQ.FT.)

PROPOSED LOT COVERAGE

1. HOUSE 1,279 SQ.FT.
 2. CONC. DWY 841 SQ. FT.
- TOTAL 2,120 SQ. FT. (.05 ACRES) 29%

BUILDER NEEDS TO CONTACT WATER AND SEWER DEPARTMENT FOR SERVICES.

GENERAL NOTES

1. TOGETHER WITH ALL EASEMENTS RECORDED OR UNRECORDED.
2. LAST DATE OF FIELD SURVEY 07/31/19
3. ALL LINEAR DISTANCES SHOWN ON PLAT SHALL BE HORIZONTAL.
4. INFORMATION REGARDING THE PRESENCE, SIZE, AND LOCATION OF UNDERGROUND UTILITIES IS SHOWN HEREON. THE INFORMATION IS BASED ON THE LOCATION OF ABOVE GROUND APPURTENANCES, AVAILABLE SITE PLANS, AND PAINT PLACED BY UNDERGROUND SERVICES. "NO CERTIFICATION IS MADE AS TO THE ACCURACY"
5. ALL BEARINGS AND DISTANCES WERE MEASURED AND USED.
6. TOPOGRAPHY IS BASED ON FIELD RUN SURVEY BY SOUTHSIDE SURVEYING.
7. CONTOURS INTERVALS 2FT

ACTIVITY SCHEDULE

1. INSTALLATION OF EROSION CONTROL MEASURES
2. CLEARING AND GRADING
3. BUILDING CONSTRUCTION
5. DRIVEWAY
6. GRASS (TEMP.) (PERM.)
7. MAINTAIN EROSION CONTROL
8. CLEAN UP

MONTH

	1	2	3	4	5
1. INSTALLATION OF EROSION CONTROL MEASURES	-				
2. CLEARING AND GRADING	-				
3. BUILDING CONSTRUCTION					
5. DRIVEWAY					
6. GRASS (TEMP.) (PERM.)					
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8. CLEAN UP					

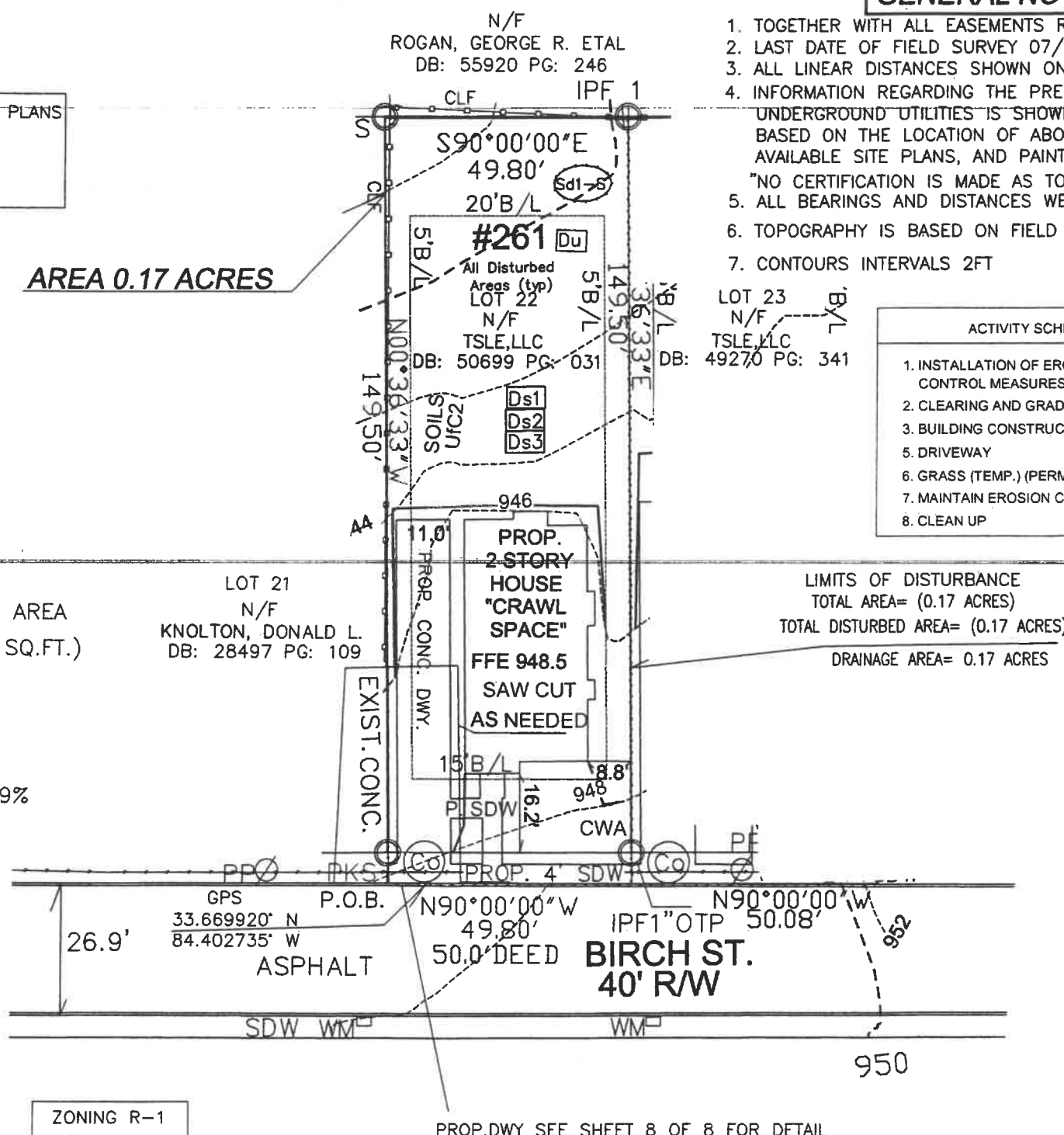
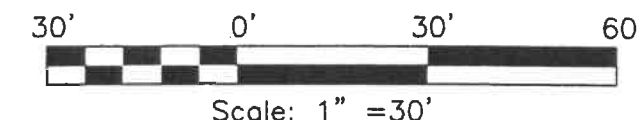
REF. NORTH
COMPASS
SINGLE OBSERVATION

LEGENDS OF SYMBOLS

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R.R.E.	RAIL ROAD EASEMENT
H	HEIGHT
UE	UNDERGROUND ELECTRIC
AC	AIRCONDITION UNITS

PROP. SLOPE "DRAINAGE"
O OAK TREE
P PINE TREE
---- EXIST. CONTOUR
-1000- PROP. CONTOUR

INITIAL PERIMETER ES&PC PLAN
INTERMEDIATE ES&PC PLAN
FINAL ES&PC PLAN



ZONING R-1
SETBACKS
FRONT 15'
SIDE 5'
REAR 20'



A'NGEL M. MARRERO P.L.S. #2642
Certified Design Professional # 4479

1.	REV.	DESCRIPTION	DATE
		SOUTHSIDE SURVEYING & PLANNING LSF000831	#205 CORPORATE CENTER DR. STOCKBRIDGE, GA 30281 Phone: (770) 320-8009 Fax: (770) 320-8098
		SITE PLAN, GRADING, EROSION CONTROLS PLANS FOR: TSLE, LLC	
		Land Lot 94	14TH Dist. FULTON County, GA
		Drawn By: AMM SR.	Scale: 1"=30'
		Dwg No: 2-180983SP	Date: 07/31/19

SITE



VICINITY MAP "NTS"

PARCEL ID# 14 009400091130
REF. DEED
D.B. 50699, PG. 32
LOT 22 BLOCK F OF
MORLAND PARK S/D
PB. 19, PG. 68
#261 BIRCH ST.

TERTIARY Permittee Operator Qualified Personnel
TSLE, LLC

DEVELOPER: Land Lot 94 14th Dist.
CONTRACTOR: DAVID COOK
Land Surveyors (NPDES):
Southside Surveying and Planning LLC.
#18 Atlanta Street
McDonough, GEORGIA 30253
(770)-320-8009
ADDRESS: 100 GLENDALE DR.
PEACHTREE, CITY, GA 30269
PHONE (24HR.): 770-231-7215

Description of Existing Land Use: Site Purpose and Construction Activity:

One Residential Home

Site Description and Location:

LOCATION: LAND LOT 94, 14th DISTRICT, FULTON COUNTY, GEORGIA
SITE AREA: 0.17 ACRES
TOTAL AREA OF DISTURBANCE: 0.17 ACRES
SOIL TYPES: UFc2 (Urban Land)

Wetlands:
THERE ARE NO WETLANDS LOCATED ON OR WITHIN 200' OF THIS SITE.

Receiving Waters
UNNAMED TRIBUTARY TO SOUTH RIVER

State Waters
THERE ARE NO STATE WATERS LOCATED ON OR WITHIN 200' OF THIS SITE.
NO BUFFERS

Drainage Description
Please refer to the Site Plan, prepared by Southside Surveying for more specific information concerning proposed drainage patterns and slopes.

Slopes After Grading
Maximum Slope is 3:1

Erosion Control Measures
Structural and nonstructural controls will be used onsite to prevent erosion during construction including temporary and permanent grassing, silt fencing.

1. Site Description

The proposed site will be used for 1 Residential home

Approximately 0.17 acres of disturbed land will be utilized for this development. There will be numerous structural and nonstructural controls to be implemented throughout the site. Temporary vegetation as well as permanent vegetation will be strongly utilized and are essential for the development of this lot.

2. Controls

The following controls will be implemented at the construction site:

1. Initial perimeter controls will include silt fencing, and a crushed stone pad to be used at the construction exit.
2. Intermediate grading and drainage BMPS will include temporary grassing and Silt Fence.
3. Final BMPs will include permanent grassing and landscaping.

Stabilization measures will be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Where the initiation of stabilization measures by the 14th day after construction activity temporarily or permanently ceases is precluded by snow cover or other adverse weather conditions, stabilization measures shall be initiated as soon as practicable. Where construction activity will resume on a portion of the site within 21 days from when activities ceased, (i.e., the total time period that construction activity is temporarily ceased is less than 21 days) then stabilization measures do not have to be initiated on that portion of the site by the 14th day after construction activity temporarily ceased.

WASTE DISPOSAL

ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF ONCE PER WEEK OR MORE OFTEN IF NECESSARY - AND TRASH WILL BE HAULED AS REQUIRED BY LOCAL REGULATIONS. NO CONSTRUCTION WASTE WILL BE BURIED ONSITE. ALL PERSONNEL WILL BE INSTRUCTED ON PROPER PROCEDURES FOR WASTE DISPOSAL. A NOTICE STATING THESE PRACTICES WILL BE POSTED AT THE JOB SITE AND THE CONTRACTOR WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

SPILL PREVENTION & CONTROL

PETROLEUM BASED PRODUCTS, INCLUDING FUELS, LUBRICANTS, TRANSFORMER OIL, TARS, ETC., KEPT ON SITE SHALL BE STORED IN TIGHTLY SEALED CONTAINERS THAT ARE CLEARLY LABELED. ALL ON-SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE. ASPHALT SUBSTANCES SHALL BE APPLIED AS LABELED. LOCAL, STATE, AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. TYPICAL EQUIPMENT AND MATERIALS FOR CLEANUP INCLUDE GLOVES, GOGGLES, RAGS, RESPIRATORS, CAT LITTER, SAWDUST, AND PROPERLY LABELED PLASTIC AND METAL WASTE CONTAINERS. SPILL PREVENTION PRACTICES AND PROCEDURES WILL BE REVIEWED AFTER A SPILL AND ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY FOLLOWING DISCOVERY. ALL SPILLS WILL BE REPORTED AS REQUIRED BY LOCAL, STATE, AND FEDERAL REGULATIONS. -- FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-426-2675. *FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-426-2675. *FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA EPD WILL BE CONTACTED WITHIN 24 HOURS. *FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1,320 GALLONS OF PETROLEUM IS STORED ONSITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 660 GALLONS. THE CONTRACTOR WILL NEED A SPILL PREVENTION CONTAINMENT AND COUNTERMEASURES PLAN PREPARED BY THAT LICENSED PROFESSIONAL.

OTHER CONTROLS

Certification

"I certify that the permittee's Erosion, Sedimentation and Pollution Control Plan provides for an appropriate and comprehensive system of best management practices required by the Georgia Water Quality Control Act and the document "Manual for Erosion and Sediment Control in Georgia" (Manual) published by the State Soil and Water Conservation Commission as of January 1 of the year in which the land-disturbing activity was permitted, provides for the sampling of the receiving water(s) or the sampling of the storm water outfalls and that the designed system of best management practices and sampling methods is expected to meet the requirements contained in the General NPDES Permit No. GAR 100003."

Georgia Licensed Professional #4479

Date

Certification

"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION."

ANGEL M. MARREO, PLS

Certified Design Professional # 4479

1.		
REV.	DESCRIPTION	DATE
SOUTHSIDE SURVEYING & PLANNING LSF000831		#205 CORPORATE CENTER DR. STOCKBRIDGE, GA 30281 Phone: (770) 320-8009 Fax: (770) 320-8098
EROSION CONTROLS NOTES FOR: TSLE, LLC		
Land Lot 94 14TH Dist.		FULTON County, GA
Drawn By: AMM SR.		Scale: N.T.S.
Dwg No: 2-180983SP		Date: 07/31/19

HAZARDOUS WASTES

OTHER CONTROLS

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. THE JOB SITE SUPERINTENDENT, WHO WILL ALSO BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED, WILL INSTRUCT SITE PERSONNEL IN THESE PRACTICES. MATERIAL SAFETY DATA SHEETS (MSDS's) FOR EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. A MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE SUCH PRODUCT IS STORED AND/OR USED AND ANOTHER COPY OF EACH MSDS WILL BE MAINTAINED IN THE ESPCP FILE AT THE JOB SITE CONSTRUCTION TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE USE OF THE MSDS SHEETS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING, PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES.

THE CONTRACTOR WILL IMPLEMENT THE SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN FOUND WITHIN THE ESPCP AND WILL TRAIN ALL PERSONNEL IN THE PROPER CLEANUP AND HANDLING OF SPILLED MATERIALS. NO SPILLED HAZARDOUS MATERIALS OR HAZARDOUS WASTES WILL BE ALLOWED TO COME IN CONTACT WITH STORMWATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORMWATER DISCHARGE WILL BE CONTAINED ON SITE UNTIL APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORMWATER. IT SHALL BE THE RESPONSIBILITY OF THE JOB SITE SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN THE USE OF THE SPCC PLAN.

PRODUCT SPECIFIC PRACTICES

PETROLEUM BASED PRODUCTS - CONTAINERS FOR PRODUCTS SUCH AS FUELS, LUBRICANTS, AND TARS WILL BE INSPECTED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ON-SITE VEHICLE AND MACHINERY DAILY INSPECTIONS AND REGULAR PREVENTATIVE MAINTENANCE OF SUCH EQUIPMENT. EQUIPMENT MAINTENANCE AREAS WILL BE LOCATED AWAY FROM STATE WATER, NATURAL DRAINS AND STORMWATER DRAINAGE INLETS. IN ADDITION, TEMPORARY FUELING TANKS SHALL HAVE A SECONDARY CONTAINMENT LINER TO PREVENT/MINIMIZE SITE CONTAMINATION. DISCHARGE OF OILS, FUELS, AND LUBRICANTS IS PROHIBITED. PROPERTY DISPOSAL METHODS WILL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND DISPOSAL AS REQUIRED BY LOCAL AND STATE REGULATIONS.

PAINTS/FINISHES/SOLVENTS - ALL PRODUCTS WILL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS WHEN NOT IN USE. EXCESS PRODUCT WILL NOT BE DISCHARGED TO THE STORMWATER COLLECTION SYSTEM. EXCESS PRODUCT, MATERIALS USED WITH THESE PRODUCTS AND PRODUCT CONTAINERS WILL BE DISPOSED OF ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

CONCRETE TRUCK WASHING - NO CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ONSITE.

FERTILIZER/HERBICIDES - THESE PRODUCTS WILL BE APPLIED AT RATES THAT DO NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS OR ABOVE THE GUIDELINES SET FORTH IN THE CROP ESTABLISHMENT OR IN THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. ANY STORAGE OF THESE MATERIALS WILL BE UNDER ROOF IN SEALED CONTAINERS.

BUILDING MATERIALS - NO BUILDING OR CONSTRUCTION MATERIALS WILL BE BURIED OR DISPOSED OF ONSITE. ALL SUCH MATERIALS WILL BE DISPOSED OF IN PROPER WASTE DISPOSAL PROCEDURES.

EROSION CONTROL NOTES:

1. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
2. ALL DISTURBED AREAS TO BE GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT.
3. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, LAND DISTURBING ACTIVITIES.
4. CUT AND FILL SLOPES SHALL NOT EXCEED 3H:1V ON ALL SLOPES
5. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
6. AMENDMENTS/ REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
7. INSPECTIONS BY CERTIFIED PERSONNEL PROVIDED BY THE TERTIARY PERMITTEE AND THE ASSOCIATED RECORDS SHALL BE KEPT ON SITE IN COMPLIANCE WITH GAR. 100003.
8. WASTE MATERIALS SHALL NOT BE DISCHARGED INTO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
9. IT IS THE RESPONSIBILITY OF THE TERTIARY PERMITTEE TO PREPARE AND FILE THE NOTICE OF INTENT.
10. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES & PERMITS.
11. THIS ES&PC PLAN IS IN COMPLIANCE WITH WASTE DISPOSAL & SANITARY SEWER REGULATIONS DURING AND AFTER CONSTRUCTION (SEE SHEET NPDES FOR WASTE DISPOSAL NOTES).
12. 67 CY/ AC. SEDIMENT STORAGE SUBSTANTIALLY HANDLED BY PERIMETER SD1-S.
0.17 X 67 = 11.4 C.Y. REQUIRED 410 LF X 0.083= 34.0 C/Y PROVIDED
13. SEDIMENT STORAGE VOLUME MUST BE IN PLACE PRIOR TO, AND DURING ALL LAND DISTURBANCE ACTIVITIES UNTIL FINAL STABILIZATION OF THE SITE HAS BEEN ACHIEVED.
14. CONTRACTOR MUST HAUL OFF ALL SOLID WASTE TO AN APPROVED LANDFILL. SOLID WASTE BURNING ON SITE IS PROHIBITED.
15. ADDITIONAL EROSION & SEDIMENT CONTROL MEASURES AND PRACTICES WILL BE INSTALLED IF DEEMED NECESSARY BY THE ON-SITE INSPECTOR.
16. EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED DAILY.
17. WEEKLY EROSION AND SEDIMENT CONTROL REPORTS SHALL BE SUBMITTED TO THE DEV. DEPT. STARTING WITH THE ISSUANCE OF THE DEV. PERMIT AND ENDING WHEN THE PROJECT IS RELEASED BY THE INSPECTOR.
18. WASHOUT OF THE CONCRETE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED.
SEE DETAIL SHEET # 5
19. No additional storm pipe added for this project.



ANGEL M. MARRERO P.L.S. #2642
Certified Design Professional # 4479

1.		
REV.	DESCRIPTION	DATE
SOUTHSIDE SURVEYING & PLANNING LSF000831		#18 ATLANTA ST. MCDONOUGH, GA 30253 Phone: (770) 320-8009 Fax: (770) 320-8098
EROSION CONTROLS NOTES FOR: TSLE, LLC		
Land Lot 94		14TH Dist. FULTON County, GA
Drawn By: AMM SR.		Scale: N.T.S.
Dwg No: 2-180983SP		Date: 07/31/19

c. Tertiary Permittee.

(1). Each day when any type of construction activity has taken place at a tertiary permittee's site, certified personnel provided by the tertiary permittee shall inspect: (a) all areas used by the tertiary permittee where petroleum products are stored, used, or handled for spills and leaks from vehicles and equipment; and (b) all locations at the tertiary permittee site where that permittee's vehicles enter or exit the site for evidence of off-site sediment tracking. These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.

(2). Measure rainfall once every 24 hours except any non-working Saturday, non-working Sunday and non-working Federal holiday until a Notice of Termination is submitted. Measurement of rainfall may be suspended if all areas of the site have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region.

(3). Certified personnel (provided by the tertiary permittee) shall inspect at least the following once every seven calendar days and within 24 hours of the end of a storm that is 0.5 inches rainfall or greater (unless such storm ends after 5:00 PM on any Friday or on any non-working Saturday, non-working Sunday or any non-working Federal holiday in which case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first): (a) disturbed areas of the tertiary permittee's construction site ; (b) areas used by the tertiary permittee for storage of materials that are exposed to precipitation ; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the tertiary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a

This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.

(4). Certified personnel (provided by the tertiary permittee) shall inspect at least once per month during the term of this permit (i.e., until a Notice of Termination is submitted to EPD) the areas of their sites that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.

(5). Based on the results of each inspection, the site description and the pollution prevention and control measures identified in the Erosion, Sedimentation and Pollution Control Plan, the Plan shall be revised as appropriate not later than seven (7) calendar days following each inspection. Implementation of such changes shall be made as soon as practical but in no case later than seven (7) calendar days following the inspection.

(6). A report of each inspection that includes the name(s) of certified personnel making each inspection, the date(s) of each inspection, construction phase (i.e., initial, intermediate or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IV.D.4.c(5) of the permit shall be made and retained at the site or be readily available at a designated alternate location until the entire site has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall be readily available by the end of the second business day and/or working day and shall identify all incidents of best management practices that have not been properly installed and/or maintained as described in the Plan. Where the report does not identify any incidents, the inspection report shall contain a certification that the best management practices are in compliance with the Erosion, Sedimentation and Pollution Control Plan. The report shall be signed in accordance with Part V.G.2. of this permit. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.

F. Retention of Records.

1. The primary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:

- a. A copy of all Notices of Intent submitted to EPD;
- b. A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit;
- c. The design professional's report of the results of the inspection conducted in accordance with Part IV.A.5. of this permit;
- d. A copy of all sampling information, results, and reports required by this permit;
- e. A copy of all inspection reports generated in accordance with Part IV.D.4.a. of this permit;
- f. A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2. of this permit; and
- g. Daily rainfall information collected in accordance with Part IV.D.4.a.(2). of this permit.

2. Each secondary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:

- a. A copy of all Notices of Intent submitted to EPD;
- b. A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit or the applicable portion of the Erosion, Sedimentation and Pollution Control Plan for their activities at the construction site required by this permit;
- c. A copy of all inspection reports generated in accordance with Part IV.D.4.b. of this permit; and
- d. A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2. of this permit.

3. Each tertiary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:

- c. The design professional's report of the results of the inspection conducted in accordance with Part IV.A.5. of this permit;
- d. A copy of all sampling information, results, and reports required by this permit;
- e. A copy of all inspection reports generated in accordance with Part IV.D.4.c. of this permit;
- f. A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2. of this permit; and
- g. Daily rainfall information collected in accordance with Part IV.D.4.c.(2). of this permit.

4. Copies of all Notices of Intent, Notices of Termination, inspection reports, sampling reports (including all calibration and maintenance records and all original strip chart recordings for continuous monitoring instrumentation) or other reports requested by the EPD, Erosion, Sedimentation and Pollution Control Plans, records of all data used to complete the Notice of Intent to be covered by this permit and all other records required by this permit shall be retained by the permittee who either produced or used it for a period of at least three years from the date that the NOT is submitted in accordance with Part VI of this permit. These records must be maintained at the permittee's primary place of business once the construction activity has ceased at the permitted site. This period may be extended by request of the EPD at any time upon written notification to the permittee.



A'NGEL M. MARRERO P.L.S. #2642
Certified Design Professional # 4479

1.		
REV.	DESCRIPTION	DATE
	SOUTHSIDE SURVEYING & PLANNING LSF000831	#205 CORPORATE CENTER DR. STOCKBRIDGE, GA 30281 Phone: (770) 320-8009 Fax: (770) 320-8098 4/8
EROSION CONTROLS NOTES FOR: TSLE, LLC		
Land Lot 94 14TH Dist. FULTON County, GA		
Drawn By: AMM SR.		Scale: N.T.S.
Dwg No: 2-180983SP		Date: 07/31/19

MATERIAL	RATE	DEPTH
STRAW OR HAY	2.5TON/ACRES	6"-10"
WOOD WASTE CHIPS, SAWDUST, BARK	6 TO 9TON/Ac	2"-3"
CUTBACK ASPHALT	1200GAL/Ac	_____
POLYETHYLENE FILM	SEE MANUFACTURER'S RECOMMENDATION	_____
GEOTEXTILE JUTE MATTING	SEE MANUFACTURER'S RECOMMENDATION	_____

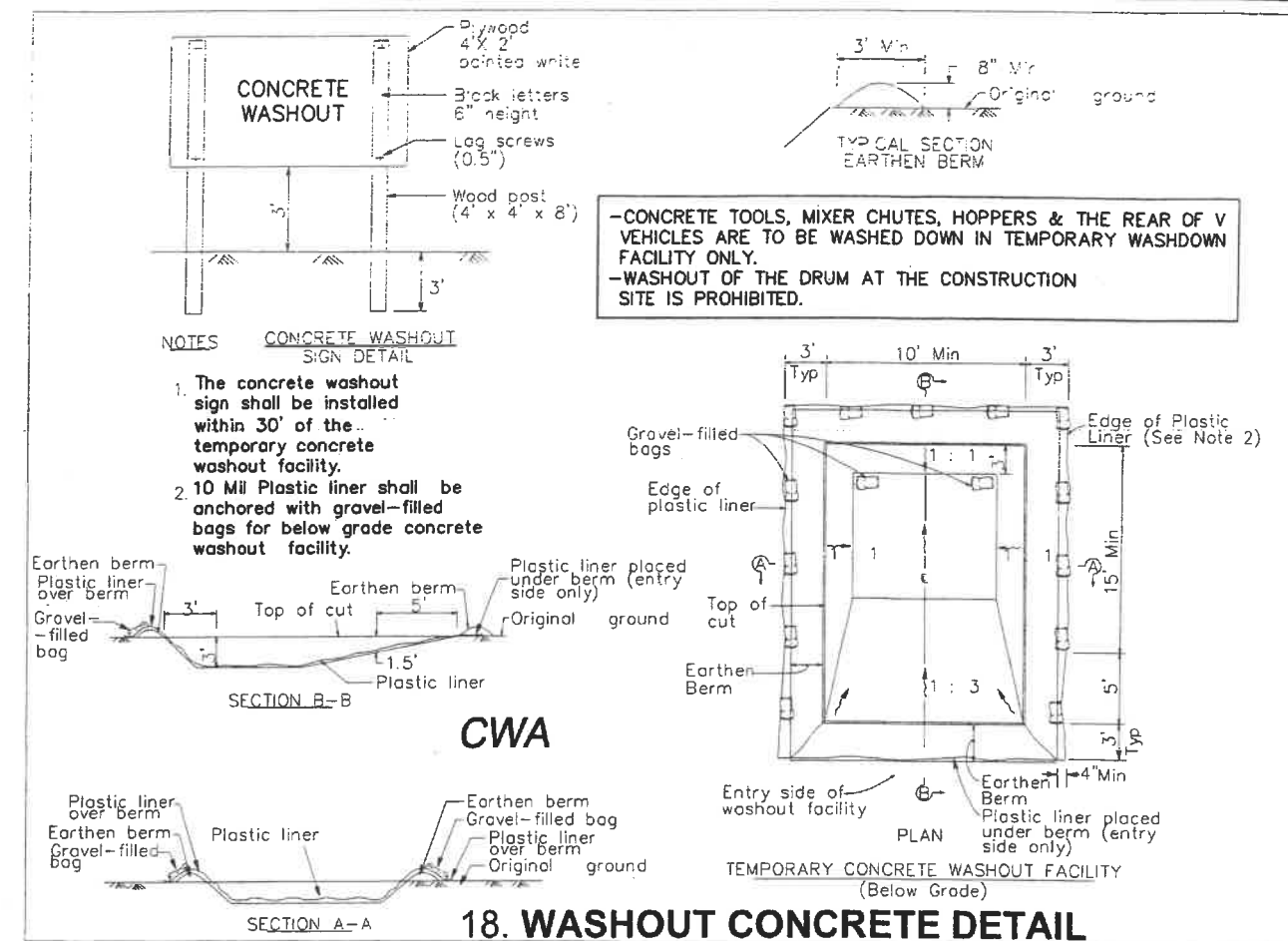
SPECIES	SEEDING RATE (LBS. PURE LIVE SEED)	PLANTING DATES
RYEGRASS (ANNUAL)	40 LBS/ACRE	AUGUST - APRIL
MILLET, PEARL	50 LBS/ACRE	APRIL - AUGUST
RYE	168 LBS/ACRE	AUGUST - DECEMBER

Ds3 - DISTURBED AREA STABILIZATION
(WITH PERMANENT VEGETATION)

SPECIES	SEEDING RATE (LBS. PURE LIVE SEED)	PLANTING DATES
BERMUDA, COMMON (HULLED)	6-10 LBS/ACRE	MARCH - JUNE
BERMUDA, COMMON (UN-HULLED)	6-10 LBS/ACRE	OCTOBER - FEBRUARY
FESCUE, TALL	30 -50 LBS/ACRE	AUGUST - OCTOBER MARCH - APRIL
LESPEDEZA	60 - 75 LBS/ACRE	JANUARY - DECEMBER

NOTES:

1. OTHER SPECIES MAY BE USED AS RECOMMENDED BY THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA"
2. MULCHING, LIME AND FERTILIZATION ARE REQUIRED. CONVENTIONAL PLANTING SHALL UTILIZE RECOMMENDED RATES DESCRIBED IN "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA"
3. HYDRAULIC SEEDING MIXTURES SHALL CONSIST OF APPROPRIATE AMOUNTS OF SEED, MULCH AND FERTILIZER AS DIRECTED BY THE ENGINEER.
4. SPECIES MAY BE MIXED TO OBTAIN OPTIMUM RESULTS.
5. APPLY AGRICULTURAL LIME AS PRESCRIBED BY SOIL TESTS OR AT A RATE OF 1 TO 2 TONS PER ACRE.



Sediment shall be removed once it has accumulated to one-half the original height of the barrier. Filter fabric shall be replaced whenever it has deteriorated to such an extent that the effectiveness of the fabric is reduced (approximately six months). Temporary sediment barriers shall remain in place until disturbed areas have been permanently stabilized. All sediment accumulated at the barrier shall be removed and properly disposed of before the barrier is removed.

CODE	PRACTICE	DETAIL	MAP SCALE	DESCRIPTION
Co	CONSTRUCTION EXIT			A CRUSHED STONE PAD LOCATED AT THE CONSTRUCTION SITE EXIT TO PROVIDE A PLACE FOR REMOVING MUD FROM TIRES TO PROTECT STREETS.
Ds1	DISTURBED AREA STABILIZATION WITH MULCHING ONLY			ESTABLISHING TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER.
Ds2	DISTURBED AREA STABILIZATION WITH TEMPORARY SEED			ESTABLISHING A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS
Ds3	DISTURBED AREA STABILIZATION WITH PERMANENT VEG.			ESTABLISHING A PERMANENT VEGETATIVE COVER
Sd1	SEDIMENT BARRIER TYPE-C		 HAYBALES OR SILT FENCE	A BARRIER TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. IT MAY BE SANDBAGS, BALES OR STRAW OR HAY, BRUSH, LOGS AND POLES. GRAVEL OR A SEDIMENT FENCE. THE BARRIERS ARE USUALLY TEMPORARY AND INEXPENSIVE.

	STORMDRAIN OUTLET PROTECTION			A paved or short section of riprap channel at the outlet of a storm drain system preventing erosion from the concentrated runoff.
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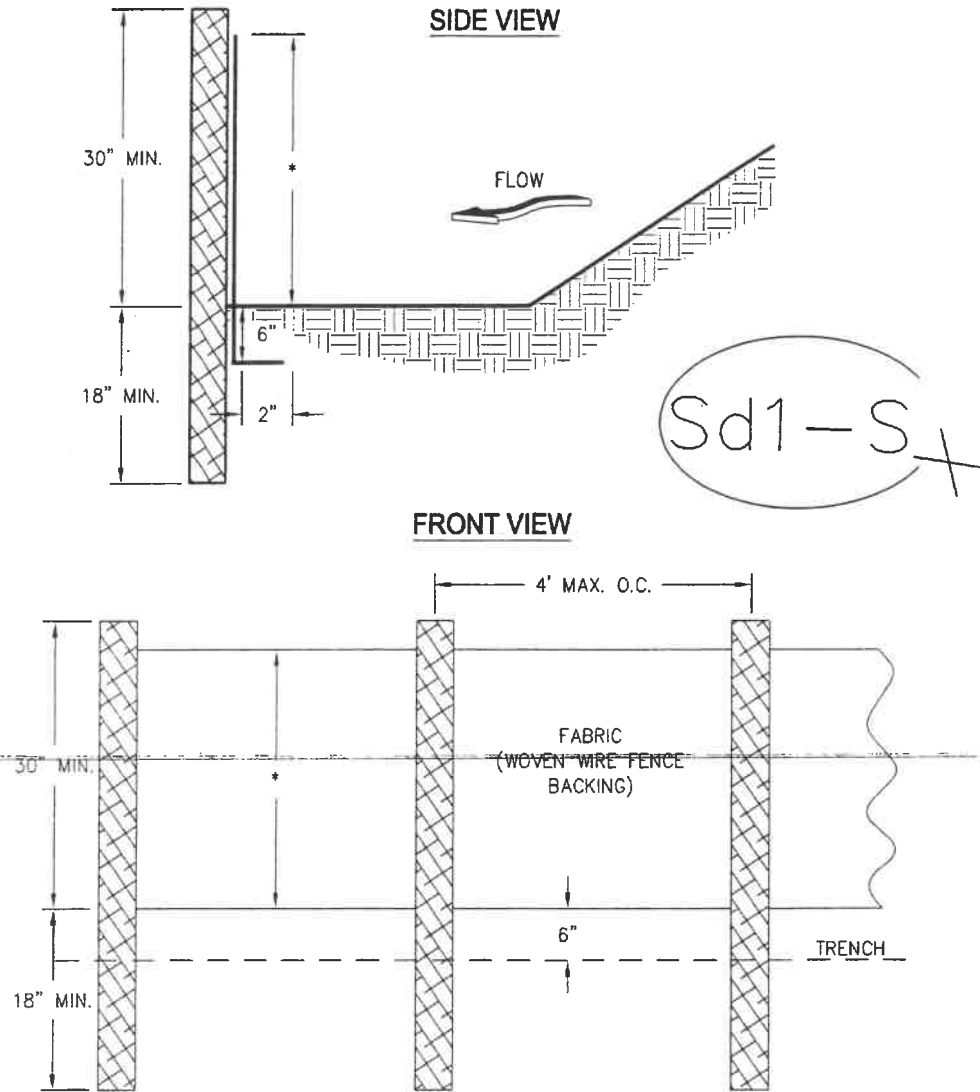
Du	DUST CONTROL ON DISTURBED AREAS		Du Controlling surface and air movement of dust on construction site, roadways and similar sites.
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A'NGEL M. MARRERO P.L.S. #2642
Certified Design Professional # 4479

1.		
REV.	DESCRIPTION	DATE
<u>SOUTHSIDE</u> SURVEYING & PLANNING LSF000831		#205 CORPORATE CENTER DR. STOCKBRIDGE, GA 30281 Phone: (770) 320-8009 Fax: (770) 320-8098
EROSION CONTROLS DETAILS FOR: TSLE, LLC		
Land Lot 94	14TH Dist.	FULTON County, GA
Drawn By: AMM SR.	Scale: N.T.S.	
Dwg No: 2-180983SP	Date: 07/31/19	

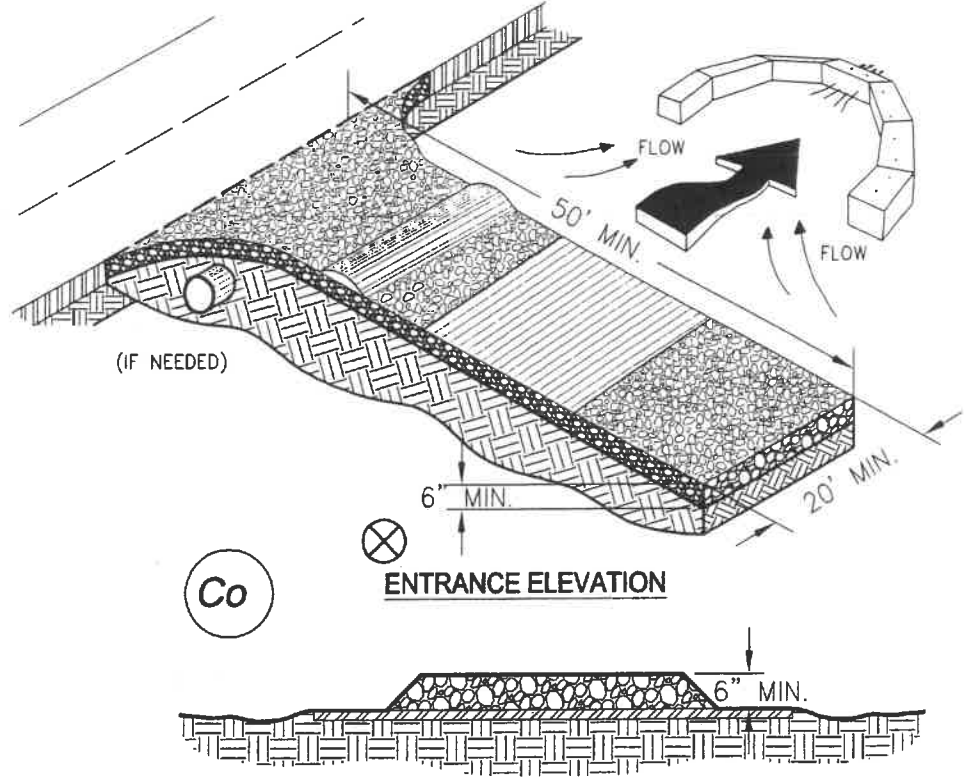
SILT FENCE - TYPE SENSITIVE



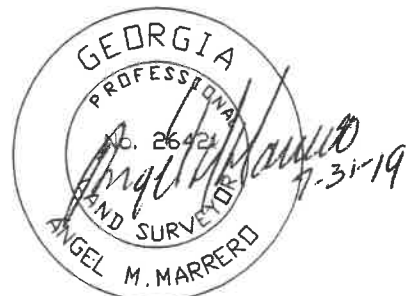
- NOTES:
- 1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
 - 2. HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

CRUSHED STONE CONSTRUCTION EXIT

EXIT DIAGRAM



- NOTES:
- 1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 - 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 - 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
 - 4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
 - 5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
 - 6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 - 7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
 - 8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 - 9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 - 10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.



ANGEL M. MARRERO P.L.S. #2642
Certified Design Professional # 4479

1.	REV.	DESCRIPTION	DATE
		SOUTHSIDE SURVEYING & PLANNING LSF000831	#205 CORPORATE CENTER DR. STOCKBRIDGE, GA 30281 Phone: (770) 320-8009 Fax: (770) 320-8098
		EROSION CONTROLS DETAILS FOR: TSLE, LLC	
		Land Lot 94	14TH Dist. FULTON County, GA
		Drawn By: AMM SR.	Scale: N.T.S.
		Dwg No: 2-180983SP	Date: 07/31/19

FLOOD NOTES

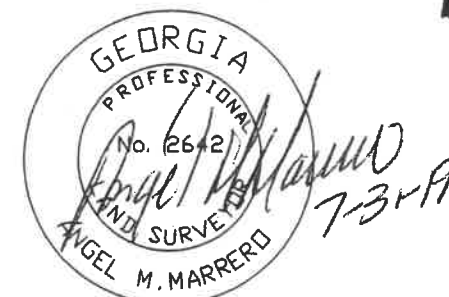
BASED ON THE INFORMATION SHOWN ON THE FLOOD HAZARD BOUNDARY MAPS FURNISHED BY FEMA, IT IS MY OPINION THAT THE PROPERTY SHOWN HEREON IS OUTSIDE THE 100-YEAR FLOOD HAZARD AREA.
 PANEL# 13121C0366F DATED 09/18/2013

ZONING RSF
 SETBACKS
 FRONT 15'
 SIDE 5'
 REAR 20'

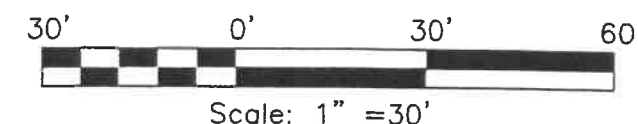
LEGENDS OF SYMBOLS

P.O.B. POINT OF BEGINNING
 P.O.R. POINT OF REFERENCE
 GM GAS MARKER/GAS METER
 OOTP OPEN TOP PIPE
 OIPF IRON PIN FOUND
 OIPS IRON PIN SET 1/2" REBAR W/ CAP
 C/G CURB AND GUTTER
 P/L PROPERTY LINE
 R/W RIGHT-OF-WAY
 L.L.L. LAND LOT LINE
 CMF CONCRETE MONUMENT FOUND
 POL POINT ON LINE
 B.O.C. BACK OF CURB
 FNC FENCE CORNER
 EP EDGE OF PAVEMENT
 PC PROPERTY CORNER
 SP STEEL POLE
 PP POWER POLE
 GW GUY WIRE
 JB EXISTING JUNCTION BOX
 WV EXISTING WATER VALVE
 FH EXISTING FIRE HYDRANT
 T.B.M. TEMPORARY BENCH MARK
 B.F.E. BASE FLOOD ELEVATION
 M.F.E. MINIMUM FLOOR ELEVATION
 HW HEADWALL
 SWCB SINGLE WALL CATCH BASIN
 DWCB DOUBLE WALL CATCH BASIN
 OS OUTLET STRUCTURE (RISER)
 DI DROP INLET
 W WATER METER
 W- WATERLINE
 SS- SANITARY SEWER LINE
 OVP OVERHEAD POWERLINE
 UFO UNDERGROUND FIBER OPTICS
 G GASLINE
 LS LANDSCAPING
 PKS (F) PK NAIL SET (FOUND)
 EX-MH EXISTING SANITARY SEWER MANHOLE
 SSMH SANITARY SEWER MANHOLE
 S.S.E. SANITARY EASEMENT
 C/O CLEAN-OUT
 FDC FIRE DEPARTMENT CONNECTOR
 C.L.F. CHAIN LINK FENCE
 D.E. DRAINAGE EASEMENT
 R.R.E. RAIL ROAD EASEMENT
 H HEIGHT
 UE UNDERGROUND ELECTRIC
 AC AIRCONDITION UNITS

REF. NORTH
 COMPASS
 SINGLE OBSERVATION



A'NGEL M. MARRERO P.L.S. #2642
 Certified Design Professional # 4479



PARCEL ID# 14 009400091130
 REF. DEED
 D.B. 50699, PG. 32
 LOT 22 BLOCK F OF
 MORLAND PARK S/D
 PB.19, PG. 68
 #261 BIRCH ST.

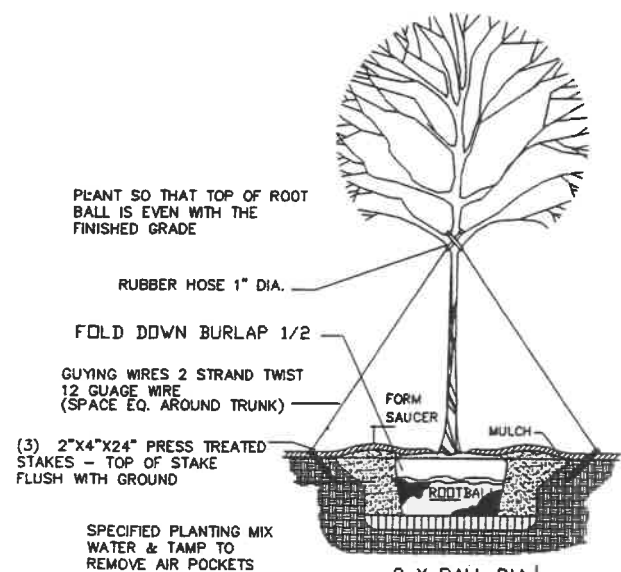
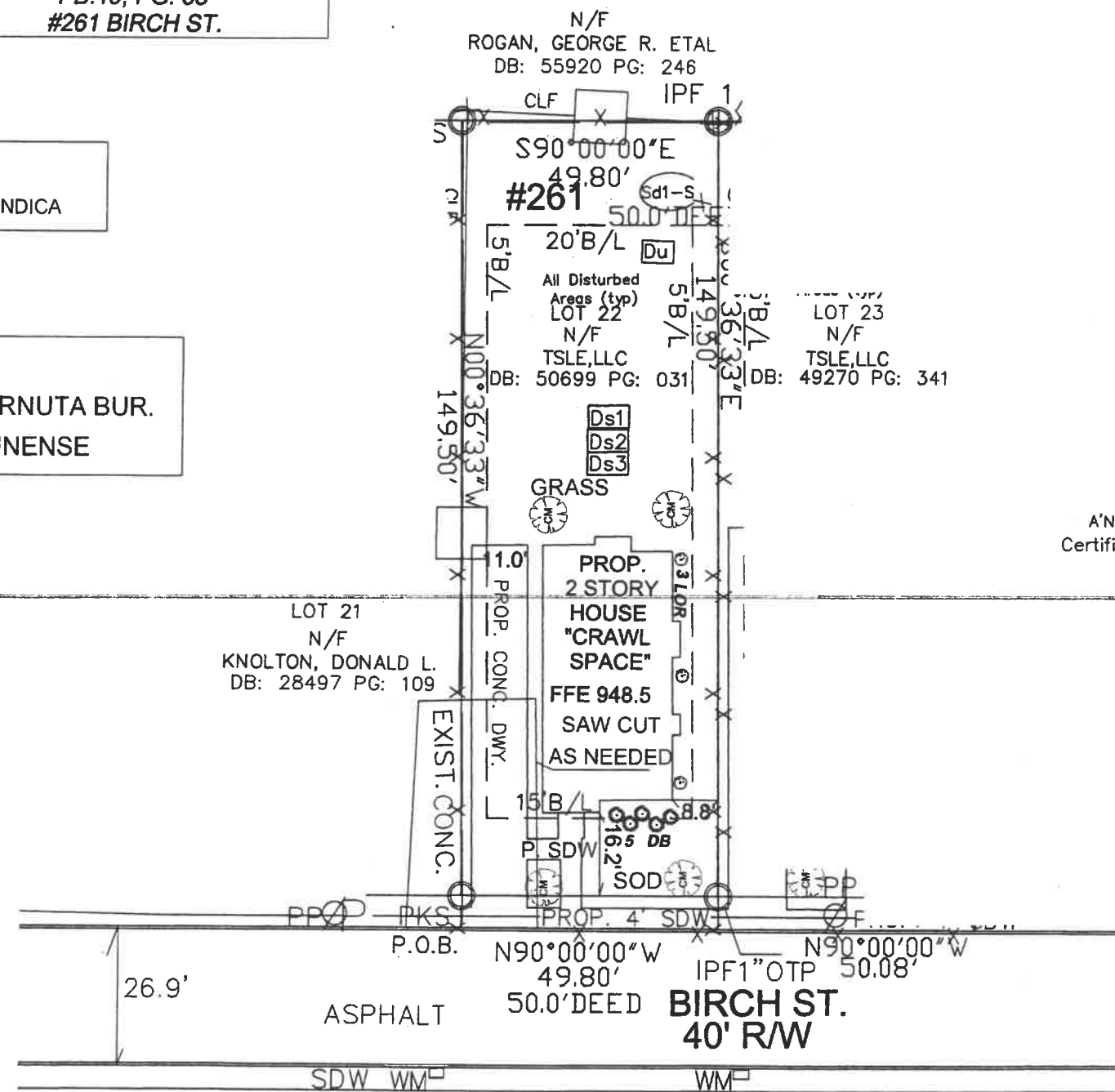
PLANT NAME
 UNDERSTORY TREES

SYM.
 CM NATCHEZ CRAPE MYRTLE/LAGERSTROEMIA INDICA

SHRUBS

SYM.
 DB DWARF BURFORDI HOLLY/ILEX CORNUTA BUR.
 LOR DWF. RED LOROPETALUM/LOR. CHINENSE

SOD BERMUDAGRASS
 GRASS - COMMON BERMUDA GRASS



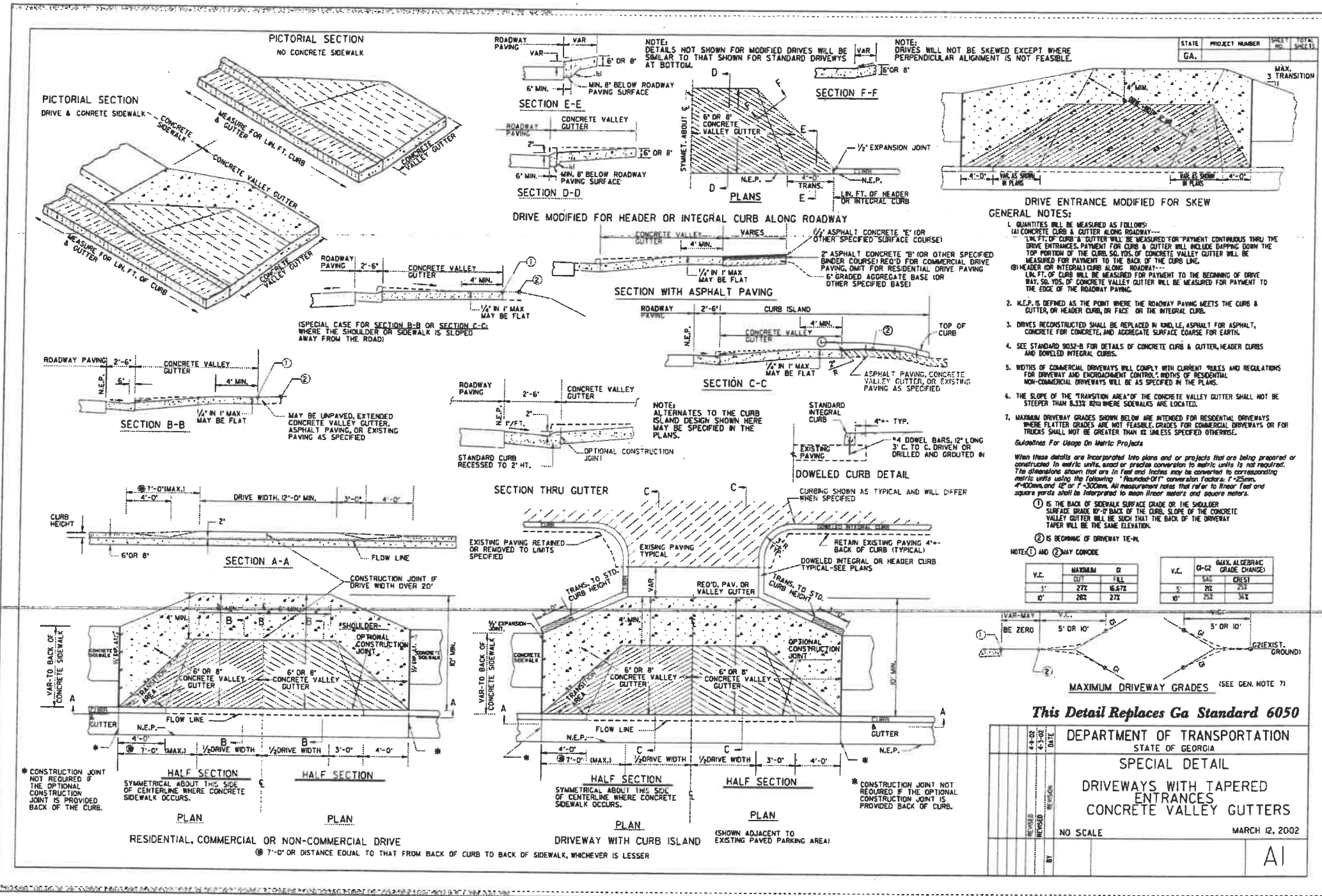
LARGE TREE PLANTING / STAKING DETAIL
 N.T.S.

1.	DESCRIPTION	DATE
REV.		
SOUTHSIDE SURVEYING & PLANNING LSF000831		#205 CORPORATE CENTER DR. STOCKBRIDGE, GA 30281 Phone: (770) 320-8009 Fax: (770) 320-8098
LANDSCAPING PLANS FOR: TSLE, LLC		
Land Lot 94 14TH Dist. FULTON County, GA		
Drawn By: AMM SR.		Scale: 1"=30'
Dwg No: 2-180983SP		Date: 02/19/19

LEGENDS OF SYMBOLS

P.O.B.	POINT OF BEGINNING
P.O.R.	POINT OF REFERENCE
GM	GAS MARKER/GAS METER
OOP	OPEN TOP PIPE
OIPF	IRON PIN FOUND
OIPS	IRON PIN SET 1/2"Ø REBAR W/ CAP
C/G	CURB AND GUTTER
P/L	PROPERTY LINE
R/W	RIGHT-OF-WAY
L.L.L.	LAND LOT LINE
CMF	CONCRETE MONUMENT FOUND
POL	POINT ON LINE
B.O.C.	BACK OF CURB
FNC	FENCE CORNER
EP	EDGE OF PAVEMENT
PC	PROPERTY CORNER
SP	STEEL POLE
PP	POWER POLE
GW	GUY WIRE
JB	EXISTING JUNCTION BOX
WV	EXISTING WATER VALVE
FH	EXISTING FIRE HYDRANT
T.B.M.	TEMPORARY BENCH MARK
B.F.E.	BASE FLOOD ELEVATION
M.F.E.	MINIMUM FLOOR ELEVATION
HW	HEADWALL
SWCB	SINGLE WALL CATCH BASIN
DWCB	DOUBLE WALL CATCH BASIN
OS	OUTLET STRUCTURE (RISER)
DI	DROP INLET
W	WATER METER
W	WATERLINE
SS	SANITARY SEWER LINE
OVP	OVERHEAD POWERLINE
UFO	UNDERGROUND FIBER OPTICS
G	GASLINE
LS	LANDSCAPING
PKS (F)	PK NAIL SET (FOUND)
EX-MH	EXISTING SANITARY SEWER MANHOLE
SSMH	SANITARY SEWER MANHOLE
S.S.E.	SANITARY EASEMENT
C/O	CLEAN-OUT
FDC	FIRE DEPARTMENT CONNECTOR
C.L.F.	CHAIN LINK FENCE
D.E.	DRAINAGE EASEMENT
R.R.E.	RAIL ROAD EASEMENT
H	HEIGHT
UE	UNDERGROUND ELECTRIC
AC	AIRCONDITION UNITS

HW HARDWOOD



PROPP. CONC. DWY AND SDW.



ANGEL M. MARRERO P.L.S. #2642
Certified Design Professional # 4479

REV.	DESCRIPTION	DATE
1.		
SOUTHSIDE SURVEYING & PLANNING LSF000831		#205 CORPORATE CENTER DR. STOCKBRIDGE, GA 30281 Phone: (770) 320-8009 Fax: (770) 320-8098
DETAILS FOR:		
TSLE, LLC		
Land Lot 94 14TH Dist. FULTON County, GA		
Drawn By: AMM SR.		Scale: N/A
Dwg No: 2-180983SP		Date: 07/31/19



SCALE : 1/4" = 1'-0"

THE TYPE OF EXTERIOR FINISH, THE INSTALLATION AND THE WATERPROOFING DETAILS ARE ALL TO BE THE FULL RESPONSIBILITY OF THE OWNER/BLDR. THIS DESIGNER ASSUMES NO RESPONSIBILITY FOR THE INTEGRITY OF THE BLDG ENVELOPE.



SCALE: 1/4" = 1'-0"



SCALE: 3/4" = 1'-0"



SCALE: 1/4" = 1'-0"

SCALE: $\frac{1}{4}'' = 1'-0''$

THE CONTRACTOR ASSUMES FULL RESPONSIBILITY
FOR THE CORRECT INSTALLATION OF ALL
EXTERIOR FINISHES AND WEATHERPROOFING.

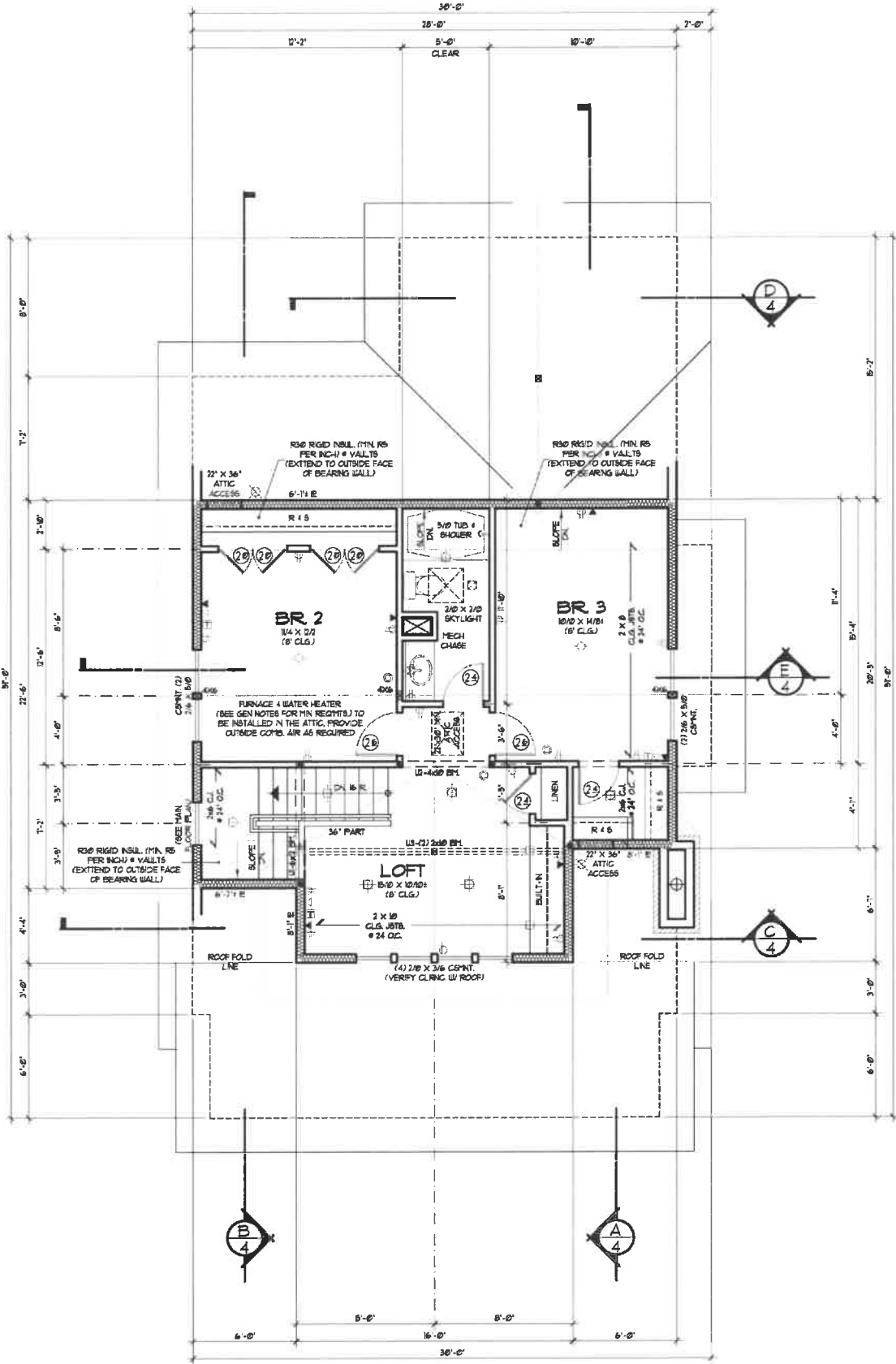
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25# SNOW LOAD

UPPER FLOOR	927 SQ. FT.
MAIN FLOOR	1150 SQ. FT.
TOTAL AREA	1777 SQ. FT.

5188

1



UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

IF LATERAL ENGINEERING IS REQUIRED, REFER TO ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS

LEGEND

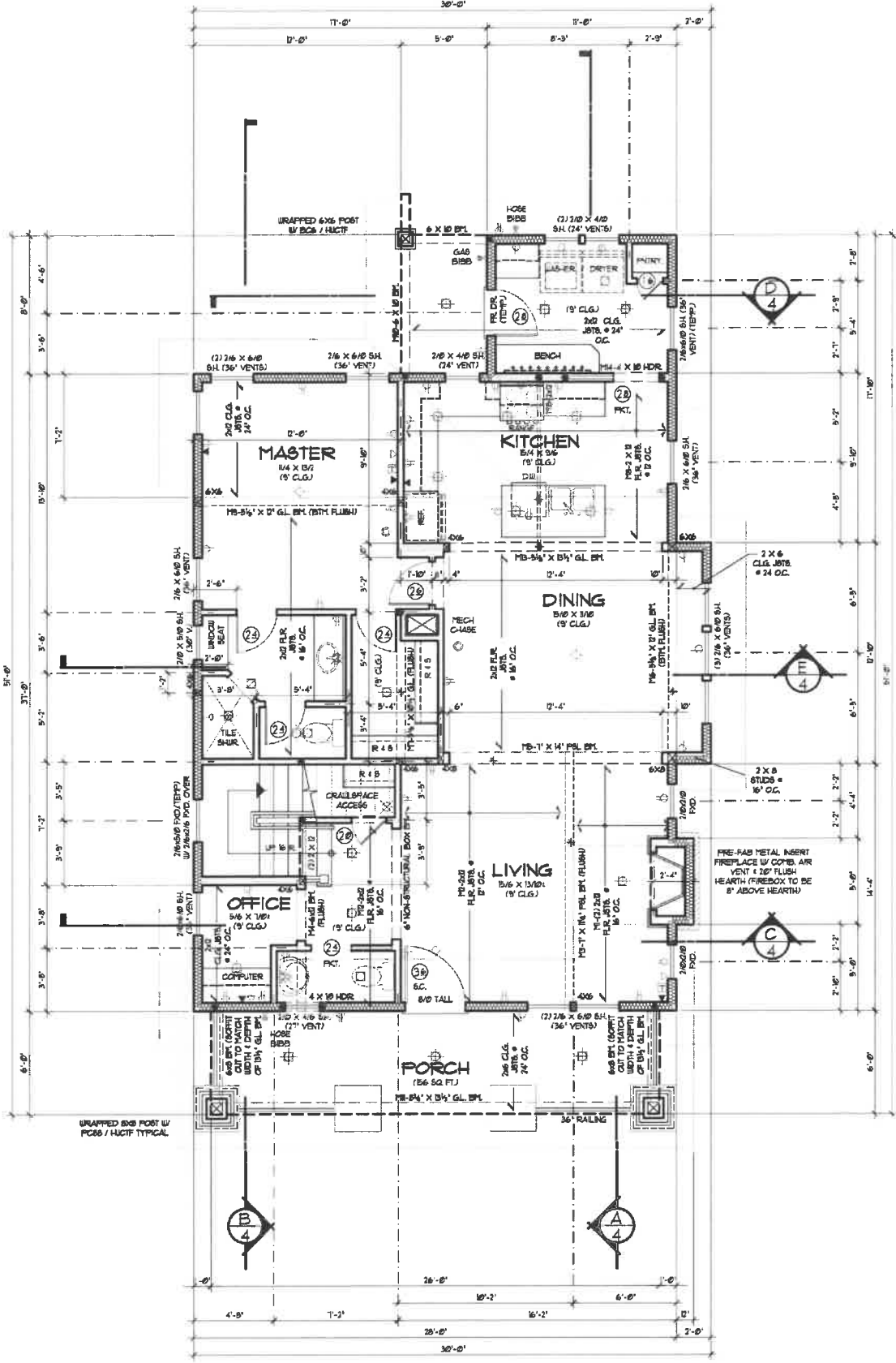
- RECESSED LIGHT
- RECESSED DIRECTIONAL LIGHT FIXTURE
- WALL-MOUNT LIGHT
- SURFACE-MOUNT LIGHT
- FLOOD LIGHT
- SURFACE MOUNTED FLUORESCENT
- RECESSED EXHAUST FAN VENTED TO THE EXTERIOR
- CEILING FAN
- DUPLEX OUTLET
- CEILING MOUNTED DUPLEX OUTLET
- 220V OUTLET
- FLUSH FLOOR MOUNTED OUTLET (VERIFY LOC.)
- TELEPHONE OUTLET
- DATA OUTLET
- TELEVISION OUTLET
- SPEAKER LOCATION
- SMOKE / CO DETECTOR (SEE GENERAL NOTES FOR OTHER SPECS)
- BEARING POINT LOCATION (PROVIDE SOLID BEARING MIN. OF MEMBER WIDTH UNLESS NOTED)
- POINT LOAD FROM ABOVE
- 4 X 4 POST FROM ROOF HIP VALLEY OR RIDGE DOWN TO BEARING POINT ON WALL BELOW (MAX. OF 45' FROM VENT)
- BEARING WALL SUPPORTING STRUCTURE ABOVE
- 4 X 10 HDR + BEARING WALL INT. DOOR 4 OPENINGS WITH 12" X 2" SUPPORT EA END (UNLESS NOTED)
- DROPPED STRUCT. MEMBER BEARING ON WALL

ENERGY ENVELOPE KEY

- WALL/FLOOR/CEILING INSULATION
- FOUNDATION INSULATION
- (SEE SHEET 15' FOR INSULATION VALUES)

C.O. DET LOCATION

CARBON MONOXIDE ALARMS SHALL BE LOCATED IN EACH BEDROOM OR WITHIN 5 FEET OUTSIDE OF EACH BEDROOM DOOR, AT EVERY FLOOR LEVEL IN BEDROOMS (SEE SHEET 15' FOR ADDL INFO)



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

IF LATERAL ENGINEERING IS REQUIRED, REFER TO ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS

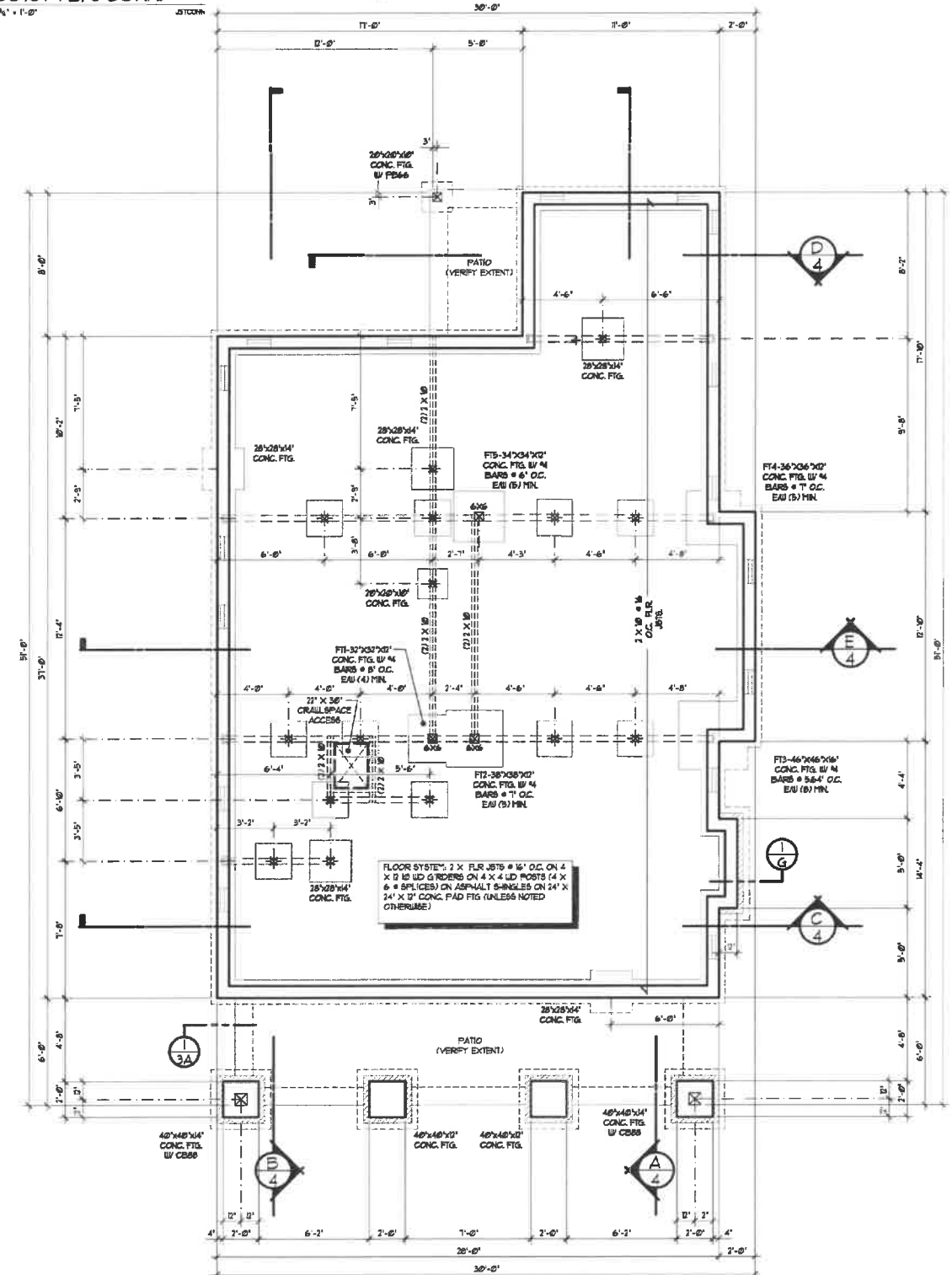
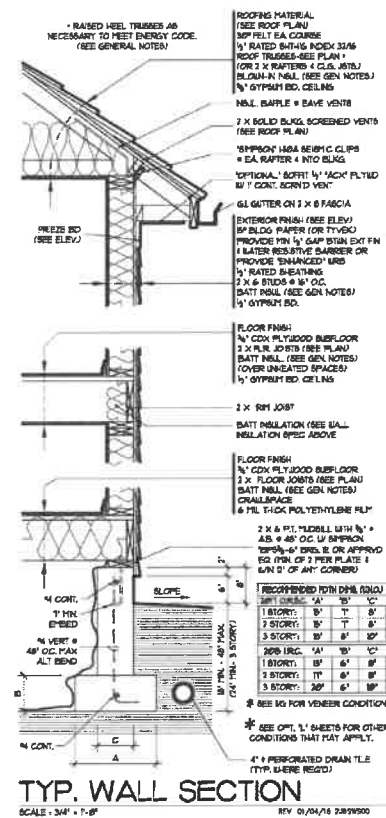
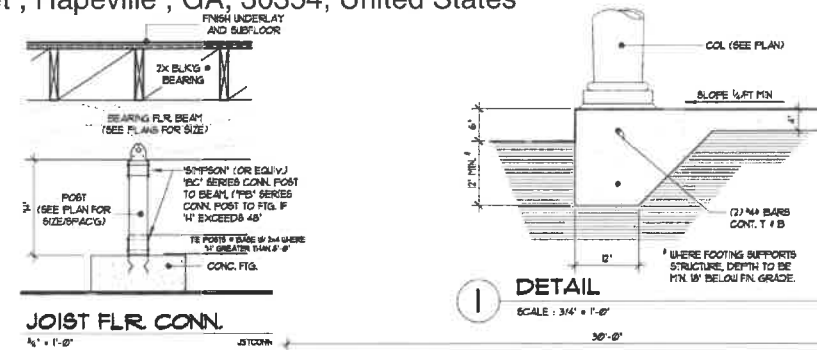
THE HOUSE DESIGNERS
Sales & Questions: (855) 214-2242

25# SNOW LOAD

AREA	AREA	AREA
AREA	AREA	AREA
AREA	AREA	AREA
AREA	AREA	AREA

5188
2

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FOUNDATION PLAN

IF LATERAL ENGINEERING IS REQUIRED, REFER TO
ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS



ROOF DESIGN NOTES

THIS ROOF HAS BEEN DESIGNED TO SUPPORT CEDAR SHAKE ROOFING MATERIALS AND COMPOSITION ROOFING OF VARIOUS TYPES. THE TABLE BELOW DESCRIBES IN DETAIL THE ASSUMPTIONS MADE IN THE DESIGN OF THE ROOF STRUCTURE OF THIS BUILDING.

ROOF LIVE LOAD (SNOW)	25.0 PSF	3.75 PSF	ACTUAL (NET)
FRAMING MATERIALS:	2.0 PSF	3.75 PSF	ACTUAL (GROSS)
SHEATHING MATERIALS:	1.5 PSF	6.75 PSF	SAFETY FACTOR
MISC. MATERIALS:	1.5 PSF	4.00 PSF	PSF TL
ROOFING TYPE	DRY / LET		
MED SHAKES	2.0 / 3.75 PSF		
HVY SHAKES	3.0 / 4.0 PSF		
SHINGLES	2.0 / 3.75 PSF		
COMPOSITION	2.5 / 3.0 PSF		

GYPSUM MATERIALS: ADD 2.0 PSF FOR VAULTED AREAS (COVERED IN SAFETY FACTOR)

NOTE: HPFS, VALLEYS & RIDGES SHALL NOT BE LESS IN DEPTH THAN THE END CUT OF THE RAFTERS (FIELD VERIFY ALL CONDITIONS)

LEGEND

- 4 X 4 WOOD POST FROM RIDGE (N/P OR VALLEY) TO WALL BELOW MIN (12) 2 X 4 RECD AT WALL BEARING POINT. NOTE: SPLICES IN HPFS & VALLEYS CAN ONLY OCCUR AT POST DOWN LOCATIONS
- 48 G.G. N. ROOF VENTS (SEE VENT TABLE FOR QTY. - 50%/60% SHOWN)
- 2X4 PURLIN WALL TO EPP OR WALL BELOW (FRAMING AT 24" O.C.)
- SHADED AREA DENOTES ROOF FRAMED OVER RAFTERS BELOW
- DOWNSPOUTS

COMP/SHAKE ROOF

PER 2004 U.S.P.A. TEL. RR-28 2 OF L240 29" LL & 8" DL

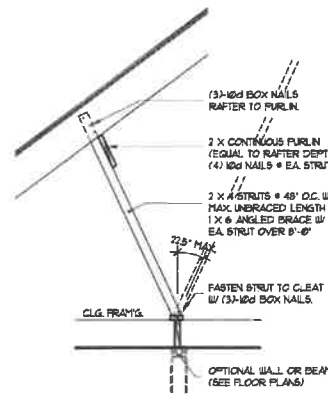
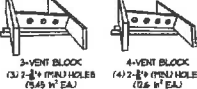
SIZE	SPACING	SPAN
2x6	12" O.C.	14'-0"
	16" O.C.	12'-0"
	24" O.C.	9'-0"
2x8	12" O.C.	17'-8"
	16" O.C.	15'-4"
	24" O.C.	12'-6"
2x10	12" O.C.	21'-1"
	16" O.C.	18'-8"
	24" O.C.	15'-3"
2x12	12" O.C.	25'-1"
	16" O.C.	21'-8"
	24" O.C.	17'-5"

ROOF VENTS

% EAVE	AREA (sq ft)	% ROOF	AREA (sq ft)	3-VENT	4-VENT	48 IN
50	373.0	50	373.0	34	26	1
40	298.4	60	367.6	21	15	8
30	193.5	70	452.3	21	15	8
20	129.2	80	516.9	14	10	11

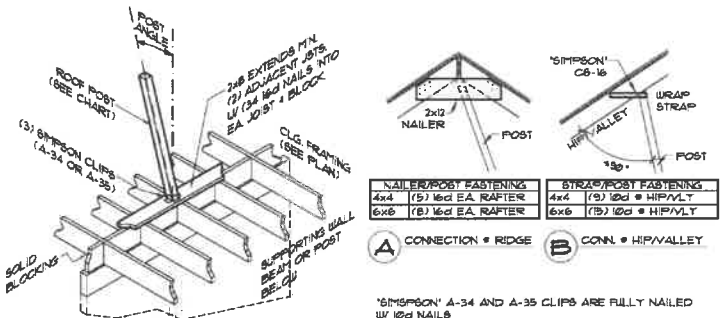
PER 2003 I.R.C. - 1506.2 MINIMUM AREA: THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/600 OF THE AREA OF THE SPACE VENTILATED. PROVIDED AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED WITH VENT OPENINGS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE THE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATING PROVIDED BY EAVE OR CORNICE VENTS IN CLIMATE ZONE 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

EAVE BLOCKING



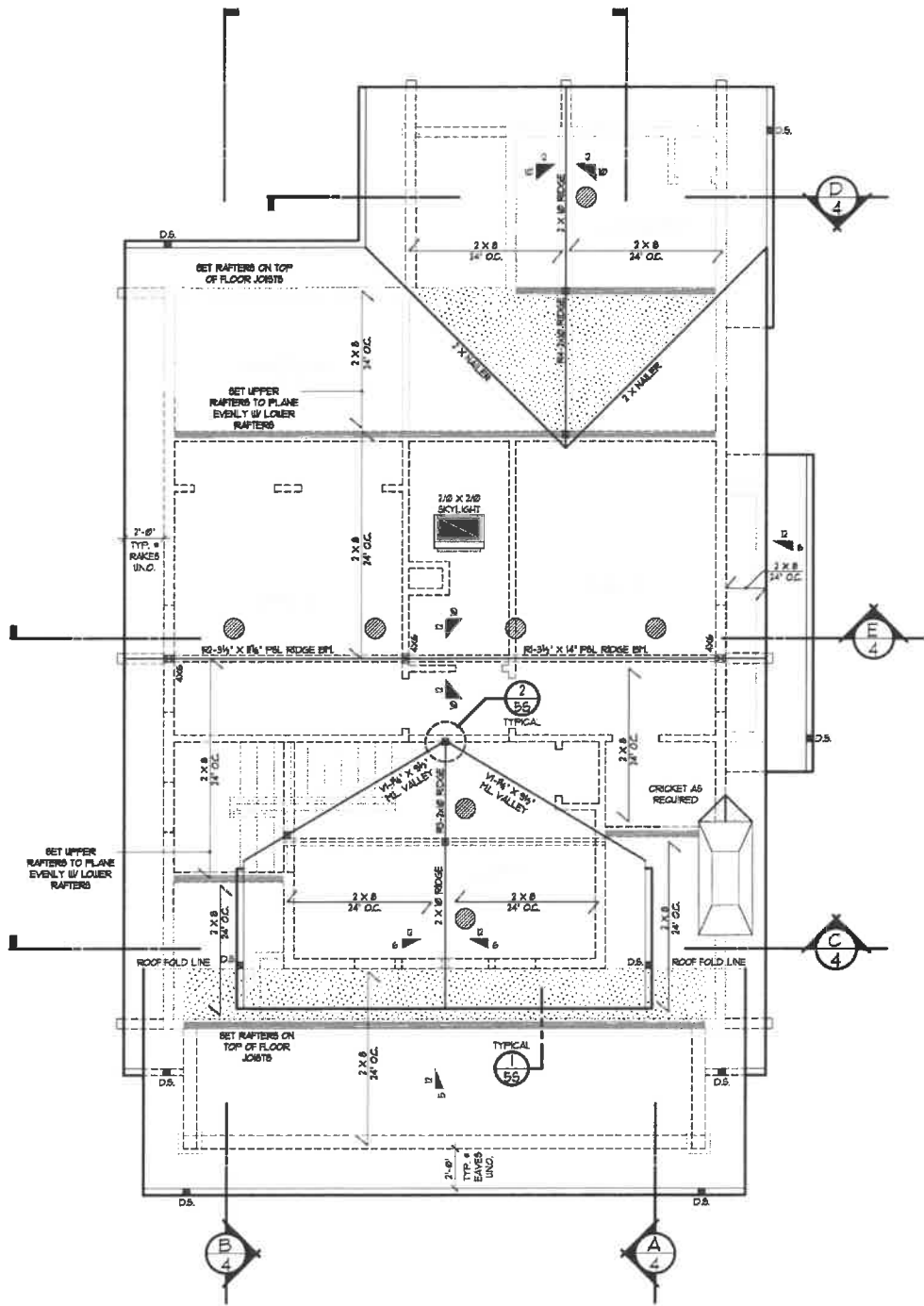
PURLIN DETAIL

SCALE: N.T.S. PURLIN



ROOF SUPPORT POST

SCALE: N.T.S. CONNECTION AT BASE WITH OPTIONS AT ROOF MEMBER



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

IF LATERAL ENGINEERING IS REQUIRED, REFER TO ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS.

25# SNOW LOAD

UPPER FLOOR	827 SQ. FT.
MAIN FLOOR	1100 SQ. FT.
TOTAL AREA	1927 SQ. FT.

DISCLAIMER

THESE PLANS HAVE BEEN LICENSED TO THE CUSTOMER FOR USE IN THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE SUBJECT TO THE CONDITIONS OF LICENSE ACCEPTED BY THE CUSTOMER. MULTI-USE BUILDING LICENSES ARE AVAILABLE. USE OF ANY PART OF THE PLANS BY ANY PARTY OTHER THAN THE CUSTOMER, EXCEPT ON LOAN BY THE CUSTOMER TO THIRD PARTIES NECESSARY TO ASSIST THE CUSTOMER IN USING THE PLANS, SUCH AS CONTRACTORS AND SUBCONTRACTORS, IS STRICTLY PROHIBITED. THE PLANS MAY NOT BE REPRODUCED, COPIED, IN WHOLE OR IN PART, WITHOUT WRITTEN PERMISSION FROM ALAN HASCORD DESIGN ASSOCIATES, INC. (HASCORD), WHICH RETAINS COPYRIGHTS TO, & OWNERSHIP OF THE PLANS.

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UNAUTHORIZED USE OR COPIING OF THESE PLANS, OR THE DESIGN THEY DEPICT, INFRINGES RIGHTS UNDER THE COPYRIGHT ACT. INFRINGERS FACE LIABILITIES THAT INCLUDE PENALTIES OF UP TO \$500,000 PER WORK INFRINGED, AND UP TO \$100,000 PER WORK INFRINGING WILLFULLY.

GENERAL NOTES:

1. ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) AND/OR ANY APPLICABLE STATE, COUNTY OR LOCAL JURISDICTION.

2. THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION. OWNER/CONTRACTOR SHALL VERIFY WITH LOCAL BLDG. DEPT. WHICH CLIMATE ZONE THE PROJECT WILL BE BUILT IN.

3. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.

DESIGN LOADS:	USE	LL	DL
UNFIN. ATTIC W/ STORAGE	UNFIN. ATTIC W/ LIMITED STORAGE	10	10
HABITABLE ATTICS + ATTICS SERVED BY STAIR	HABITABLE ATTICS + ATTICS SERVED BY STAIR	30	30
BALCONIES EXTERIOR + DECK	BALCONIES EXTERIOR + DECK	40	40
GUARD RAIL + HAND RAILS	GUARD RAIL + HAND RAILS	30	30
PASSENGER VEHICLE GARAGE (OVERHANG)	PASSENGER VEHICLE GARAGE (OVERHANG)	30	30
ROOFS OTHER THAN SLEEPING ROOFS	ROOFS OTHER THAN SLEEPING ROOFS	30	30
WIND	WIND	30	30

(IF YOUR LOCAL AREA REQUIRES DIFFERENT DESIGN LOADS CONSULT WITH A LOCAL QUALIFIED PROFESSIONAL TO DETERMINE THE APPROPRIATE REVISIONS.)

5. INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT:

CLIMATE ZONE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100																																																																																																																			
REINFORCEMENT U-FACTOR	NR	0.40	0.35	0.30	0.25	0.20	0.15	0.10	0.05	0.00	0.05	0.10	0.15	0.20	0.25	0.30	0.35	0.40	0.45	0.50	0.55	0.60	0.65	0.70	0.75	0.80	0.85	0.90	0.95	1.00	1.05	1.10	1.15	1.20	1.25	1.30	1.35	1.40	1.45	1.50	1.55	1.60	1.65	1.70	1.75	1.80	1.85	1.90	1.95	2.00	2.05	2.10	2.15	2.20	2.25	2.30	2.35	2.40	2.45	2.50	2.55	2.60	2.65	2.70	2.75	2.80	2.85	2.90	2.95	3.00	3.05	3.10	3.15	3.20	3.25	3.30	3.35	3.40	3.45	3.50	3.55	3.60	3.65	3.70	3.75	3.80	3.85	3.90	3.95	4.00	4.05	4.10	4.15	4.20	4.25	4.30	4.35	4.40	4.45	4.50	4.55	4.60	4.65	4.70	4.75	4.80	4.85	4.90	4.95	5.00	5.05	5.10	5.15	5.20	5.25	5.30	5.35	5.40	5.45	5.50	5.55	5.60	5.65	5.70	5.75	5.80	5.85	5.90	5.95	6.00	6.05	6.10	6.15	6.20	6.25	6.30	6.35	6.40	6.45	6.50	6.55	6.60	6.65	6.70	6.75	6.80	6.85	6.90	6.95	7.00	7.05	7.10	7.15	7.20	7.25	7.30	7.35	7.40	7.45	7.50	7.55	7.60	7.65	7.70	7.75	7.80	7.85	7.90	7.95	8.00	8.05	8.10	8.15	8.20	8.25	8.30	8.35	8.40	8.45	8.50	8.55	8.60	8.65	8.70	8.75	8.80	8.85	8.90	8.95	9.00	9.05	9.10	9.15	9.20	9.25	9.30	9.35	9.40	9.45	9.50	9.55	9.60	9.65	9.70	9.75	9.80	9.85	9.90	9.95	10.00					
GLAZING U-FACTOR	NR	0.15	0.10	0.05	0.00	0.05	0.10	0.15	0.20	0.25	0.30	0.35	0.40	0.45	0.50	0.55	0.60	0.65	0.70	0.75	0.80	0.85	0.90	0.95	1.00	1.05	1.10	1.15	1.20	1.25	1.30	1.35	1.40	1.45	1.50	1.55	1.60	1.65	1.70	1.75	1.80	1.85	1.90	1.95	2.00	2.05	2.10	2.15	2.20	2.25	2.30	2.35	2.40	2.45	2.50	2.55	2.60	2.65	2.70	2.75	2.80	2.85	2.90	2.95	3.00	3.05	3.10	3.15	3.20	3.25	3.30	3.35	3.40	3.45	3.50	3.55	3.60	3.65	3.70	3.75	3.80	3.85	3.90	3.95	4.00	4.05	4.10	4.15	4.20	4.25	4.30	4.35	4.40	4.45	4.50	4.55	4.60	4.65	4.70	4.75	4.80	4.85	4.90	4.95	5.00	5.05	5.10	5.15	5.20	5.25	5.30	5.35	5.40	5.45	5.50	5.55	5.60	5.65	5.70	5.75	5.80	5.85	5.90	5.95	6.00	6.05	6.10	6.15	6.20	6.25	6.30	6.35	6.40	6.45	6.50	6.55	6.60	6.65	6.70	6.75	6.80	6.85	6.90	6.95	7.00	7.05	7.10	7.15	7.20	7.25	7.30	7.35	7.40	7.45	7.50	7.55	7.60	7.65	7.70	7.75	7.80	7.85	7.90	7.95	8.00	8.05	8.10	8.15	8.20	8.25	8.30	8.35	8.40	8.45	8.50	8.55	8.60	8.65	8.70	8.75	8.80	8.85	8.90	8.95	9.00	9.05	9.10	9.15	9.20	9.25	9.30	9.35	9.40	9.45	9.50	9.55	9.60	9.65	9.70	9.75	9.80	9.85	9.90	9.95	10.00										
GLAZING SHGC	NR	0.65	0.60	0.55	0.50	0.45	0.40	0.35	0.30	0.25	0.20	0.15	0.10	0.05	0.00	0.05	0.10	0.15	0.20	0.25	0.30	0.35	0.40	0.45	0.50	0.55	0.60	0.65	0.70	0.75	0.80	0.85	0.90	0.95	1.00	1.05	1.10	1.15	1.20	1.25	1.30	1.35	1.40	1.45	1.50	1.55	1.60	1.65	1.70	1.75	1.80	1.85	1.90	1.95	2.00	2.05	2.10	2.15	2.20	2.25	2.30	2.35	2.40	2.45	2.50	2.55	2.60	2.65	2.70	2.75	2.80	2.85	2.90	2.95	3.00	3.05	3.10	3.15	3.20	3.25	3.30	3.35	3.40	3.45	3.50	3.55	3.60	3.65	3.70	3.75	3.80	3.85	3.90	3.95	4.00	4.05	4.10	4.15	4.20	4.25	4.30	4.35	4.40	4.45	4.50	4.55	4.60	4.65	4.70	4.75	4.80	4.85	4.90	4.95	5.00	5.05	5.10	5.15	5.20	5.25	5.30	5.35	5.40	5.45	5.50	5.55	5.60	5.65	5.70	5.75	5.80	5.85	5.90	5.95	6.00	6.05	6.10	6.15	6.20	6.25	6.30	6.35	6.40	6.45	6.50	6.55	6.60	6.65	6.70	6.75	6.80	6.85	6.90	6.95	7.00	7.05	7.10	7.15	7.20	7.25	7.30	7.35	7.40	7.45	7.50	7.55	7.60	7.65	7.70	7.75	7.80	7.85	7.90	7.95	8.00	8.05	8.10	8.15	8.20	8.25	8.30	8.35	8.40	8.45	8.50	8.55	8.60	8.65	8.70	8.75	8.80	8.85	8.90	8.95	9.00	9.05	9.10	9.15	9.20	9.25	9.30	9.35	9.40	9.45	9.50	9.55	9.60	9.65	9.70	9.75	9.80	9.85	9.90	9.95	10.00
CLG R-VALUE	NR	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100																																																																																																																		
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SLAB R-VALUE	NR	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100																																																																																																																		
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For Foot: 3048 mm

UP TO 15 IN. GLAZED REINFORCED SOLID CONCRETE 24 IN. MIN. PERMITTED EXEMPTED FROM TABLE 6 BASIC R-VALUE RAMPUP

AREA WEIGHTED AVERAGE R-VALUE PERMITTED TO EXCEED THE U-FACTOR REQUIREMENT

SUPLY DUCTS IN WALLS BE INSULATED MIN OF R-8 ALL GLAZED DUCTS SHALL BE INSULATED TO MIN.

RADON MITIGATION

THE FOLLOWING CONSTRUCTION TECHNIQUES AND MEASURES ARE INTENDED TO MITIGATE RADON ENTRY IN NEW CONSTRUCTION. THESE TECHNIQUES MAY BE REQUIRED ON A JURISDICTION BY JURISDICTION BASIS. FOR EXAMPLE, IN THE STATE OF OREGON, PER 2011 ORAC, THE COUNTIES OF MULTNOMAH, WASHINGTON, CLATSOP, POLK, YAMHILL, HODD RIVER AND BAKER REQUIRE RADON MITIGATION, AS DO THE COUNTIES OF CLATSOP, HENRY, OKANOGAN, PEND OREILLE, SKAGWAN, BROWNE AND STEVENS. IN THE STATE OF WASHINGTON, PER 205 (RCW)AC 81-51-6000 (APD) & APD3.

FOLLOWING THE U.S. EPA "MODEL STANDARDS AND TECHNIQUES FOR CONTROL OF RADON IN NEW RESIDENTIAL BUILDINGS", THESE SPECIFICATIONS MEET MOST NATIONAL CODES. THE BUILDER AND HOME OWNER SHOULD CHECK FOR ANY LOCAL VARIANTS TO THESE GUIDELINES.

BUILDING TIGHTNESS MEASURES

THE FOLLOWING ARE POINTS OF ENTRY TO PROTECT FROM PASSAGE OF RADON GAS INTO LIVING SPACE - PROVIDE POLYURETHANE CAULK OR EQUIVALENT SEALANT AT THE FOLLOWING CRITICAL POINTS:

SLAB ON-GRADE AND BASEMENT WALLS

- CRACKS IN CONCRETE SLABS
- COLD JOINT BETWEEN TWO CONCRETE FLOORS
- PORES AND JOINTS IN CONCRETE BLOCKS
- FLOOR-TO-WALL CRACK OR FRENCH DRAIN
- EXPOSED SOIL AS IN A SUMP
- KEEPING (DRAIN) TILE IF DRAINED TO OPEN SUMP
- MORTAR JOINTS
- LOOSE FITTING PIPE PENETRATIONS
- OPEN TOPS OF BLOCK WALLS
- WATER FROM SOFT WELLS
- UNTRAPPED FLOOR DRAIN TO A DRY WELL OR SEPTIC SYSTEM

CRAIL SPACE

- CRACKS IN SUBFLOORING AND FLOORING
- SPACES BEHIND STUD WALLS AND BRICK VENEER WALLS THAT REST ON UNCAFFED HOLLOW-BLOCK FOUNDATION
- ELECTRICAL PENETRATIONS
- LOOSE-FITTING PIPE PENETRATIONS
- OPEN TOPS OF BLOCK WALLS
- WATER FROM SOFT WELLS
- HEATING DUCT REGISTER PENETRATIONS
- COLD-AIR RETURN DUCTS IN CRAIL SPACE

CONDENSATE DRAINS SHALL BE RUN TO THE EXTERIOR USING NON PERFORATED PIPE OR SHALL BE PROVIDED WITH AN APPROVED TRAP.

SUMP PITS THAT SERVE AS END POINT FOR A SUB-SLAB OR EXTERIOR DRAIN TILE LOOP SYSTEM, AND SUMP PITS WHICH ARE NOT SEALED FROM THE SOIL, SHALL BE FITTED WITH A GASKETED OR SEALED LID. WHERE THE SUMP IS USED AS THE SUCTION POINT IN A SUB-SLAB DECOMPRESSION SYSTEM, THE LID MUST BE DESIGNED TO ACCOMMODATE THE VENT PIPE, WHERE USED AS A FLOOR DRAIN, THE SUMP PIT LID SHALL HAVE A TRAPPED INLET.

DUCTWORK WHICH PASSES THROUGH OR BENEATH A CONCRETE FLOOR SLAB SHALL BE FREE OF SEAMS AND MUST BE PERFORMANCE TESTED.

DUCTWORK PASSING THROUGH A CRAILSPACE MUST HAVE ALL SEAMS AND JOINTS SEALED (PER FIG. 6.1). ALL JOINTS OF DUCT SYSTEMS USED IN THE HEATING OR COOLING OF A CONDITIONED SPACE SHALL BE SEALED BY MEANS OF TAPES, MASTIC, AEROSOL SEALANT, GASKETING OR OTHER APPROVED CLOSURE SYSTEMS. WHERE MASTIC IS USED TO SEAL OPENINGS GREATER THAN 1/4", A COMBINATION OF MASTIC AND MESH SHALL BE USED.

CRAILSPACE ACCESS OR UNDER-FLOOR MECHANICAL EQUIPMENT ACCESS, OR ANY OTHER ACCESS POINT FROM THE HABITABLE SPACE INTO THE CRAIL SPACE, SUCH AS DOORS OR PANELS, MUST BE CLOSED AND GASKETED TO CREATE AN AIRTIGHT SEPARATION.

AIR HANDLING UNITS IN CRAIL SPACES SHALL BE SEALED TO PREVENT AIR FROM BEING DRAIN INTO THE UNIT.

CRAIL SPACE RADON MITIGATION

IN ADDITION TO THE CRAIL SPACE SEALING REQUIREMENTS, ONE OF THREE RADON MITIGATION METHODS SHALL BE IMPLEMENTED.

METHOD 1 - MECHANICAL VENTILATION (AFB33, EXCEPTION)

- PROVIDE AN APPROVED MECHANICAL CRAIL SPACE VENTILATION SYSTEM OR OTHER EQUIVALENT SYSTEM.

METHOD 2 - PASSIVE SUB-MEMBRANE DEPRESSURIZATION SYSTEM (AFB33.1)

- PROVIDE FOUNDATION VENTILATION SYSTEM (SEE FOUNDATION NOTES FOR CRAILSPACE VENTING)
- PROVIDE A SOIL-GAS RETARDER, SUCH AS 6 MIL POLYETHYLENE OR EQUIVALENT (SEE GAS-RETARDER NOTES)
- PROVIDE A VENT STACK (SEE VENT STACK NOTES)

METHOD 3 - CRAILSPACE VENTILATION AND BUILDING TIGHTNESS

- PROVIDE NO LESS THAN ONE NET SQ. FT. OF CRAILSPACE FOUNDATION VENT AREA PER EACH 100 SQ. FT. OF UNDER-FLOOR AREA (SEE FOUNDATION NOTES FOR CRAILSPACE VENTING LOCATION REQUIREMENTS)
- OPERABLE LOUVERS, DAMPERS, OR OTHER MEANS TO TEMPORARILY CLOSE OFF VENT OPENINGS ARE NOT ALLOWED TO MEET THE REQUIREMENTS OF THIS RADON MITIGATION METHOD.
- DUELLINGS SHALL BE TESTED WITH A BLOWER DOOR, DEPRESSURIZING THE DUELLING TO 100 PASCALS FROM AMBIENT CONDITIONS AND FOUND TO EXHIBIT NO MORE THAN 5.0 AIR CHANGES PER HOUR.
- INSTALL A MECHANICAL EXHAUST, SUPPLY, OR COMBINATION VENTILATION SYSTEM PROVIDING SINGLE-BUILDING VENTILATION RATES AS PER TABLE N100.1).

VENTILATION AIR REQUIREMENTS (cfm)

FLOOR AREA (SQ. FT.)	0-1	2-3	4-5	6-7	>7
1500	30	40	40	75	90
1501-3000	40	60	75	90	105
3001-4500	60	75	90	105	120
4501-6000	75	90	105	120	135
6001-7500	90	105	120	135	150
7501-9000	105	120	135	150	165

TABLE N100.1.2.1

SLAB-ON-GRADE/BASEMENT RADON MITIGATION

A PASSIVE SUB-SLAB DEPRESSURIZATION SYSTEM SHALL BE INSTALLED DURING CONSTRUCTION IN BASEMENT OR SLAB-ON-GRADE BUILDINGS. FOLLOW THE NOTES HERE REGARDING BUILDING TIGHTNESS MEASURES AND ASSEMBLE THE FOLLOWING ELEMENTS OF THIS MITIGATION SYSTEM:

- PROVIDE A RADON VENT PIPE EXTENDING FROM A GAS-PERMEABLE LAYER BENEATH THE SLAB FLOOR SYSTEM, THROUGH THE FLOORS OF THE DUELLING AND TERMINATING AT THE ROOF.
- SEE NOTES REGARDING VENT PIPE, SOIL-GAS-RETARDER AND SLAB SUBFLOOR PREPARATION.

SLAB SUB-FLOOR PREPARATION

- A LAYER OF GAS-PERMEABLE MATERIAL SHALL BE PLACED UNDER ALL CONCRETE SLABS AND OTHER FLOOR SYSTEMS THAT DIRECTLY CONTACT THE GROUND, AND ARE WITHIN THE WALLS OF THE LIVING SPACES OF THE BUILDING. THE GAS-PERMEABLE LAYER SHALL CONSIST OF ONE OF THE FOLLOWING:

1. A UNIFORM LAYER OF CLEAN AGGREGATE, A MINIMUM OF 4 INCHES THICK. THE AGGREGATE SHALL CONSIST OF MATERIAL SMALL ENOUGH TO PASS THROUGH A 7" SIEVE AND BE RETAINED BY A 1/4" SIEVE.
2. A UNIFORM LAYER OF SAND (NATIVE OR FILL), A MINIMUM OF 4 INCHES THICK, COVERED BY A LAYER OR STRIPS OF GEO-TEXTILE DRAINAGE MATTING DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASES.

SOIL-GAS-RETARDER

- THE SOIL-GAS-RETARDER SHALL BE COVERED WITH A CONTINUOUS LAYER OF MINIMUM 6-MIL POLYETHYLENE SOIL-GAS-RETARDER. THE GROUND COVER SHALL BE LAPPED A MINIMUM OF 2 INCHES AT JOINTS AND SHALL EXTEND TO ALL FOUNDATION WALLS ENCLOSED BY THE CRAIL SPACE AREA.
- THE SHEETING SHALL FIT CLOSELY AROUND ANY PIPE, WIRE OR OTHER PENETRATIONS OF THE MATERIAL.
- ALL FURNITURES OR TEARS IN THE MATERIAL SHALL BE SEALED OR COVERED WITH ADDITIONAL SHEETING.

VENT PIPE (RADON)

- A PUMPING TEE OR OTHER APPROVED CONNECTION SHALL BE INSTALLED HORIZONTALLY BENEATH THE SOIL-GAS-RETARDER SHEETING AND CONNECTED TO A 3" OR 4" DIAMETER FITTING WITH A VERTICAL VENT PIPE INSTALLED THROUGH THE SHEETING.
- THE VENT PIPE SHALL BE EXTENDED UP THROUGH THE BUILDING FLOORS TO TERMINATE AT LEAST 12 INCHES ABOVE THE ROOF SURFACE IN A LOCATION AT LEAST 10 FEET AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 1 FEET BELOW THE EXHAUST POINT, AND 10 FEET FROM ANY WINDOW OR OTHER OPENING IN ADJOINING OR ADJACENT BUILDINGS.
- IN BUILDINGS WHERE INTERIOR FOOTING OR OTHER BARRIERS SEPARATE THE SUB-SLAB AGGREGATE OR OTHER GAS-PERMEABLE MATERIAL, EACH AREA SHALL BE FITTED WITH AN INDIVIDUAL VENT PIPE.
- MULTIPLE VENT PIPES SHALL CONNECT TO A SINGLE VENT THAT TERMINATES ABOVE THE ROOF OR EACH INDIVIDUAL VENT PIPE SHALL TERMINATE ABOVE THE ROOF.
- ALL COMPONENTS OF THE RADON VENT PIPE SYSTEM SHALL BE INSTALLED TO PROVIDE POSITIVE DRAINAGE TO THE GROUND BENEATH THE SLAB OR SOIL-GAS-RETARDER.
- RADON VENT PIPES SHALL BE ACCESSIBLE FOR FUTURE FAN INSTALLATION THROUGH AN ATTIC OR OTHER AREA OUTSIDE THE HABITABLE SPACE, OR AN APPROVED ROOF TOP ELECTRICAL SUPPLY MAY BE PROVIDED FOR FUTURE USE FOR A POWERED RADON VENT FAN.
- ALL EXPOSED AND VISIBLE INTERIOR RADON VENT PIPES SHALL BE IDENTIFIED WITH AT LEAST ONE LABEL ON EACH FLOOR AND IN ACCESSIBLE ATTICS. THE LABEL SHALL READ: "RADON REDUCTION SYSTEM".

POWER SOURCE REQUIREMENT

- TO ACCOMMODATE FUTURE INSTALLATION OF AN ACTIVE SUB-MEMBRANE OR SUB-SLAB DEPRESSURIZATION SYSTEM, AN ELECTRICAL CIRCUIT TERMINATED IN AN APPROVED BOX SHALL BE INSTALLED DURING CONSTRUCTION IN THE ATTIC OR OTHER ANTICIPATED LOCATION OF VENT PIPE FANS. AN ELECTRICAL SUPPLY SHALL ALSO BE ACCESSIBLE IN ANTICIPATED LOCATION OF SYSTEM FAILURE ALARMS.

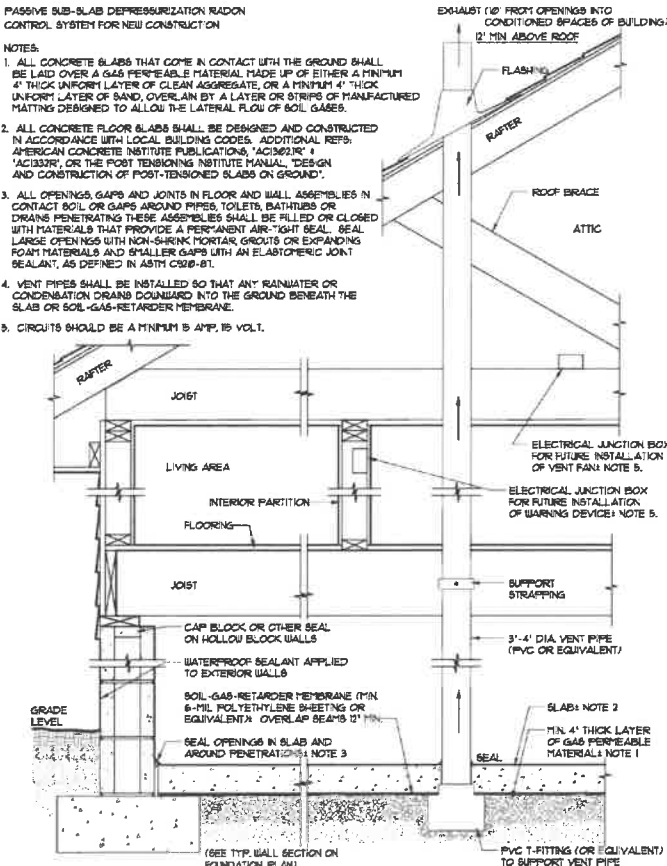
COMBINATION FOUNDATIONS

- COMBINATION: BASEMENT/CRAIL SPACE OR SLAB-ON-GRADE/CRAIL SPACE FOUNDATIONS SHALL HAVE SEPARATE RADON MITIGATION SYSTEMS IN EACH TYPE OF FOUNDATION AREA. PASSIVE SUB-SLAB AND PASSIVE SUB-MEMBRANE RADON VENT PIPES MAY BE CONNECTED TO A SINGLE VENT TERMINATING ABOVE THE ROOF, OR EACH VENT MAY INDIVIDUALLY CONTINUE TO TERMINATE ABOVE THE ROOF (SEE VENT PIPE NOTES).

PASSIVE SUB-SLAB DEPRESSURIZATION RADON CONTROL SYSTEM FOR NEW CONSTRUCTION

NOTES:

1. ALL CONCRETE SLABS THAT COME IN CONTACT WITH THE GROUND SHALL BE LAID OVER A GAS-PERMEABLE MATERIAL MADE UP OF EITHER A MINIMUM 4" THICK UNIFORM LAYER OF CLEAN AGGREGATE, OR A MINIMUM 4" THICK UNIFORM LAYER OF SAND, OVERLAIN BY A LAYER OR STRIPS OF MANUFACTURED MATTING DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASES.
2. ALL CONCRETE FLOOR SLABS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL BUILDING CODES. ADDITIONAL REFS: AMERICAN CONCRETE INSTITUTE PUBLICATIONS, 'ACI308R' & 'ACI309R', OR THE POST TENSIONING INSTITUTE MANUAL, 'DESIGN AND CONSTRUCTION OF POST-TENSIONED SLABS ON GROUND'.
3. ALL OPENINGS, GAPS AND JOINTS IN FLOOR AND WALL ASSEMBLIES IN CONTACT WITH SOIL OR GAPS AROUND PIPES, TOILETS, BATHTUBS OR DRAINS PENETRATING THESE ASSEMBLIES SHALL BE FILLED OR CLOSED WITH MATERIALS THAT PROVIDE A PERMANENT AIR-TIGHT SEAL. SEAL LARGE OPENINGS WITH NON-SHRINK MORTAR, GROUTS OR EXPANDING FOAM MATERIALS AND SMALLER GAPS WITH AN ELASTOMERIC JOINT SEALANT, AS DEFINED IN ASTM C926-01.
4. VENT PIPES SHALL BE INSTALLED SO THAT ANY RAINWATER OR CONDENSATION DRAINS DOWNWARD INTO THE GROUND BENEATH THE SLAB OR SOIL-GAS-RETARDER MEMBRANE.
5. CIRCUITS SHOULD BE A MINIMUM 15 AMP, 120 VOLT.

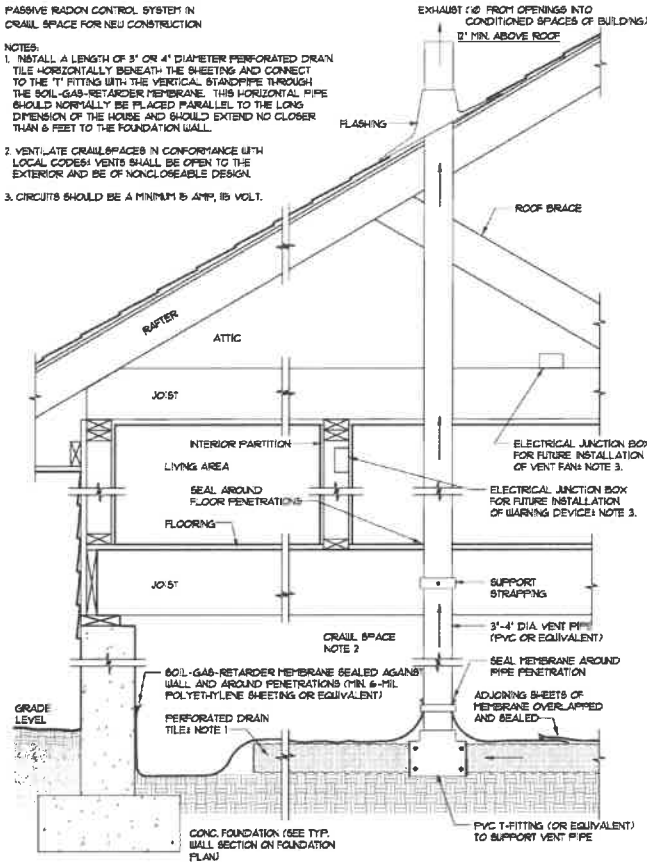


SLAB ON-GRADE/BELOW-GRADE (BASEMENTS) SUB-MEMBRANE DEPRESSURIZATION SYSTEM

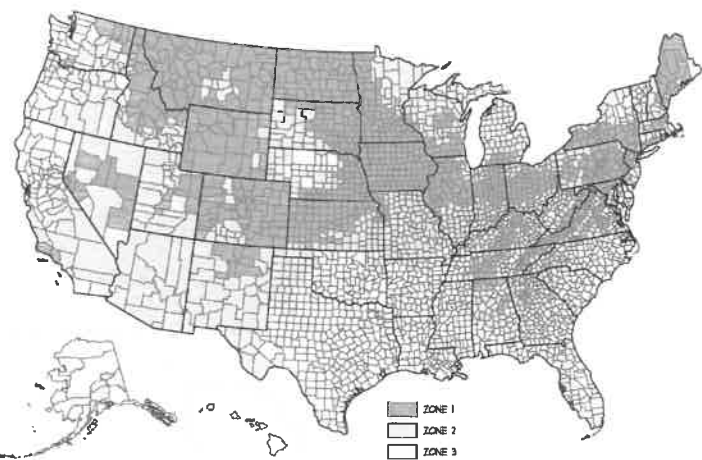
PASSIVE RADON CONTROL SYSTEM IN CRAIL SPACE FOR NEW CONSTRUCTION

NOTES:

1. INSTALL A LENGTH OF 3" OR 4" DIAMETER PERFORATED DRAIN TILE HORIZONTALLY BENEATH THE SHEETING AND CONNECT TO THE "T" FITTING WITH THE VERTICAL STANDPIPE THROUGH THE SOIL-GAS-RETARDER MEMBRANE. THIS HORIZONTAL PIPE SHOULD NORMALLY BE PLACED PARALLEL TO THE LONG DIMENSION OF THE HOUSE AND SHOULD EXTEND NO CLOSER THAN 6 FEET TO THE FOUNDATION WALL.
2. VENTILATE CRAILSPACES IN CONFORMANCE WITH LOCAL CODES. VENTS SHALL BE OPEN TO THE EXTERIOR AND BE OF NONCLOSEABLE DESIGN.
3. CIRCUITS SHOULD BE A MINIMUM 15 AMP, 120 VOLT.



CRAILSPACE SUB-MEMBRANE DEPRESSURIZATION SYSTEM



EPA RADON ZONES

DISCLAIMER: THE PURPOSE OF THIS MAP IS TO ASSIST NATIONAL, STATE AND LOCAL ORGANIZATIONS TO TARGET THEIR RESOURCES AND TO IMPLEMENT RADON-RESISTANT BUILDING CODES. ALL HOMES SHOULD BE TESTED REGARDLESS OF GEOGRAPHIC LOCATION. EPA RECOMMENDS THAT THIS MAP BE SUPPLEMENTED WITH ANY AVAILABLE LOCAL DATA IN ORDER TO FURTHER UNDERSTAND AND PREDICT THE RADON POTENTIAL FOR A SPECIFIC AREA.



DEPARTMENT OF PLANNING AND ZONING PLANNER'S REPORT

DATE: September 11, 2019
TO: Tonya Hutson
FROM: Michael Smith
RE: **Design Review – 449 Walnut Street**

Key:

Compliant:	✓
Not Compliant:	✗
Incomplete:	✋
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received a design review application from Bernard Vigilance for a new single-family dwelling at 449 Walnut Street. The dwelling will have four finished bedrooms and three finished bathrooms, as well as two unfinished bedrooms and two potential bathrooms in the basement. The structure will be built on a hill, with a height of 1.5 stories at the front and 2.5 stories in the rear. The dwelling will have 2,337 SF of heated floor area, a 1,358 SF unheated basement, and a 484 SF two-car attached rear garage, with a total roofed area of 4,275 SF including a porch. The floor plan is mirrored by 451 Walnut Street.

The property is zoned R-SF - Residential Single-Family, and is subject to the Neighborhood Conservation Area, Subarea E of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(a) Site development standards

- ✓ Except where indicated, setbacks shall be established by zoning.
- ⊘ On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.
- ⊘ Minimum building heights shall be established by zoning.
- ✋ Within subareas D and E maximum building heights shall be as established by zoning, except that:

Where this chapter provides a more-stringent standard as compared to the zoning code, the more-stringent standard shall prevail. The only exception to this shall be a use grandfathered under the zoning code.

Portions of buildings equal to or less than five feet from a side or rear lot line shall be limited in height to the greater of 16 feet.



Portions of buildings between five and ten feet of a side or rear lot line shall be limited in height to the greater of 25 feet.



Portions of buildings ten feet or greater from a side or rear lot line shall be limited in height to 35 feet.

- ⊖ Outside of subareas D and E maximum building heights shall be as established by zoning.
- ✓ All buildings shall provide first-story occupiable space, for the first ten feet of building depth along the enfronting facade.
- ✓ Sidewalks shall be located along all public and private streets. Sidewalks shall consist of two areas: a landscape area and a clear area.
 - ✓ Developments less than one acre shall provide a minimum one-foot landscape zone and a minimum four-foot clear zone.
 - Development of one acre or more shall provide a minimum two-foot landscape zone and a minimum five-foot clear zone.
 - The above notwithstanding, multifamily developments and all developments along Dogwood Drive shall provide a minimum five-foot landscape zone and a minimum six-foot clear zone.

STAFF COMMENT:

- **Within subarea E, the maximum height for the portion of a building between 5' and 10' from the property line is 25'. Otherwise, the maximum height is 35'. Due to the shape of the lot, the property has two east side property lines. The southeast side setback is 6.5' from the house and the northeast side setback is 6.3' from the garage. No overall heights have been provided, either within or beyond 10' from property lines, and the house may not be compliant with the maximum height requirements.**

(b) Supplemental Area and Fence Standards

- ✓ Developments shall locate landscape supplemental areas adjacent to first-story residential uses and place a minimum of one tree every 50 feet in the supplemental area. See list of allowed trees in section 93-2-14.
- ⊖ Chain link fencing is not permitted in areas visible from a public right-of-way.
-  On all lots a fence, wall, curb or hedge between six and 48 inches in height is encouraged at the back of the required sidewalk, except at openings to access steps, drives or pedestrian walkways.
- ⊖ Fences adjacent to the street shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.
- ⊖ Retaining walls adjacent to the required sidewalk shall not exceed 32 inches in height unless required by topography.
- ⊖ All street-facing walls shall be faced with stone, brick, or smooth stucco.
- ⊖ Small planting between retaining walls and the required sidewalk are encouraged and should have a minimum width of six inches.

STAFF COMMENT:

- **A fence between 6" and 48" in height is encouraged at the back of the required sidewalk.**

(c) Utility Standards

-  Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.
- ⊖ When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- ⊖ Street lights may be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian-scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development.
- ✓ All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may be provided as long as it is properly shielded and does not become an annoyance to adjacent property owners or the public. General area illumination with oversized flood lights is prohibited. Specifically, lighting shall be shielded so that the source of light is not visible from adjacent properties or the public right-of-way.
- ⊖ Trees shall not be planted directly above storm drains.

STAFF COMMENT:

- **The applicant should show mechanical utility features on the plans and indicate any screening.**

(d) Parking and Traffic Standards

-  One-family detached dwellings and two-family dwellings shall meet the following requirements:
 -  Driveways shall have a minimum width of nine feet and a maximum width of 15 feet.
Circular drives are permitted.
A grass strip in the middle of driveways is encouraged.
- ⊖ All other buildings shall meet the following requirements:
 - Parcels are permitted a maximum of one driveway curb cut per street. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
 - Driveways shall have a maximum width of 12 feet for one-way and 24 feet for two-way.
 - Two curb cuts serving two one-way driveways shall be counted as one curb cut.
 - Public or private alleys, or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.
 - New public streets shall not count as curb cuts.
 - Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
- ⊖ Carports are only permitted subject to the following requirements:
 - Carports shall be located in the rear or side yard, but shall not be visible from a public right-of-way.
 - Carport roofs shall be supported by columns with a minimum width and depth of eight inches.
 - The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.
- ✓ On-site parking shall be prohibited in the supplemental areas. This shall not be interpreted as restricting on-street parking located along a public street.
- ⊖ Garage access on single-family lots shall be prohibited in the front yard of the home.

STAFF COMMENT:

- **The applicant should provide the width of the proposed driveway.**

(e) Roof and Chimney Standards

- ✎ Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- ✓ Roof shingles shall be slate, cedar, or asphalt.
- ⊖ Roof tiles shall be clay, terra cotta or concrete.
- ✓ Metal roofs are:
 - ✓ Allowed on one-family and two-family detached dwellings;
Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a parapet wall.
- ✓ Gutters shall be copper, aluminum or galvanized steel.
- ✓ Downspouts shall match gutters in material and finish.
- ✓ Roof forms shall be based on architectural style.
- ✎ All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- ⊖ Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- ⊖ Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- ⊖ Chimneys on exterior building walls shall begin at grade.
- ⊖ Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

STAFF COMMENT:

- **The applicant should provide the manufacturer's warranty, ensuring the roof is warrantied for at least 30 years.**
- **The applicant should specify the distance the roof overhangs the facades of the house, ensuring it is at least 12".**

(f) Street Facing Facade and Style Standards.

- ✓ Exterior facade materials shall be limited to:
 - Full-depth brick;
 - Natural or cast stone;
 - ✓ Smooth natural-wood siding and/or cement-based siding;
 - Shake siding;
 - Painted fish-scale style shingles, but only when used in front gables;
 - True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- ✓ Exterior building materials shall not be:
 - Simulated brick veneer, such as Z-Brick;
 - Exterior insulation and finish systems (EIFS);
 - Exposed concrete block;
 - Metal siding or other metal exterior treatment;
 - Glass curtain walls;
 - Liquid vinyl;
 - T-1-11 siding;

Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.

- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ✓ Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11.
- ✓ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ✓ All exterior stair risers visible from a street shall be enclosed.
- ✓ Porches, stoops, and balconies may be located in the front or side yard.
- ✓ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- ✎ Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ✓ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ✗ Porch and stoop foundations shall be enclosed.
- ✎ Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- ✎ Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- Stoops shall provide a minimum top landing of four feet by four feet.
- Stoop stairs and landings shall be of similar width.
- Stoops may be covered or uncovered.
- ✓ When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ✗ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- Enfronting porches may have multistory verandas, living space, or balconies above.
- Porch columns shall be spaced a maximum distance of eight feet on center.
- ✓ Front porch columns shall have foundation piers extending to grade.
- ✓ All porches shall be covered.
- Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- Enfronting balconies shall have a minimum clear depth of four feet.
- Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- Balconies may be covered or uncovered.

STAFF COMMENT:

- The applicant should specify the material used for the porch and porch column.
- The porch foundation must be enclosed.
- Porches and finished first floors must be raised between 2' and 4' above grade, unless existing topography is greater. The applicant should provide the height of the porch and finished first floor from grade at the front.
- Front porch widths must be 80-100% of the adjacent façade. The proposed porch is 73% of the width of the adjacent façade/40% of the overall front façade, which is not compliant.

(g) Door and window standards.

- ✓ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ✓ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ✗ Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- ⊖ Doors that operate as sliders are prohibited along enfronting facades.
- 👉 Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- 👉 Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- ✗ Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- ⊖ Where used, window shutters shall match one-half the width of the window opening.
- ⊖ Painted window or door glass is prohibited.
- ⊖ Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- 👉 Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- ✓ Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.
- ✗ Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- 👉 Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

STAFF COMMENT:

- Building numbers at least 6" in height on the porch or adjacent to the front door should be included and shown on the plans.
- The applicant should ensure no GBGs will be utilized.
- Wooden window trim between 4" and 6" wide and at least 1/4" thick is required around all windows. Note that mullions between grouped windows must be 2" wider than side trim.
- Windows must be provided for 30-50% of the street facing façade. The window coverage of the street facing façade cannot be calculated. The applicant should provide the width of the door glass.

- **Windows must comply with all requirements of Sec. 81-1-7(g) - Door and window standards. The elevations should be revised to demonstrate compliance and the plans should provide the following information:**
 - **Windowpane recession from adjacent facades**
 - **Windowsill materials**

(h) Detached one-family dwellings/ two-family dwellings. In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.

 **First Stories.** First stories shall be elevated above the grade between two and four feet, unless existing topography is greater or unless wheelchair access is desired and cannot be provided from the side or rear.

✗ **Window Sills.** Enfronting first story window sills should be no less than two and one-half feet and no more than three and one-half feet above finished floor elevation.

⊙ **Wheelchair access.** Where practical, wheelchair access, when provided, should be installed at the side or rear of the home in order to preserve the architectural character of the primary facade.

✗ **Architectural style.** Architecture is one of the most critical components of place, and nowhere is this more evident than on building facades. The design and character of street-facing facades is a reflection of both buildings and their users, and must be carefully considered for its impact on the overall sense of place.

New homes in the neighborhood conservation area should be designed to reflect the principal traditional styles found in the community. These include national folk, Queen Anne, ranch, Tudor revival, craftsman, and minimal traditional styles.

These styles, however, do not reflect the only styles historically found in Hapeville, which also includes a few occurrences of neocolonial revival. Where an applicant desires to utilize a style historically found in Hapeville, but not reflected in the six principal styles identified in subsections (4)a. through (4)e., they shall provide the Design Review Committee with photo documentation of the relevant style in Hapeville, a description of the key features of such style, and written justification of such style's appropriateness for the community.

STAFF COMMENT:

- **The applicant should provide the height of the finished first floor above grade, ensuring it is between 2' and 4'.**
- **Enfronting first story windows must be between 2.5 and 3.5' above finished first floor elevation. The proposed enfronting windows are 2' above the floor, which is not compliant.**
- **The design does not reflect any of the principal traditional styles found in the community.**

⊙ **Outbuildings.** In conventional development, outbuildings are often designed and located as an afterthought. Yet in traditional towns and cities, outbuildings serve to enrich the quality of design through their placement, design and use. In Hapeville, where outbuildings are provided on many residential lots, their design must be to the same high standards found in the community's neighborhoods.

The following standards shall apply to construction of new outbuildings in residential districts.

- On lots with one street frontage, set outbuildings back at least 15 feet behind the front facade of the principal building.
- On corner lots, outbuildings should be setback at least 15 feet behind the front facade of the principal building and with a setback greater than or equal to that of the facade along the side lot line.
- Outbuilding may be linked to the principal building with covered walks, trellises or enclosed breezeway.
- Outbuildings shall be of compatible material and architectural style to the principal building.

- v. Outbuildings shall have a minimum height of 14 feet and a maximum height of that of the principal building or 25 feet, whichever is less.
- vi. Outbuildings shall be set a minimum of ten feet from any other outbuilding on adjoining lots.

STAFF COMMENT:

RECOMMENDATIONS

The proposed design does not reflect any of the traditional styles found in Hapeville. The Applicant will need to provide a justification of the design's appropriateness for the community along with photo documentation of similar designs in the city.

In addition, the following items have been found to be missing or deficient and should be addressed by the Applicant and the Design Review Committee:

1. Within subarea E, the maximum height for the portion of a building between 5' and 10' from the property line is 25'. Otherwise, the maximum height is 35'. Due to the shape of the lot, the property has two east side property lines. The southeast side setback is 6.5' from the house and the northeast side setback is 6.3' from the garage. No overall heights have been provided, either within or beyond 10' from property lines, and the house may not be compliant with the maximum height requirements. **The applicant should provide the height at the front, rear, and highest point of the dwelling.**
2. **A fence between 6" and 48" in height is encouraged at the back of the required sidewalk.**
3. **The applicant should show mechanical utility features on the plans and indicate any screening.**
4. **The applicant should provide the width of the proposed driveway.**
5. **The applicant should provide the manufacturer's warranty, ensuring the roof is warrantied for at least 30 years.**
6. **The applicant should specify the distance the roof overhangs the facades of the house, ensuring it is at least 12".**
7. **The applicant should specify the material used for the porch and porch column.**
8. **The porch foundation must be enclosed.**
9. Porches and finished first floors must be raised between 2' and 4' above grade, unless existing topography is greater. **The applicant should provide the height of the porch and finished first floor from grade at the front.**
10. Front porch widths must be 80-100% of the adjacent façade. **The proposed porch is 73% of the width of the adjacent façade/40% of the overall front façade, which is not compliant.**
11. **Building numbers at least 6" in height on the porch or adjacent to the front door should be included and shown on the plans.**
12. **The applicant should ensure no GBGs will be utilized.**
13. **Wooden window trim between 4" and 6" wide and at least 1/4" thick is required around all windows.** Note that mullions between grouped windows must be 2" wider than side trim.
14. Windows must be provided for 30-50% of the street facing façade. The window coverage of the street facing façade cannot be calculated. **The applicant should provide the width of the door glass.**
15. **Windows must comply with all requirements of Sec. 81-1-7(g) - Door and window standards. The elevations should be revised to demonstrate compliance and the plans should provide the following information:**
 - a. **Windowpane recession from adjacent facades**
 - b. **Windowsill materials**
16. Enfronting first story windows must be between 2.5 and 3.5' above finished first floor elevation. **The proposed enfronting windows are 2' above the floor, which is not compliant.**
17. **The design does not reflect any of the principal traditional styles found in the community.**

Once these items are addressed to the satisfaction of staff and the Design Review Committee, the application can be approved.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: 8.21.19

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: BERNARD VIGILANCE Contact Number: [REDACTED]

Applicants Address: [REDACTED]

E-Mail Address: [REDACTED] Zoning Classification: RESIDENTIAL SINGLE FAMILY

Address of Proposed Work: 449 WALNUT ST HAPEVILLE GA

Parcel ID# (INFORMATION MUST BE PROVIDED): 14 0094000 40400

Property Owner: KELLY BROWN Contact Number: [REDACTED]

Project Description (including occupancy type): TO BUILD A SINGLE FAMILY HOME

Contractors Name: DANNY WILLIAMS Contact Number: [REDACTED]

Contact Person: BERNARD VIGILANCE Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

[Signature]
Applicants Signature

8.20.19
Date

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building
☐ Addition to Existing Residential Structure ☐ Accessory Structure
☐ Site Plan, Grading & Landscaping ☒ New Single Family Residential Construction
☐ Other

Total Square Footage of proposed New Construction: 4275

Total Square Footage of existing building: N/A

Estimated Cost of Construction: 120K

List/Describe Building Materials on the exterior of the **existing** structure: N/A

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

BOARD AND BATON

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

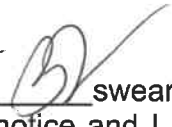
A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I BERNARD VIGILANCE  swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- ☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST
- ☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- ☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- ☒ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- ☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- ☒ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- ☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

BERNARD VIGILANCE *Bernard Vigilance* 8.21.19
Printed Name Signature Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.



3595 Canton Road
Suite 116, PMB 272
Marietta, GA 30066
Ph. (678) 355-9905
Fax (678) 355-9805
www.frontlinesurveying.com

LOT 2
449 WALNUT

LEGAL DESCRIPTION – 0.18 ACRES

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 94 of the 14th District, of Fulton County, Georgia and being more particularly described as follows:

BEGINNING at a point (Iron Pin Set, #4 Capped Re-Bar) located on the northerly right-of-way of Walnut Street (40' R/W), said point being a distance of 204.80 feet along said northerly right-of-way of Walnut Street from the westerly right-of-way of Old Jonesboro Road (40' R/W), said point being the TRUE POINT OF BEGINNING;

THENCE, from said Point of Beginning thus established, proceed along said northerly right-of-way of Walnut Street North 90°00'00" West a distance of 50.00 feet to a point (Iron Pin Set, #4 Capped Re-Bar); Thence leaving said right-of-way proceed North 00°00'00" West a distance of 168.77 feet to a point (Iron Pin Set, #4 Capped Re-Bar); Thence proceed North 61°07'03" East a distance of 10.15 feet to a point (Iron Pin Set, #4 Capped Re-Bar); Thence proceed South 29°09'46" East a distance of 60.00 feet to a point; Thence proceed South 29°09'46" East a distance of 24.37 feet to a point (Iron Pin Found, #4 Re-Bar); Thence proceed South 00°00'00" East a distance of 100.00 feet to a point, said point being the POINT OF BEGINNING.

Together with and subject to all covenants, easements, and restrictions of record.

Tract described herein containing 0.16 acres of land (7,147 Square feet), more or less, described as Lot 2 on a survey by Frontline Surveying & Mapping, Inc., job number 65773, dated 07/19/2018, also being known as 449 Walnut Street according to the current system of numbering in Fulton County, Georgia.

Thomas E. Peay, Jr. Ga. RLS 2402
For the Firm of Frontline Surveying & Mapping, Inc.

FILED 320 P. 48
PLAT 100-1000
CITY OF HOPEVILLE
FULTON COUNTY, GEORGIA

- LEGEND**
- R/W RIGHT-OF-WAY
 - S CENTERLINE
 - N/F NOW OR FORMERLY
 - B/C BACK OF CURB
 - E/P EDGE OF PAVEMENT
 - HTS NOT TO SCALE
 - AC ACRES
 - S.F. SQUARE FEET
 - CB CATCH BASIN
 - HW HEADWALL
 - JB JUNCTION BOX
 - DI DROP INLET
 - CS GRADED INLET
 - CS OUTLET STRUCTURE
 - MR MANHOLE
 - SM STORM MANHOLE
 - CO CLEAN OUT
 - S EXISTING SANITARY SEWER LINE
 - PSS PROPOSED SANITARY SEWER LINE
 - CMF CORRUGATED METAL PIPE
 - FE FLARED END SECTION
 - D.E. DRAINAGE EASEMENT
 - LLL LAND LOT LINE
 - B BUILDING LINE
 - PP POWER POLE
 - SP SERVICE POLE
 - TP TELEPHONE POLE
 - UP UTILITY POLE
 - P POWER LINE
 - T TELEPHONE LINE
 - OW OVERHEAD
 - W WATER LINE
 - WM WATER METER
 - WW WATER VALVE
 - FW FIRE HYDRANT
 - G GAS LINE
 - GM GAS METER
 - GV GAS VALVE
 - RCP REINFORCED CONCRETE PIPE
 - FF FINISHED FLOOR ELEVATION
 - M.F.F.E. MINIMUM FINISHED FLOOR ELEVATION
 - EL ELEVATION
 - SW SW
 - TR TOP OF BANK
 - TRK TOP OF CURB
 - TC TOP OF CURB
 - Q CUTTER
 - TO TOP OF BANK
 - BB BOTTOM OF BANK
 - N/A NOT APPLICABLE
 - F/C TO F/C FACE OF CURB TO FACE OF CURB
 - BP BROWN PIN FOUND (SIZE AS NOTED)
 - CTPF CRIMP TOP PIPE FOUND (SIZE AS NOTED)
 - RBS REBAR SET (SIZE AS NOTED)

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, ATLAS MAPS AS MAY BE AVAILABLE FROM MUNICIPALITIES OR UTILITY COMPANIES, AND EXISTING DRAWINGS. THE SURVEY MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

UTILITY PROTECTION CENTER

CALL FREE:
THREE WORKING DAYS BEFORE YOU DIG
IN METRO ATLANTA (770) 823-4344
THROUGHOUT GEORGIA 1(800) 282-7411



Certificate of Ownership

The owner of record of the land shown on this plat and whose name is subscribed thereon, in person or through a duly authorized agent, hereby dedicates to the City of Hopeville, the complete ownership and use of all water and sewer improvements constructed or to be constructed in accordance with this plat, and dedicates to the use of the public forever all streets, drains, easements, parks and open spaces.

Rehan A. Khan 05-10-2007
Subdivider and Owner of Record Date

Certificate by Surveyor or Engineer

I hereby certify that this final plat is true and correct and was prepared from an actual survey of the property made by me or under my supervision and that all corners are accurately marked by a 1/2 inch iron rod.

Robert M. Kirkley 4-17-07
Georgia Registered Land Surveyor Date
Number 1844

Certificate by Local Approving Agent

All the conditions of approval having been met and improvement completed, and installed in accordance with all applicable requirements. This document is hereby accepted and approval of improvements granted.

Director of Community Services 5/8/07
Date

Certificate by Approval of the Planning Commission

This is to certify that this subdivision plat has been approved by the Planning Commission of the City of Hopeville.

Chairman/Secretary 5/8/07
City of Hopeville Planning Commission Date

OWNER/DEVELOPER

HH DEVELOPMENT GROUP, LLC
GEOFFREY A. STREET
3390 PEACHTREE ROAD, N.E.
SUITE 914
ATLANTA, GEORGIA 30326
PHONE (404) 969-3464
FAX: (404) 969-3466
CELL: (404) 509-9509

DESIGNER:

ROBERT M. KIRKLEY
PROFESSIONAL LAND SURVEYOR
295 CHARLOTTE BLVD.
STOCKBRIDGE, GA. 30281
PHONE (770) 507-4824
FAX: (770) 507-4708

NOTES:

BEARINGS SHOWN ARE CALCULATED FROM ANGLES TURNED AND ARE BASED ON A SINGLE MAGNETIC OBSERVATION.

A TOPCON GTS 211 D TOTAL STATION WAS USED TO OBTAIN LINEAR AND ANGULAR MEASUREMENTS.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF 1"/10,000+ AND AN ANGULAR ERROR OF 10 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING THE COMPASS RULE.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE TO 1"/10,000+.

TOPOGRAPHICAL ELEVATIONS ARE TO MEAN SEA LEVEL AND A FIELD RUN SURVEY REFERENCE TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD83).

CONTOUR INTERVAL = 2'.

NOTES:

PROPERTY IS ZONED R-SF. (SINGLE FAMILY DETACHED)

MINIMUM LOT FRONTAGE = 40'.

MINIMUM LOT AREA REQUIRED = 4000 S.F.

MAXIMUM LOT COVERAGE ALLOWED = 70%

BUILDING SETBACKS:

FRONT = 15'
SIDE = 5'
REAR = 20'

MINIMUM PARKING SPACES REQUIRED = 2.

NOTE: EXISTING RESIDENCE TO BE REMOVED. DEMOLITION PERMIT TO BE OBTAINED BEFORE BEGINNING ANY DEMOLITION ACTIVITIES. DEMOLITION IS TO BE PER CITY OF HOPEVILLE DEMOLITION REQUIREMENTS. STAGING AREA TO BE USED FOR LOADING AND REMOVAL OF ALL MATERIALS. SEDIMENT AND EROSION CONTROL DEVICES SHALL BE IN PLACE AT TIME OF DEMOLITION.

RECEIVED
APR 17 2007

TOTAL TRACT AREA = 1.078 ACRES
46,939.742 SQ. FT.

SUBDIVISION PLAT OF
WALNUT GROVE
LOCATED IN
CITY OF HOPEVILLE, GEORGIA
LAND LOT 94 - 14th. DISTRICT
FULTON COUNTY, GEORGIA

DATE: 11/24/2006 SCALE: 1"= 30'

Robert M. Kirkley
PROFESSIONAL LAND SURVEYOR
295 CHARLOTTE BLVD.
STOCKBRIDGE, GA. 30281
Office: 770-507-4824
Fax: 770-507-4708

NO.	DATE	REVISION



- 1) HORIZONTAL DATUM IS GEORGIA STATE PLANE WEST ZONE COORDINATE SYSTEM, NORTH AMERICAN DATUM 1983 (NAD83)
- 2) VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
- 3) ALL SURVEY BOOK REFERENCES SHOWN HEREON ARE RECORDED IN THE CLERK OF SUPERIOR COURT'S OFFICE OF FULTON COUNTY, GEORGIA, SUBJECT AND ADJACENT PROPERTY OWNER'S DEED REFERENCES ACCESSED VIA SUPERIOR COURT PUBLIC ACCESS SOURCES AND ARE NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS.
- 4) THIS MAP IS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT TITLE, ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED.
- 5) STRUCTURES VISIBLE WITHIN THE SUBJECT PROPERTY, BEGINNING ON THE DATE OF SURVEY ARE SHOWN HEREON.
- 6) LOCATIONS ARE ACCURATE ONLY WHERE DIMENSIONED.
- 7) DISTANCES SHOWN ARE HORIZONTAL.
- 8) THIS PROPERTY MAY CONTAIN WETLANDS, ALL WETLANDS ARE THE PROPERTY OF THE UNITED STATES ARMY CORPS OF ENGINEERS AND/OR THE STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES. LOT OWNERS ARE SUBJECT TO PROSECUTION OF LAW FOR VIOLATIONS OF WETLANDS AREAS WITHOUT THE PROPER PERMIT APPLICATION AND APPROVAL.
- 9) THIS PROPERTY IS NOT LOCATED IN SPECIAL FLOOD HAZARD AREA OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP NO. 1312100367; EFFECTIVE DATE: 09-19-2013.
- 10) THIS INFORMATION AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE. THE CERTIFICATE OF TITLE DOES NOT EXPRESS OR IMPLIED WARRANTY OR GUARANTEE.
- 11) DEED/PLAT DISCLAIMER: THIS PLAT MAY NOT CONFORM TO THE RECORDS AND RECORDS OF RECORDS OF THE DEED AND/OR PLAT OF RECORD DUE TO SEVERAL FACTORS INCLUDING, BUT NOT LIMITED TO, THE NATURE OF THE ADVANCES IN SURVEYING TECHNOLOGY SUCH AS ELECTRONIC SURVEYING DEVICES, THE USE OF ELECTRONIC INSTRUMENTS AND THE ADVENT OF SATELLITE SURVEYING TECHNIQUES USING "GPS" AND "GLONNASS" SATELLITE CONSTELLATIONS.
- 12) THIS PLAT IS USING STATE PLANE COORDINATE SYSTEM TO THE GEORGIA WEST STATE PLANE COORDINATE SYSTEM AND USE "GEODETIC" OR "GRID" NORTH AS OPPOSED TO "MAGNETIC" NORTH.
- 13) INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO WARRANTY OF THE ACCURACY OF THESE UTILITIES AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY VARY AND/OR CHANGE. UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS ARE SOLELY RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UTILITIES AND INFORMATION.
- 14) RIGHT-OF-WAYS ARE BASED ON CENTERLINES OF EXISTING PATHS OF TRAVEL, UNLESS NOTED OTHERWISE.
- 15) ALL PROPERTY CORNERS FOR LOTS TO BE SET IN FIELD AS PER A REBORN SURVEY OF LOTS MARKED "SLS CORNER LSP 631" UNLESS OTHERWISE STATED.
- 16) THIS SURVEY COMPLIES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE CODE OF GEORGIA ANNOTATED (OGCA) 15-6-67 AS AMENDED BY HB78 (2017), IN THAT WHERE A CONFLICT EXISTS BETWEEN THOSE TWO SETS OF SPECIFICATIONS, THE REQUIREMENTS OF OGCA SHALL PREVAIL.
- 17) BOUNDARY FIELD WORK PERFORMED 07-28-2017 BY FRONTLINE SURVEYING & MAPPING, INC.
- 18) EQUIPMENT USED: TOPCON ELECTRONIC TOTAL STATION & TRIMBLE 5800 GPS RECEIVER/UTM CHAMPION GPS/GPRS NETWORK.
- 19) ANGULAR ERROR: 10 SECONDS PER ANGLE.
- 20) RAW FIELD PRECISION: 1/2"=2.49".
- 21) ADJUSTED BY LEAST SQUARES.
- 22) PLAT CLOSURE: 1/21,966.

TREE NOTES:

- 1.) ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION
- 2.) ALL TREE SAVE FENCING TO BE INSTALLED PRIOR TO BE START OF LAND DISTURBANCE, AND MAINTAINED UNTIL FINAL LANDSCAPING.
- 3.) ALL TREE SAVE FENCE TO BE REPAIRED OR REPLACED AS NEEDED.
- 4.) NO PARKING, STORAGE, OR OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.

NOTE:
NO DUMPSTERS, PORTABLE TOILETS,
PARKING, MATERIAL STORAGE, OR STOCKPILE
AREAS ON SUBJECT PROPERTY OR IN RIGHT-OF-WAY

NOTE:
CONTRACTOR TO FIELD VERIFY
UTILITY TIE-IN TO EXISTING
FACILITIES AND COORDINATE
REMOVAL WITH EACH UTILITY.

TREE CALCULATIONS LOT 2										
RLS (ACRES)	LSF (SQ.FT)	RC (SQ.FT) / UNITS	MC (SQ.FT) / UNITS	AC UNITS	RL (SQ.FT) / UNITS	RCM (SQ.FT) / UNITS	RCS (SQ.FT) / UNITS	MC (SQ.FT) / UNITS	TOTAL (SQ.FT) / UNIT	
0.15	6969.6	3136 / 13	0000 / 0	0	0.00 2000 / 8	1000 / 4	500 / 2	2	0 3500 / 14	6

JOB # 69326

EROSION, SEDIMENTATION, & POLLUTION CONTROL PLAN FOR:

BERNARD VIGILANCE

449 & 451 WALNUT STREET
LAND LOT 94 14th DISTRICT
FULTON COUNTY, GEORGIA
CITY OF HAPEVILLE
EXISTING ZONING: R-SF
EXISTING PIN
Lot 1: 14 009400040392
Lot 2: 14 009400040400

PRODUCT SPECIFIC POLLUTION CONTROL PRACTICES

PETROLEUM BASED PRODUCTS - Containers for products such as fuel, lubricants and tars will be inspected daily for leaks and spills. This includes on-site vehicle and machinery daily inspections and regular preventative maintenance of such equipment. Equipment maintenance areas will be located away from state waters, natural streams and storm water drain inlets. In addition, temporary temporary fueling tanks shall have a secondary containment liner to prevent/minimize leaks contamination. Discharge of oils, fuels and lubricants is prohibited. Proper disposal methods will include collection in a suitable container and disposal as required by local and state regulations.

PAINTS/FINISHES/SOLVENTS - All products in tightly sealed original containers when not in use, excess product will not be discharged to the storm water collection system. Excess product, materials used with these products and product containers will be disposed of according to manufacturer's specifications and recommendations.

CONCRETE TRUCK WASHING - NO concrete trucks will be allowed to wash out or discharge surplus concrete or grout wash water on-site.

FERTILIZERS/HERBICIDES - These products are to be applied at rates that do not exceed the manufacturer's specifications or above the guidelines set forth in the crop establishment or in the OSMCO manual for Erosion and Sediment Control in Georgia. Any storage of these materials will be under roof in sealed containers.

BUILDING MATERIALS - No building or construction materials will be buried or disposed of on-site. All such material will be disposed of in proper waste disposal procedures.

RETENTION OF RECORDS

Each Tertiary Permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:

- A copy of Notice of Intent submitted to EPD; and
- A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit;
- The design professional's report of the results of the inspection conducted in accordance with Part V.A.5 of this permit;
- A copy of all monitoring information, results and reports required by this permit;
- A copy of all inspection reports generated in accordance with Part V.D.4.a of this permit;
- A copy of all violation summaries and violation summary reports generated in accordance with Part V.D.2 of this permit; and
- Daily rainfall information collected in accordance with Part V.D.4.a.(1)(c) of this permit.

TERTIARY PERMITTEES ARE NOT REQUIRED TO SAMPLE IF SITE IS LESS THAN 5 ACRES DISTURBED

EROSION CONTROL NOTES

- All erosion and sediment control measures will be checked daily and any deficiencies noted will be corrected by the end of each day. Additional erosion control measures will be installed if deemed necessary after on-site inspection by the issuing authority.
- CRITICAL AREAS** - All 2:1 ft slopes greater than 5' in height shall be stabilized immediately. Silt fence Type 'C' to be used to protect slope waters. Erosion control blankets to be used on all critical slopes. It is critical to prevent sediment from entering all on-site drains.
- SEALING** - All double row silt fencing is required adjacent to 100' x flood limits.
- DISPOSAL OF DEBRIS** - All debris shall be removed from the site prior to any filling operation.
- All available soil materials to be buried off r/s. Stumps and construction debris to be disposed of properly. Contractor to coordinate with owner regarding debris disposal.
- Non-erect activities shall not be conducted within the 25' or 50-foot undisturbed stream buffers as measured from the point of stream vegetation without first acquiring the necessary variances and permits.

WASTE DISPOSAL - Local waste collection areas away from streets, gutters, watercourses and storm drains. Waste collection areas, such as dumpsters, are often best located near construction site entrances to minimize traffic on disturbed soils. The plan shall include secondary containment around liquid waste collection areas to further minimize the likelihood of contaminated discharges. The contractor shall provide appropriate refuse/brush collection receptacles on the site and arrange for periodic collection and disposal. Concrete washdown of trucks, concrete mixer chutes, hoppers and rear of vehicles to be done in concrete pit deep enough to contain washdown water. WASHOUT DRAIN IS PROHIBITED. Ensure washdown water goes into and stays in pit. Contractor shall coordinate with superintendent to fill in pit and smooth out ground.

No hazardous materials are stored for use on this project. However, if circumstances arise where hazardous materials are to be used, the owner must be notified and proper handling and storage protocols documented and implemented.

Sanitary waste will be collected in portable on site provided and maintained by a state licensed sanitary waste management contractor or as required by local regulations.

Temporary fueling tanks shall have a GA EPD approved secondary containment liner to prevent/minimize site contamination and be located away from state waters, natural drains, and the storm water drainage inlets. Equipment maintenance areas will also be located away from drainage features. Discharge of oils, fuels and lubricants is prohibited. These should be collected in suitable containers and recycled or disposed of as appropriate.

No waste material shall be discharged to waters of the State, except as authorized by Section 404 permit. No waste will be disposed of into storm drain inlets. Signage will be posted as needed to advise above standards. All wastes to be disposed of in compliance with Local, State and Federal regulations.

SPILL PREVENTION AND CONTROL

Petroleum based products, including fuels, lubricants, transformer oil, tars, etc., kept on site shall be stored in tightly sealed containers that are clearly labeled. All on-site vehicles shall be monitored for leaks and receive regular preventative maintenance. Asphalt substances shall be coated as labeled. Local, State and manufacturers recommended methods for spill cleanup shall be clearly posted and procedures made available to site personnel. Materials and equipment necessary for spill cleanup shall be kept in the material storage area on-site. Typical equipment and materials for cleanup include gloves, goggles, rags, respirators, cat litter, sawdust, and plastic and metal containers for this purpose. All spills shall be cleaned up immediately following discovery.

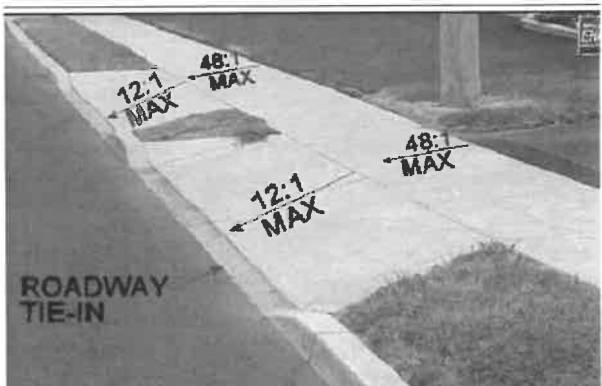
SOIL CLEANUP AND CONTROL PRACTICES

- Local, state and manufacturer's recommended methods of spill cleanup will be clearly posted and procedures will be made available to site personnel.
- Material and equipment necessary for spill cleanup will be kept in the material storage areas. Typical material and equipment includes, but is not limited to, brooms, brushes, shovels, rags, goggles, cat litter, and properly labeled plastic and metal waste containers.
- Spill prevention practices and procedures will be reviewed after a spill and adjusted as necessary to prevent future spills.
- FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-426-2875.
- FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-426-2875.
- FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA EPD WILL BE CONTACTED WITHIN 24 HOURS.
- FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED.

The contractor shall notify the licensed professional who prepared this plan if more than 1320 gallons of petroleum is stored onsite (this includes capacities of equipment) or if any one piece of equipment has a capacity over 560 gallons. The contractor will need a spill prevention containment and countermeasures plan prepared by a licensed professional.

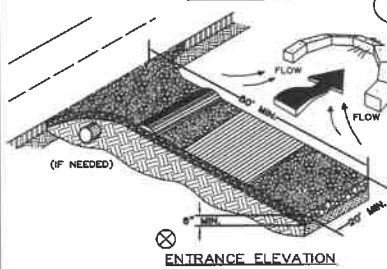
OWNER / DEVELOPER RESPONSIBILITIES

- Owner/Developer required to complete an NOI form, sign and mail certified 14 days prior to land disturbance.
- Owner/Developer required to have a firm execute Frontline Surveying's Comprehensive Monitoring Plan.
- Owner/Developer required to have an on-site Level 1A or Level 1B qualified erosion control manager.
- Owner/Developer required to call Frontline Surveying within 2 days after initial land disturbance so that we can schedule an Initial Site Inspection of Erosion and Sediment Control Measures as required by GAR10001.
- Owner/Developer required to call Frontline Surveying Project Manager if the Erosion, Sedimentation and Pollution Control Plan requires revision by design professional. This includes the addition or modification of sediment basins, as well as, amendments that have a significant effect on BMPs with a hydraulic component.
- All permittees shall ensure and demonstrate that their Plan is in compliance with applicable State and local waste disposal, sanitary sewer or septic system regulations.
- Primary permittee shall provide a copy of the plan or portion of the plan applicable to their site, to all secondary permittees.
- Owner/Developer required to complete an NOI form per requirements in the GAR10001, part 16.
- THE PRIMARY PERMITTEE AND TERTIARY PERMITTEE(S) MUST RETAIN THE DESIGN PROFESSIONAL WHO PREPARED THE PLAN, EXCEPT WHEN THE PERMITTEE HAS REQUESTED IN WRITING AND EPD HAS AGREED TO AN ALTERNATE DESIGN PROFESSIONAL TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL. BMPs WHICH THE DESIGN PROFESSIONAL DESIGNED WITHIN SEVEN (7) DAYS AFTER INSTALLATION. THE DESIGN PROFESSIONAL SHALL DETERMINE IF THESE BMPs HAVE BEEN INSTALLED AND ARE BEING MAINTAINED AS DESIGNED. THE DESIGN PROFESSIONAL SHALL REPORT THE RESULTS OF THE INSPECTION TO THE PERMITTEE WITHIN SEVEN (7) DAYS AND THE PERMITTEE MUST CORRECT ALL DEFICIENCIES WITHIN TWO (2) BUSINESS DAYS OF RECEIPT OF THE INSPECTION REPORT FROM THE DESIGN PROFESSIONAL UNLESS WEATHER RELATED SITE CONDITIONS ARE SUCH THAT ADDITIONAL TIME IS REQUIRED.



SIDEWALK RAMP

CRUSHED STONE CONSTRUCTION EXIT EXIT DIAGRAM



NOTES:

1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND GROUND FOR POSITIVE DRAINAGE.
3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DETICHES.
8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (CONVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
9. WASHWATER AND/OR TRUCK WASHWATER MAY BE REQUIRED DEPENDING ON ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.



WHEN SEEDING WILL NOT HAVE A SUITABLE GROWING SEASON TEMPORARY STABILIZATION MAY BE ACCOMPLISHED WITH:

1. STRAW - 2 TONS/AC - 2-4" DEEP
2. HAY - 2.5 TONS/AC - 2-4" DEEP
3. WOOD WASTE, BARK, SAWDUST - 2-3" DEEP

DISTURBED AREA STABILIZATION (W/ TEMPORARY MULCHING)

REFER TO "FIELD MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" FOR FURTHER DETAILS

NOTES:

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PLANTING PROCEDURE:

1. EXCAVATE ROOTBALL PIT.
2. ADD EXCAVATED SOIL AND TAMP. SET TREE SUCH THAT TOP OF ROOTBALL IS 3-5" HIGHER THAN FINISHED GRADE.
3. BACKFILL WITH SOIL MIX AND "WATER IN".
4. COMPLETE BACKFILLING AND CONSTRUCT A TRENCH EDGE.
5. STAKE AND GUY SECURELY.

NOTES:

1. SET TREE PLUMB PRIOR TO STAKING.
2. RUBBER HOSE (AS SPECIFIED).
3. GUY WIRE (AS SPECIFIED).
4. REFER TO ROOTBALL PIT DETAIL.

STAKE

SECTION

STAKE (AS SPECIFIED)

REFER TO ROOTBALL PIT DETAIL

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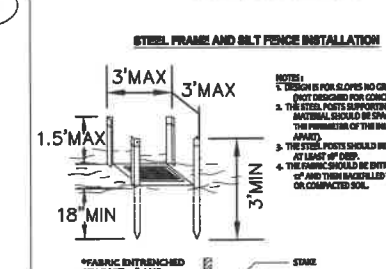
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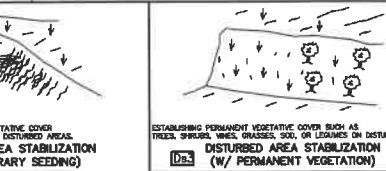
REFER TO ROOTBALL PIT DETAIL

FABRIC AND SUPPORTING FRAME FOR INLET PROTECTION



NOTES:

1. DESIGN IS FOR SLOPES NO GREATER THAN 1:1.
2. THE STEEL FRAME SUPPORTING THE SILT FENCE MATERIAL SHOULD BE SPACED 10' MAXIMUM ON CENTER.
3. THE STEEL FRAME SHOULD BE SECURELY ANCHORED AT LEAST 4' DEEP.
4. THE FABRIC SHOULD BE EXTENDED AT LEAST 4' AND 12" MINIMUM WITH CRUSHED STONE OR COMPACTED SOIL.



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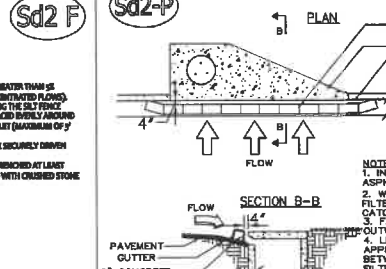
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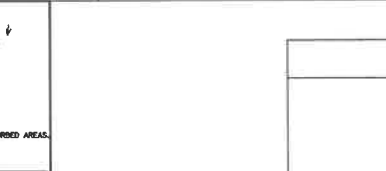
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CRUSHED STONE CONSTRUCTION EXIT EXIT DIAGRAM



NOTES:

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1. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
2. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
3. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 7 DAYS (PER FULTON COUNTY) SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
4. NOTIFY FULTON COUNTY ENGINEERING DEPARTMENT INSPECTOR 24 HOURS BEFORE COMMENCEMENT OF ANY LAND DISTURBING ACTIVITY, FOR AN EROSION AND SEDIMENTATION CONTROL INSPECTION AT (404) 812-4000.
5. A COPY OF THESE PLANS ARE TO BE KEPT ON SITE DURING THE DURATION OF THE PROJECT.

CONSTRUCTION SCHEDULE

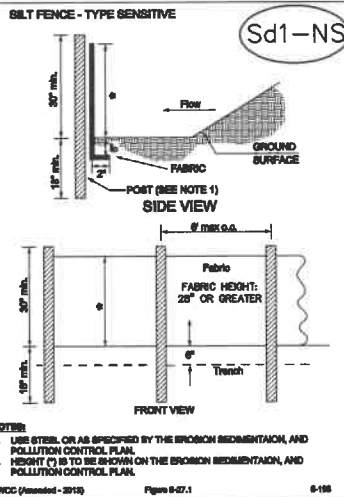
	AUG 2019	SEPT 2019	OCT 2019	NOV 2019
INSTALL CONST. ENTRANCE/EXIT & CONCRETE WASHOUT				
INSTALL PERIMETER & SEDIMENT STORAGE BMPs				
CLEARING & GRUBBING				
TEMPORARY VEGETATION				
BRING TO FINAL GRADE				
MAINTAIN EROSION CONTROL				
CONSTRUCTION OF BLDG DRIVE, AND SIDEWALKS				
FINAL LANDSCAPING AND PERMANENT VEGETATION				
CLEAN UP/REMOVAL OF BMPs				

NOTE: ALL BMPs SHALL BE REMOVED UPON FINAL STABILIZATION.

INSPECTIONS

c. Tertiary Permittee

- (1) Each day when construction activity has taken place at a tertiary permittee's site, certified personnel provided by the tertiary permittee shall inspect: (a) all areas used by the tertiary permittee where petroleum products are stored, used or handled for spills and leaks from vehicles and equipment; and (b) all locations at the tertiary permittee site where that permittee's vehicles enter or exit the site for evidence of off-site sediment tracking. These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.
- (2) Certified personnel (provided by the tertiary permittee) shall inspect the following at least once every seven days and within 24 hours of the end of a storm that is 0.5 inches rainfall or greater (unless such storm ends after 5:00 PM on any Friday or any non-working Saturday, non-working Sunday or any non-working Federal holiday in which case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first); (a) disturbed areas of tertiary permittee's construction site that have not undergone final stabilization; (b) areas used by the tertiary permittee for storage of materials that are exposed to precipitation that have not undergone final stabilization; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the tertiary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization, the permittee must comply with Part V.D.4.c.(3). These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.
- (3) Certified personnel (provided by the tertiary permittee) shall inspect at least once per month during the term of this permit (i.e., until a Notice of Termination is received by EPD) the areas of their sites that have undergone final stabilization. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to the receiving water(s). This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.
- (4) Based on the results of each inspection, the site description and the pollution prevention and control measures identified in the Plan shall be reviewed as appropriate not later than seven (7) calendar days following each inspection, implementation of such changes shall be made as soon as practical but in no case later than seven (7) calendar days following the inspection.
- (5) A report of each inspection that includes the name(s) of personnel making each inspection, the date(s) of each inspection, major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance shall be made and retained at the site or be readily available at a designated alternate location until the entire site has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall identify any incidents of non-compliance. Where the report does not identify any incidents of non-compliance, the report shall contain a certification that the construction site is in compliance with the Erosion, Sedimentation and Pollution Control Plan and this permit. The report shall be signed in accordance with Part V.D. of this permit. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.

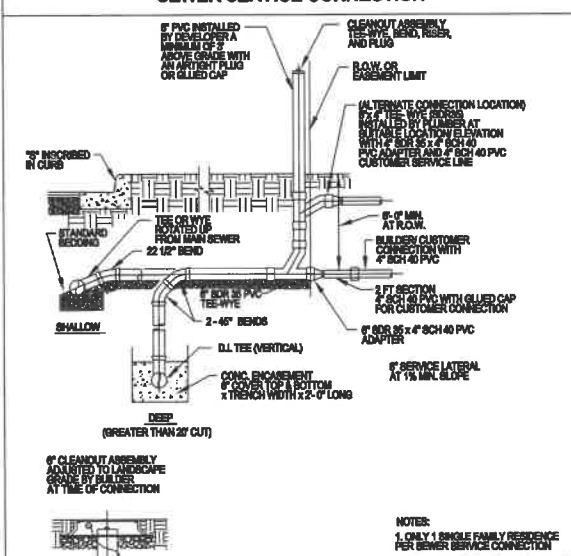


NOTES:

1. USE STEEL OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
2. HEIGHT (H) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

GSWCC (Revised - 2019) Figure B-2.1 8-108

SEWER SERVICE CONNECTION



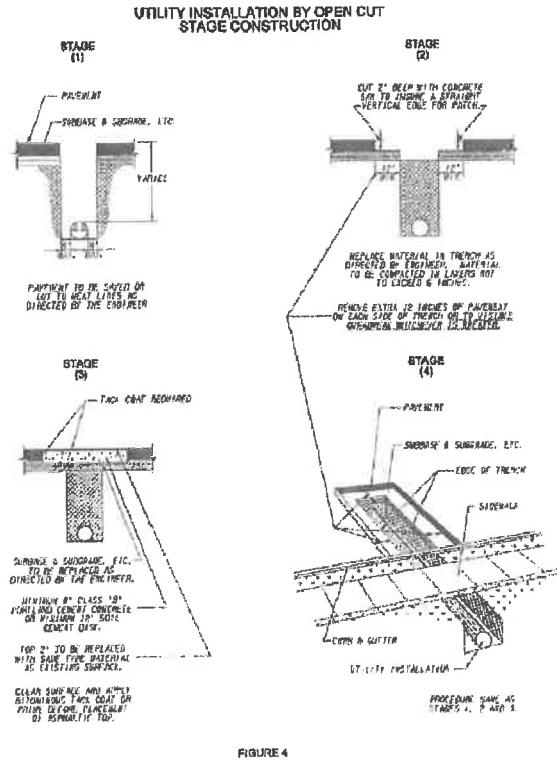
NOTES:

EROSION, SEDIMENTATION, & POLLUTION CONTROL PLAN FOR:

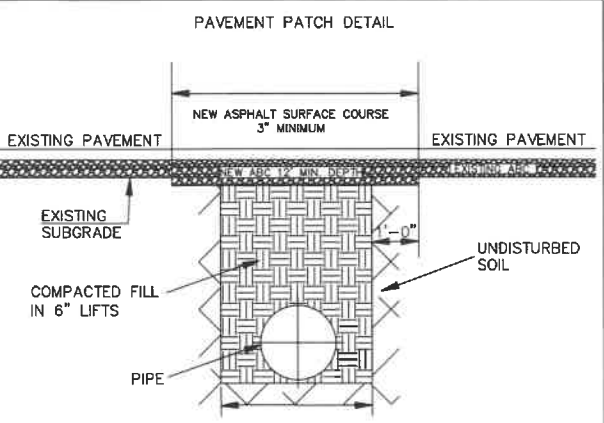
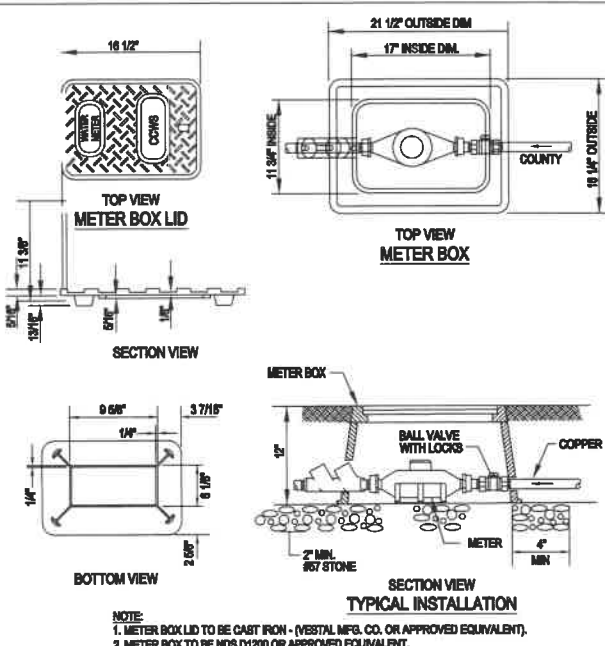
BERNARD VIGILANCE

449 & 451 WALNUT STREET
LAND LOT 94 14th DISTRICT
FULTON COUNTY, GEORGIA
CITY OF HAPEVILLE
EXISTING ZONING: R-SF
EXISTING PIN
Lot 1: 14 009400040392
Lot 2: 14 009400040400

VEGETATIVE MEASURES				
CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
De1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)		De1	ESTABLISHING TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDING MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER.
De2	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)		De2	ESTABLISHING TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.
De3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)		De3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOIL OR LEGUMES ON DISTURBED AREAS.
De4	DISTURBED AREA STABILIZATION (WITH SODDING)		De4	ESTABLISHING PERMANENT VEGETATIVE COVER USING SODS ON HIGHLY ERODIBLE OR CRITICALLY ERODED LANDS.

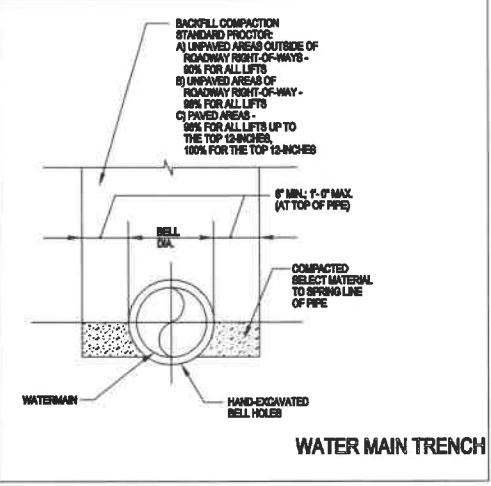


3/4" & 1" WATER METER BOX & LID DETAIL

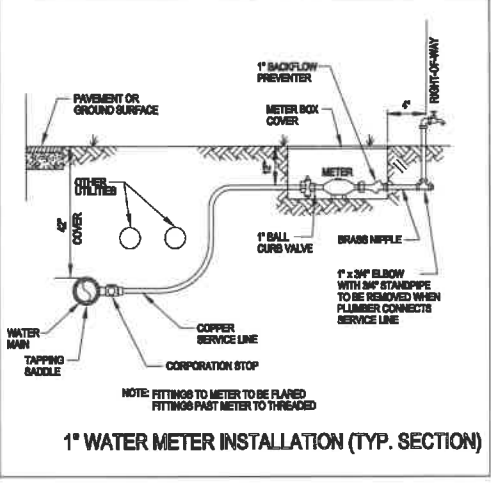


NOTES:
1.) IN GDOT-MAINTAINED ROADWAYS ENCROACHMENT PAVEMENT PATCH REQUIREMENTS SHALL TAKE PRECEDENCE.
2.) THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAWCUT MACHINE.
3.) THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY GDOT.
4.) THE FINAL 1" OF FILL SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% IF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-80 AS MODIFIED BY GDOT.
5.) THE ENTIRE THICKNESS AND VERTICAL EDGE OF CUT SHALL BE TACKED.
6.) THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 3" THICK.
7.) THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH LEVEL PATCH.
9.) NO HAND PATCHING ALLOWED.
10.) PAVEMENT CUTS WITHIN GDOT ROW SHALL CONFORM TO THE APPROVED ON SITE ENCROACHMENT PERMIT.
11.) REFER TO CITY OF HAPEVILLE STANDARDS FOR TRENCHES AND PIPE BEDDING, FOR ADDITIONAL DETAILS.

WATER MAIN TRENCH DETAIL



1" WATER METER INSTALLATION (TYPICAL SECTION)



THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE OF 1 FOOT IN 25,328 FEET, AN ANGULAR ERROR OF 1.0 SECONDS PER ANGLE POINT AND WAS ADJUSTED BY THE METHOD OF LEAST SQUARES TO BE ACCURATE TO 1 FOOT IN 25,328 FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAN.

NO N.G.S. MONUMENT WAS FOUND WITHIN 500 FEET OF THIS PROPERTY. THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAN DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS OR ENTITY. THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF FRONTLINE SURVEYING & MAPPING, INC. AND NO PART OF THESE DOCUMENTS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF FRONTLINE SURVEYING & MAPPING, INC. *** ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED ***

3595 Canton Road
Suite 116, PMB 272
Marietta, GA 30066
Ph: (678) 355-9905
Fax: (678) 355-9805
www.frontlinesurveying.com

FRONTLINE SURVEYING & MAPPING, INC.

DATE: 07/22/19
SCALE: 1" = 20'
SECTION: 14th DISTRICT
BLOCK: 94
LOT: 1 & 2
SUBDIVISION: 14th DISTRICT
UNIT: 14th DISTRICT
PHASE: 14th DISTRICT
I HAVE THIS DATE EXAMINED THE "14th OFFICIAL FLOOD HAZARD MAP" (IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS)
DB 54TH, PG 26
EFFECTIVE DATE: 09/18/2013
MAP ID: 1312102577

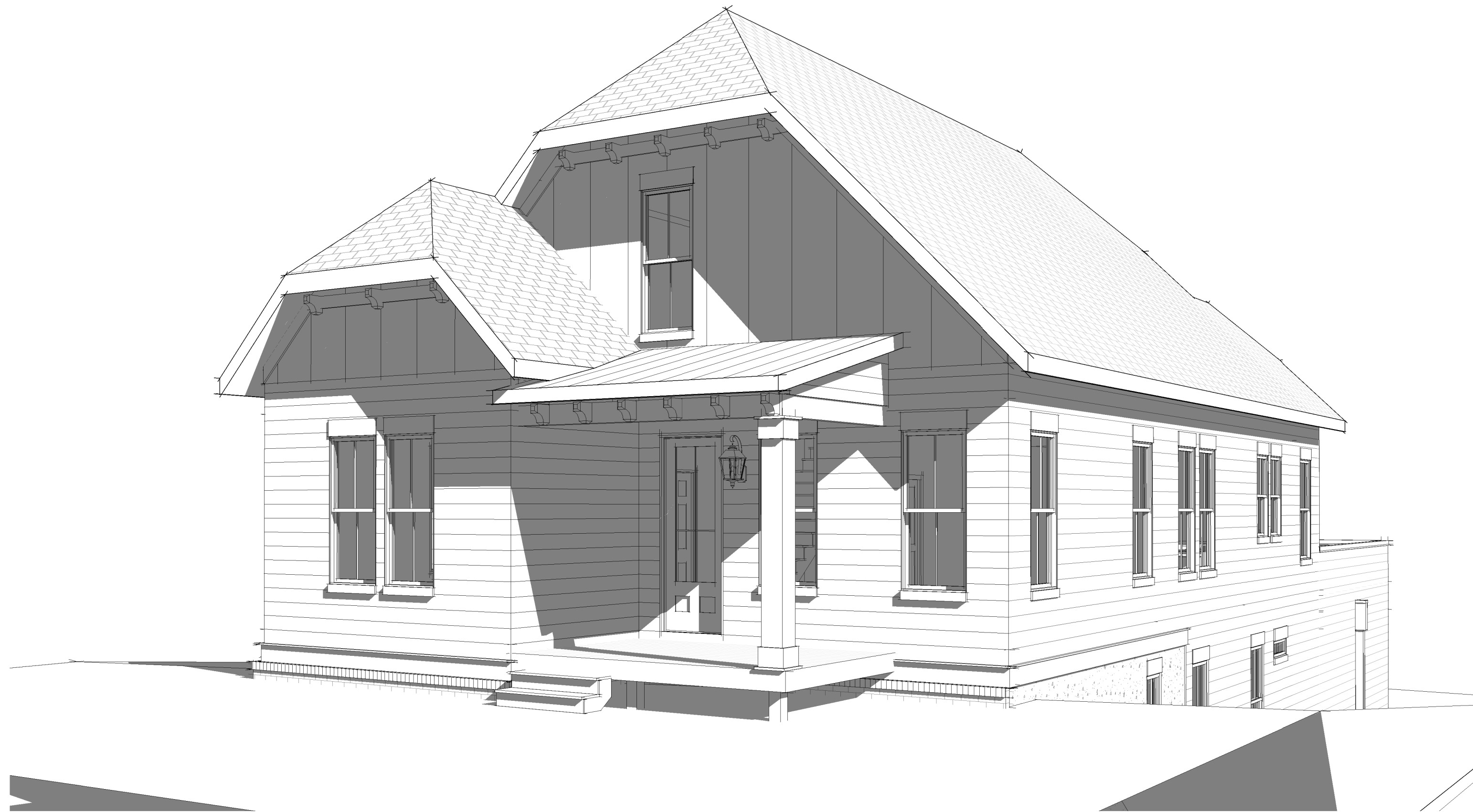
EROSION, SEDIMENTATION, & POLLUTION CONTROL PLAN FOR:
BERNARD VIGILANCE

LAND LOT 94
LOT 1 & 2
SUBDIVISION 14th DISTRICT
UNIT 14th DISTRICT
PHASE 14th DISTRICT
I HAVE THIS DATE EXAMINED THE "14th OFFICIAL FLOOD HAZARD MAP" (IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS)
DB 54TH, PG 26
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GSWCC
GEORGIA SOIL AND WATER
CONSERVATION COMMISSION
THOMAS EDWARD PEAY, JR.
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER: 0000004496
ISSUED: 01/24/2018
EXPIRES: 01/24/2021

NEW RESIDENCE

449 WALNUT STREET
HAPEVILLE, GA , 30354



Prepared by:

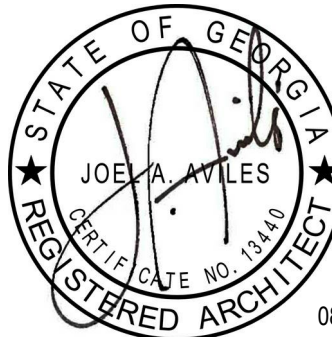


JOEL AVILES ARCHITECTS
ARCHITECTURE | PLANNING | RENDERINGS

110 N. McDonough Street | Jonesboro | Georgia 30236
tel: 404.975.7895 | email: joel@joelaviles.com
www.joelaviles.com

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Professional Seals:



Prepared for:

BERNARD VIGILANCE

Consultants:

COPYRIGHT: THESE DRAWINGS ARE THE PROPERTY OF JOEL AVILES ARCHITECTS, LLC. THESE DRAWINGS ARE CONSIDERED INSTRUMENTS OF SERVICE AND SHALL BE USED ONLY FOR THIS PROJECT. THESE DRAWINGS SHALL NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART FOR OTHER PURPOSES WITHOUT WRITTEN PERMISSION FROM THE AUTHOR .

APPLICABLE CODES

RESIDENTIAL:	INTERNATIONAL RESIDENTIAL CODE - 2012 EDITION, W/ GEORGIA STATE AMENDMENTS (2014)(2015) (2018)
ELECTRICAL:	NEC - NATIONAL ELECTRIC CODE - 2017 EDITION, W/ NO GEORGIA AMENDMENTS
ENERGY:	INTERNATIONAL ENERGY CONSERVATION CODE - 2009 EDITION, W/ GEORGIA SUPPLEMENTS AND AMENDMENTS (2011) (2012)
PLUMBING:	INTERNATIONAL PLUMBING CODE - 2012 EDITION, W/ GEORGIA AMENDMENTS (2014)(2015)

DESIGN LOADS AND BUILDING PLANNING

THE STRUCTURAL DESIGN IS BASED ON THE INTERNATIONAL RESIDENTIAL CODE (2012 EDITION)

FLOORS:

SLEEPING AREAS = 30 PSF LL + 20 PSF DL
LIVING AREAS = 40 PSF LL + 20 PSF DL
STAIRS = 100 PSF LL
WOOD DECKS = 40 PSF LL + 20 PSF DL

ROOFS:

CEILINGS NOT ATTACHED TO RAFTERS, L/A = 180:
ROOF LIVE LOAD = 20 PSF
ROOF DEAD LOAD = 10 PSF (LIGHTWEIGHT FRAMING)
ROOF DEAD LOAD = 20 PSF

CEILINGS ATTACHED TO RAFTERS, L/A = 240:
ROOF LIVE LOAD = 20 PSF
ROOF DEAD LOAD = 10 PSF (LIGHTWEIGHT FRAMING)
ROOF DEAD LOAD = 20 PSF

CEILINGS:

UNINHABITABLE ATTICS W/O STORAGE, L/A = 240:
LIVE LOAD = 10 PSF
DEAD LOAD = 5 PSF

UNINHABITABLE ATTICS W/ LIMITED STORAGE, L/A = 240:
LIVE LOAD = 20 PSF
DEAD LOAD = 10 PSF

WIND LOADS:

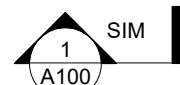
BASIC WIND SPEED = 90 MPH

WEATHERING PROBABILITY FOR CONCRETE: MODERATE

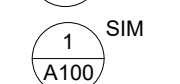
GROUND SNOW LOAD : 5 PSF

TERMITE INFESTATION PROBABILITY : VERY HEAVY

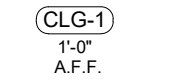
ARCHITECTURAL LEGEND



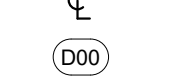
SECTION MARK



CALLOUT DETAIL MARK



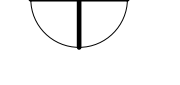
CEILING TAG



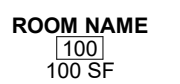
CENTER LINE



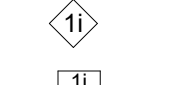
DOOR TAG



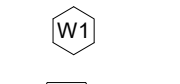
EQUIPMENT TAG



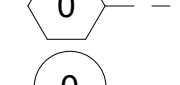
NORTH ARROW



ROOM TAG



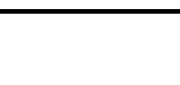
AL STOREFRONT TAG



WALL TAG



WINDOW TAG



(GRID LINE) CENTER



(GRID LINE) FACE

ABBREVIATIONS

3050	WINDOW SIZE 3'-0" x 5'-0"	KW	KNEE WALL
A	AMPS	KW	KILOWATT
ABV	ABOVE	LDG	LEDGE
AC	ABOVE CEILING	LIN	LINEN
ACT	ACOUSTICAL CEILING TILE	LOC	LOCATION
AF	ABOVE FINISH FLOOR	MAS	MASONRY
ALUM	ALUMINUM	MECH	MECHANICAL ROOM
APPROX	APPROXIMATE	MFR	MANUFACTURER
ASC	ABOVE SUSPENDED CEILING	OHD	OVERHEAD DOOR
BDRM	BEDROOM	OPG	OPENING
BF	BI-FOLD DOOR	OPT	OPTIONAL
BLW	BELOW	PAN	PANTRY
BRK	BRICK	PDS	PULL DOWN STAIR
BSMT	BASEMENT	PS	PEDESTAL SINK
CL	CENTER LINE	PT	PRESSURE TREADED
CLW	CENTER LINE OF WALL	PW	PLUMBING WALL
COL	COLUMN	PWDR	POWDER ROOM
CONC	CONCRETE	QT	QUARRY TILE
COHT	CONTINUOUS	RB	RUBBER
COORD	COORDINATE	RC	STAIR RISER COUNT
CPT	CARPET	RD	STAIR RISER DIMENSION
CT	CERAMIC TILE	RECP	RECEPTACLE
DBL	DOUBLE	SB	SMOKE BARRIER
DECO	DECORATIVE	SC	SOLID CORE
DF	DRINKING FOUNTAIN	SCWD	SOLID CORE WOOD
DN	DOWN	SIM	SIMILAR
DS	DOWNSPOUT	SS	STAINLESS STEEL
DW	DISHWASHER	STL	STEEL
DWG	DRAWINGS	SU	STUB-UP
EFS	EXTERIOR INSULATION FINISH SYSTEM	TC	STAIR TREAD COUNT
ELEC	ELECTRIC	TD	STAIR TREAD DIMENSION
EP	ELECTRIC PANEL	TOP	TOP OF PLATE
EW	EACH WAY	TOW	TOP OF WINDOW
EWC	ELECTRIC WATER COOLER	TRANS	TRANSOM WINDOW
EXG	EXISTING	TYP	TYPICAL
EXT	EXTERIOR	UNO	UNLESS NOTED OTHERWISE
FE	WALL RECESSED	V	VOLTS
FEC	FIRE EXTINGUISHER 5# A.B.C.	VCT	VINYL COMPOSITE TILE
FI	FIRE EXTINGUISHER CABINET	W	WATTS
HM	SEMI RECESSED W/ 5# A.B.C	WH	WATER HEATER
FLR	FLOORING	WIC	WALK IN CLOSET
FOS	FACE OF STUD		
FPL	FIRE PLACE		
FTG	FOOTING		
GS	GENERAL CONTRACTOR		
GYS	GYPSON BOARD		
HGT	HEIGHT		
HMA	HOLLOW METAL		
HP	HORSEPOWER		
IG	ISOLATED GROUND		

SCOPE OF WORK

NEW RESIDENTIAL CONSTRUCTION

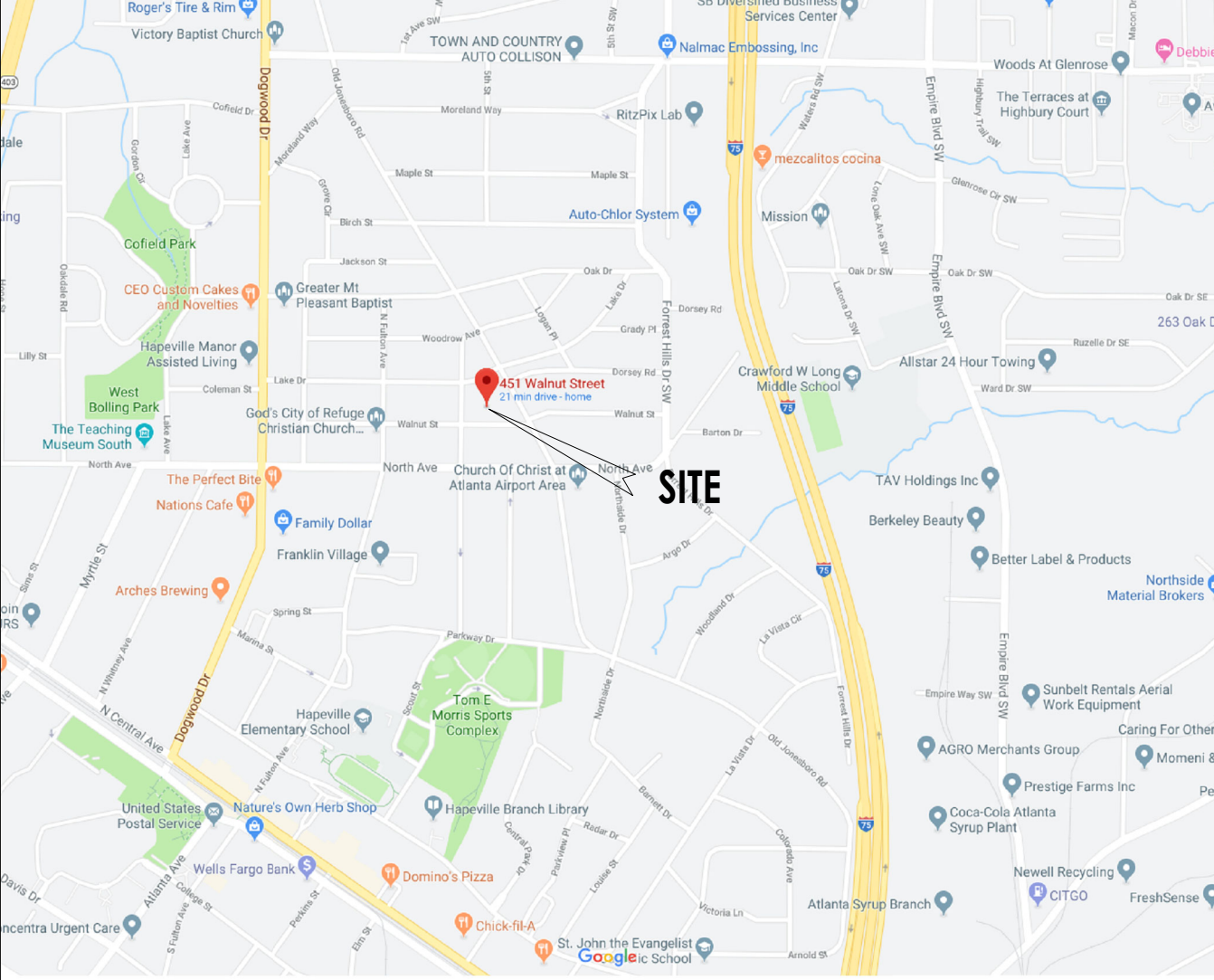
TEAM MEMBERS

OWNER:	BERNARD VIGILANCE 404.573.7041
ARCHITECT:	JOEL AVILES ARCHITECTS, LLC ATTN: JOEL AVILES, AIA, NCARB 110 N McDONOUGH ST JONESBORO, GA 30236 TEL: 404.975.7895 EMAIL: JOEL@JOELAVILES.COM

BUILDING AREAS

AREA SCHEDULE (GROSS HEATED)	
FIRST FLOOR HEATED AREA	1588 SF
SECOND FLOOR HEATED AREA	581 SF
HEATED BASEMENT ENTRY	169 SF
Grand total	2337 SF
AREA SCHEDULE (GROSS UNHEATED)	
FRONT COVERED PORCH	96 SF
UN-FINISHED BASEMENT AREA	1358 SF
2-CAR GARAGE	484 SF
Grand total	1938 SF
AREA SCHEDULE (GROSS TOTAL UNDER ROOF)	
FIRST FLOOR HEATED AREA	1588 SF
SECOND FLOOR HEATED AREA	581 SF
FRONT COVERED PORCH	96 SF
UN-FINISHED BASEMENT AREA	1358 SF
2-CAR GARAGE	484 SF
HEATED BASEMENT ENTRY	169 SF
Grand total	4275 SF

LOCATION MAP



INTERPRETATION OF DRAWINGS DURING CONSTRUCTION

1. JOEL A. AVILES, ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THE CONSTRUCTION DOCUMENTS, INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE; AND THAT THE ARCHITECT OF RECORD IS NO LONGER LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE.

DRAWING INDEX

SHEET INDEX	
A001	COVER SHEET
A100	NOTES AND SPECIFICATIONS
A101	FIRST, SECOND AND BASEMENT FLOOR PLANS
A102	PROPOSED EXTERIOR ELEVATIONS
A103	PROPOSED EXTERIOR ELEVATIONS
A104	FOUNDATION PLAN AND DETAILS
A105	FIRST, SECOND AND ROOF FRAMING PLANS
A106	BUILDING & WAL SECTIONS
A901	ISOMETRICS

NO.	DATE	DESCRIPTIONS	BY
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ISSUES / REVISIONS

Project:

BERNARD RESIDENCE

Project Address:

449 WALNUT STREET
HAPEVILLE, GA 30354

Drawing Title:

COVER SHEET

Drawing Status:

**RELEASED FOR
CONSTRUCTION**

Scale: 1/4" = 1'-0" Drawn by: JA Reviewed by: JA

Date/Time Printed: 8/24/2019 3:18:35 PM

Date: 08.19.2019 Project number: 19040

Drawing:

A001

GENERAL NOTES:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, REGULATIONS.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
4. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
5. ALL WOOD, CONCRETE, AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE, AND LOCAL BUILDING CODES WHERE APPLICABLE.
6. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.
7. WHERE APPLICABLE, COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW, VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
8. THE STRUCTURE SHOWN ON THESE DRAWINGS IS SOUND ONLY IN ITS COMPLETED FORM. THE CONTRACTOR SHALL TEMPORARILY BRACE THE STRUCTURE AND ITS COMPONENTS TO RESIST ALL LATERAL FORCES DURING CONSTRUCTION.

SOIL & FOUNDATION WALL GENERAL NOTES

1. FOOTINGS HAVE BEEN DESIGNED USING A SOIL BEARING PRESSURE OF 2000 PSF. FOOTING DESIGN PARAMETERS SHALL BE VERIFIED PRIOR TO CONSTRUCTION.
2. BOTTOM OF CONCRETE FOOTINGS SHALL BE 12" BELOW FINISH GRADE AND MUST REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE STRUCTURE.
3. IF BACKFILL EXCEEDS 4 FEET AGAINST ANY FOUNDATION WALL, REINFORCE AS PER CODE.

REINFORCED CONCRETE GENERAL NOTES

1. MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS: (PER IRC TABLE 402.2)
 - A. BASEMENT WALLS, FOUNDATIONS AND OTHER CONCRETE NOT EXPOSED TO THE WEATHER = 2,500 PSI
 - B. BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS = 2,500 PSI
 - C. BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO THE WEATHER = 3,000 PSI
 - D. PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS = 3,000 PSI
2. CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH AS SHOWN ABOVE (IRC TABLE 402.2). CONCRETE SUBJECT TO WEATHERING SHALL BE AIR ENTRAINED AS SPECIFIED IN IRC TABLE 402.2. THE MAXIMUM WEIGHT OF FLY ASH, OTHER POZZOLANS, SILICA FUME, OR SLAG THAT IS INCLUDED IN CONCRETE MIXTURES FOR GARAGE FLOOR SLABS AND FOR EXTERIOR PORCHES, CARPORT SLABS, AND STEPS THAT WILL BE EXPOSED TO DECIDING CHEMICALS SHALL NOT EXCEED THE PERCENTAGES OF THE TOTAL WEIGHT OF CEMENTITIOUS MATERIALS SPECIFIED IN SECTION 4.2.3, OF ACI 318. MATERIALS USED TO PRODUCE CONCRETE AND TESTING THEREOF SHALL COMPLY WITH THE APPLICABLE STANDARDS LISTED IN CHAPTER 3 OF ACI 318 OR ACI 332.
3. CONCRETE WORK SHALL CONFORM TO ACI 318-05, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
4. AGGREGATE SHALL BE NORMAL WEIGHT AND CONFORM TO ASTM C33.
5. THE FOLLOWING MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE PROVIDED:
 - 3 IN. - CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH
 - 2 IN. - CONCRETE EXPOSED TO EARTH OR WEATHER (#6 TO #18 BAR)
 - 1 1/2 IN. - CONCRETE EXPOSED TO EARTH OR WEATHER (#3 TO #5 BAR)
 - 3/4 IN. - CONCRETE NOT EXPOSED TO EARTH OR WEATHER (#3 TO #11 BAR)
6. LAP SPICES FOR REINFORCING STEEL SHALL BE ACI CLASS B.
7. DETAILING, FABRICATION AND PLACING OF CONCRETE REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ACI 318 AND ACI 318I. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60.
8. ALL REINFORCING STEEL SHALL BE FREE OF RUST, SCALE OR ANY FOREIGN MATERIAL PRIOR TO CONCRETE PLACEMENT.

CONCRETE SLABS ON GRADE NOTES:

1. CONCRETE SLAB-ON-GROUND FLOORS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R506 OR ACI 332.
2. CONSTRUCTION AND CONTROL JOINTS SHALL BE INSTALL WITHIN A MAXIMUM AREA OF 150 SF, OR AS INDICATED ON PLANS.
3. CONCRETE SLAB ON GRADE SHALL BE 4 INCHES THICK, 3,000 PSI CONCRETE REINFORCED WITH 6#x6- W1.4x1.4 WELDED WIRE MESH PLACED 1 INCH BELOW TOP OF SLAB. INSTALL SLAB OVER A 4 INCH GRAVEL BASE WITH 6 MIL MIN. VAPOR BARRIER.
4. WELDED WIRE MESH SHALL CONFORM TO ASTM A185. LAP MESH 6 INCHES MIN.
5. FINISHING OF CONCRETE SLAB ON GRADE SHALL CONFORM TO ACI 302.1R.

MASONRY NOTES:

1. CONCRETE MASONRY UNITS SHALL BE NORMAL WEIGHT AND CONFORM TO ASTM C90, GRADE N, TYPE II. COMPRESSIVE STRENGTH (F) SHALL BE 1,500 PSI MINIMUM.
2. MASONRY MORTAR SHALL BE TYPE M OR S AND CONFORM TO ASTM C270. GROUT SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI AND CONFORM TO ASTM C476.
3. INSTALLATION OF CONCRETE MASONRY UNITS SHALL CONFORM TO ACI 530 / ASCE 5. UNITS SHALL BE SET IN RUNNING BOND.
4. MASONRY REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60.
5. JOINT REINFORCING FOR MASONRY SHALL BE TRUSS TYPE, 2-9 GAUGE SIZE RODS, AND CONFORM TO ASTM A82. VERTICAL SPACING SHALL BE 16 INCHES TYPICAL.
6. ALL MASONRY CELLS CONTAINING REINFORCING STEEL OR BELOW GRADE SHALL BE GROUTED SOLID. VERTICAL REINFORCING SHALL DOWELED INTO THE FOUNDATION. LAP SPACES FOR REINFORCEMENT SHALL BE 50 BAR DIAMETER.

WOOD FRAMING NOTES:

3. WOOD FRAMING SHALL CONFORM TO ALL LOCAL BUILDING CODES AS A MINIMUM STANDARD.
2. TOE AND END NAILING MAY BE ALLOWED FOR BEARING TYPE CONNECTIONS UNLESS OTHERWISE NOTED ON THE DRAWINGS. ALL OTHER CONNECTIONS SHALL BE MADE USING METAL CONNECTORS.
3. NOMINAL WOOD FRAMING SHALL BE SOUTHERN PINE NO.2 AND CONFORM TO NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION. KILN DRIED (MC=15%) OR EQUAL UNLESS NOTED OTHERWISE ON THE DRAWINGS.
4. WALL STUD FRAMING SHALL BE SOUTHERN PINE, STUD GRADE TYPICAL.
5. WOOD FRAMING EXPOSED TO WEATHER OR IN CONTACT WITH SOIL, CONCRETE OR MASONRY SHALL BE PRESURE PRESERVATIVE TREATED TYPICAL.
6. SIMPSON CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE SIMPSON STRONG-TIE COMPANY, INC. USE THE SIZE AND NUMBER OF REQUIRED FASTENERS AS LISTED IN THE SIMPSON STRONG-TIE CATALOG C-2009.
7. PROVIDE BRIDGING AT 6'-0" O/C MAXIMUM SPACING AND AT ALL BEARING POINTS FOR ALL JOISTS AND RAFTERS.
8. LOAD BEARING STUD WALLS SHALL HAVE HORIZONTAL BRACING AT 6'-0" O/C MAXIMUM SPACING.
9. STUDS AND JOISTS SHALL NOT BE CUT TO INSTALL PLUMBING OR WIRING WITHOUT ADDING METAL OR WOOD SIDE PIECES TO STRENGTHEN THE MEMBER TO ITS ORIGINAL CAPACITY.
10. STRUCTURAL BOLTS SHALL CONFORM TO ASTM A325N, TYPICAL.
11. JOISTS AND RAFTERS SHALL BE CUT TO HAVE HORIZONTAL CONTACT FOR THE FULL WIDTH OF THE SUPPORTING MEMBER.
12. NAIL MULTIPLE MEMBER BEAMS TOGETHER WITH 16D NAILS AT 12 INCHES ON CENTER STAGGERED.
13. ALL STRUCTURAL GLUED LAMINATED TIMBER TO HAVE MINIMUM FB = 2400 PSI. GRADE COMBINATION F.
14. ALL LAMINATED VENEER LUMBER BEAMS (LVL) TO HAVE MINIMUM FB = 2925 PSI AND A MODULUS OF ELASTICITY OF 2000 KSI.
15. ALL METAL CONNECTORS AND FASTENERS TO BE PROTECTED FROM CORROSION BY USING SUCH CONNECTORS AND FASTENERS THAT ARE ADDITIONALLY TREATED FOR PROTECTION AGAINST CORROSION BY THE MANUFACTURERS.
16. WOOD ROOF SHEATHING SHALL BE 5/8 IN. APA RATED PLYWOOD, CDX OR OSB SHEATHING, NAIL SHEATHING TO WOOD TRUSSES WITH 10d COMMON NAILS SPACED 6 IN. O.C. AT PANEL EDGES AND 12 IN. O.C. AT INTERMEDIATE SUPPORTS.
17. EXTERIOR WALL SHEATHING SHALL BE 1/2 IN. APA RATED PLYWOOD, CDX OR OSB SHEATHING, NAIL SHEATHING TO WOOD STUDS AND PLATES WITH 10d COMMON NAILS SPACED 6 IN. O.C. AT PANEL EDGES AND 12 IN. O.C. AT INTERMEDIATE SUPPORTS UNLESS NOTE OTHERWISE.
18. PROVIDE PURLINS AT MID HEIGHT OF ALL WALLS.
19. ALL HEADERS SHALL BE 2X10'S WITH 1/2" PLYWOOD FLITCH PLATE UNLESS OTHERWISE NOTED.
20. FRAMER TO INSTALL DOUBLE FLOOR JOISTS UNDER PARTIAL PLATE PARALLEL TO JOIST DIRECTION.
21. PROVIDE 1x4 CROSS BRIDGING AT MID POINT OF SPAN OR 8'-0" O.C. MAXIMUM IN ALL FLOORS IF FLOOR JOIST ARE INDICATED ON PLANS.
22. UNLESS OTHERWISE INDICATED ON PLANS, PROVIDE 2X4'S COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOISTS AT 4'-0" O.C. MAXIMUM.
23. UNLESS OTHERWISE INDICATED ON PLANS, PROVIDE CONTINUOUS PURLINS, LUMBER SIZED EQUAL TO RAFTER, AT A POINT WHERE IT MEETS THE PURLIN BRACE AT THE TOP END. PURLIN BRACE SHALL BE 2x4 IN., WITH A ANGLE TO HORIZON NOT LESS THAN 45 DEGREES AT BOTTOM END, AND SPACED A MINIMUM OF 48" O.C. BOTTOM END OF PURLIN TIE SHALL BEAR ON BEARING WALL AND TOP END SHALL BE CONNECTED TO CONTINUOUS PURLIN.
24. UNLESS OTHERWISE INDICATED ON PLANS, PROVIDE 2x4 RATER TIES @ EVERY OTHER RAFTER, WHERE CEILING JOIST RUN PERPENDICULAR TO RAFTERS.
25. HIP, VALLEY RAFTERS, AND RIDGE BOARDS SHALL BE ONE 2"x" SIZE LARGER THAN RAFTERS.
26. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD.
27. ALL FRAMED WALL DIMENSIONS ARE BASED ON 2x4 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED.
28. ALL COLUMNS OR SOLID FRAMING SHALL EXTEND DOWN THRU ALL LEVELS AND TERMINATE AT THE BASEMENT FLOOR AND BE SUPPORTED BY A THICKENED SLAB, GRADE BEAM, OR FOOTING DESIGNED TO CARRY LOAD.
29. COMMON WIRE NAILS SHALL BE GALVANIZED AND CONFORM TO ASTM F1667. THE FOLLOWING SIZES SHALL BE USED:

TYPE	DIAMETER	LENGTH
6d	0.113 IN.	2 IN.
8d	0.131 IN.	2 1/2 IN.
10d	0.148 IN.	3 IN.
12d	0.148 IN.	3 1/4 IN.
16d	0.162 IN.	3 1/2 IN.

PRE-ENGINEERED WOOD TRUSSES

1. WOOD ROOF TRUSSES SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF GEORGIA.
2. FLOOR TRUSSES SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF GEORGIA.
3. DO NOT FIELD CUT OR ALTER WOOD TRUSSES WITHOUT APPROVAL OF THE STRUCTURAL ENGINEER.

GLAZING AND OPENING NOTES:

1. ALL GLASS LOCATED WITHIN 18" OF FLOOR, 24" OF A DOOR OR LOCATED WITHIN 60" OF ANY STANDING SURFACE AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED.
2. BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ.FT., A MINIMUM NET CLEAR OPENABLE WIDTH OF 20", A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 44" FROM FINISH FLOOR TO OPENING SILL.
3. UNLESS OTHERWISE INDICATED ON PLANS ALL GLAZING SHALL BE INSULATED LOW-E.
- EXHAUST FAN NOTES:
1. BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 90 CFM FAN. RANGE HOODS SHALL ALSO BE VENTED TO OUTSIDE IF SPECIFIED ON PLANS.

ELECTRICAL NOTES:

1. ALL ELECTRICAL WORK TO COMPLY WITH NATIONAL ELECTRIC CODE AS SPECIFIED UNDER APPLICABLE CODES.
2. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN THE STATE OF GEORGIA

MECHANICAL NOTES

1. ALL MECHANICAL WORK SHALL BE PERFORMED BY A LICENSED MECHANICAL CONTRACTOR IN THE STATE OF GEORGIA

PLUMBING NOTES

1. ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED PLUMBER CONTRACTOR IN THE STATE OF GEORGIA.

DECK GENERAL NOTES

1. Lumber shall be naturally durable wood or shall be southern pine, grade #2 or better that is pressure-preservative-treated in accordance with AWPA U1 for the species, product, preservative and end use. Field cut ends, notches and drilled holes of preservative treated wood shall be treated in the field in accordance with AWPA M4. Preservative-treated lumber in contact with the ground shall be rated as "ground-contact." **Please note: not all treated lumber is rated for ground contact.**
2. Wood-plastic composites are composed of bound wood and plastic fibers creating material that can be used as decking and guard elements as permitted herein. Permissible wood-plastic composites must bear a label indicating its performance criteria and compliance with ASTM D 7032.
3. Nails shall be ring-shanked or annular grooved.
4. Screws and nails shall be hot-dipped galvanized, stainless steel or approved for use with pressure treated lumber.
5. Hardware, e.g., joint hangers, cast-in-place anchor bolts, mechanical fasteners, shall be galvanized with 1.85 oz/sf of (1.5% zinc coating) or shall be stainless steel. Use products such as "Zmax" from Simpson Strong-Tie or "Triple Zinc" and "Gold Coat" from USP.
6. Electrical receptacles for decks shall comply with the currently approved edition of the National Electrical Code.
7. Lighting for decks and exterior stairs shall comply with IRC 303.7 Stairway Illumination.
8. Decks constructed in accordance with these details are not approved for privacy screens, planters, built-in seating or hot tub installations.

Prepared by:

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Professional Seals:

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REGISTERED ARCHITECT
JOEL A. AVILES
EXPIRATION DATE NO. 13448
08/19/2019

Prepared for:
BERNARD VIGILANCE

Clients:

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NO.	DATE	DESCRIPTIONS	BY
ISSUES / REVISIONS			

Project:
BERNARD RESIDENCE

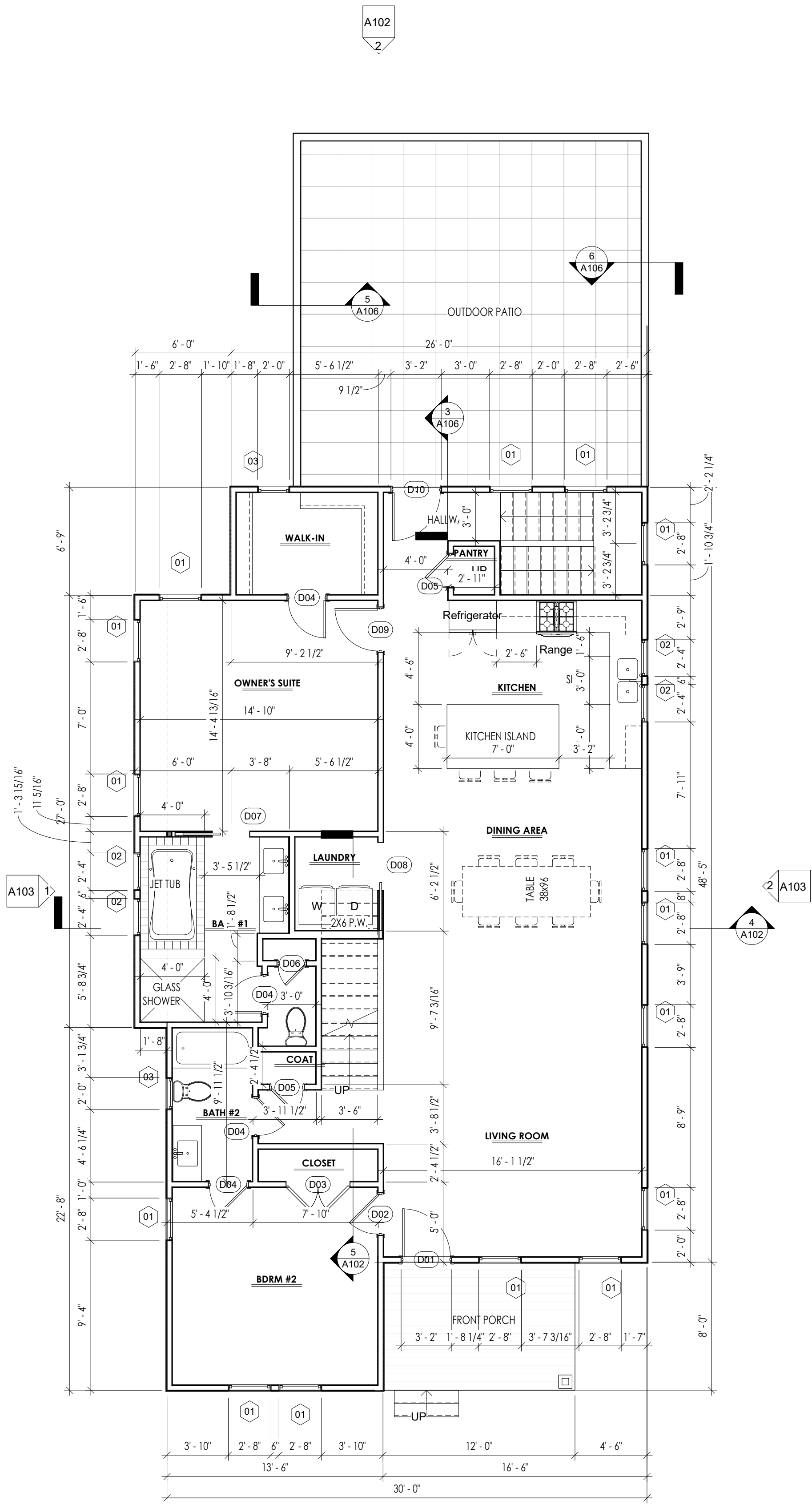
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449 WALNUT STREET
HAPEVILLE, GA 30354

Drawing Title:
NOTES AND SPECIFICATIONS

Drawing Status:
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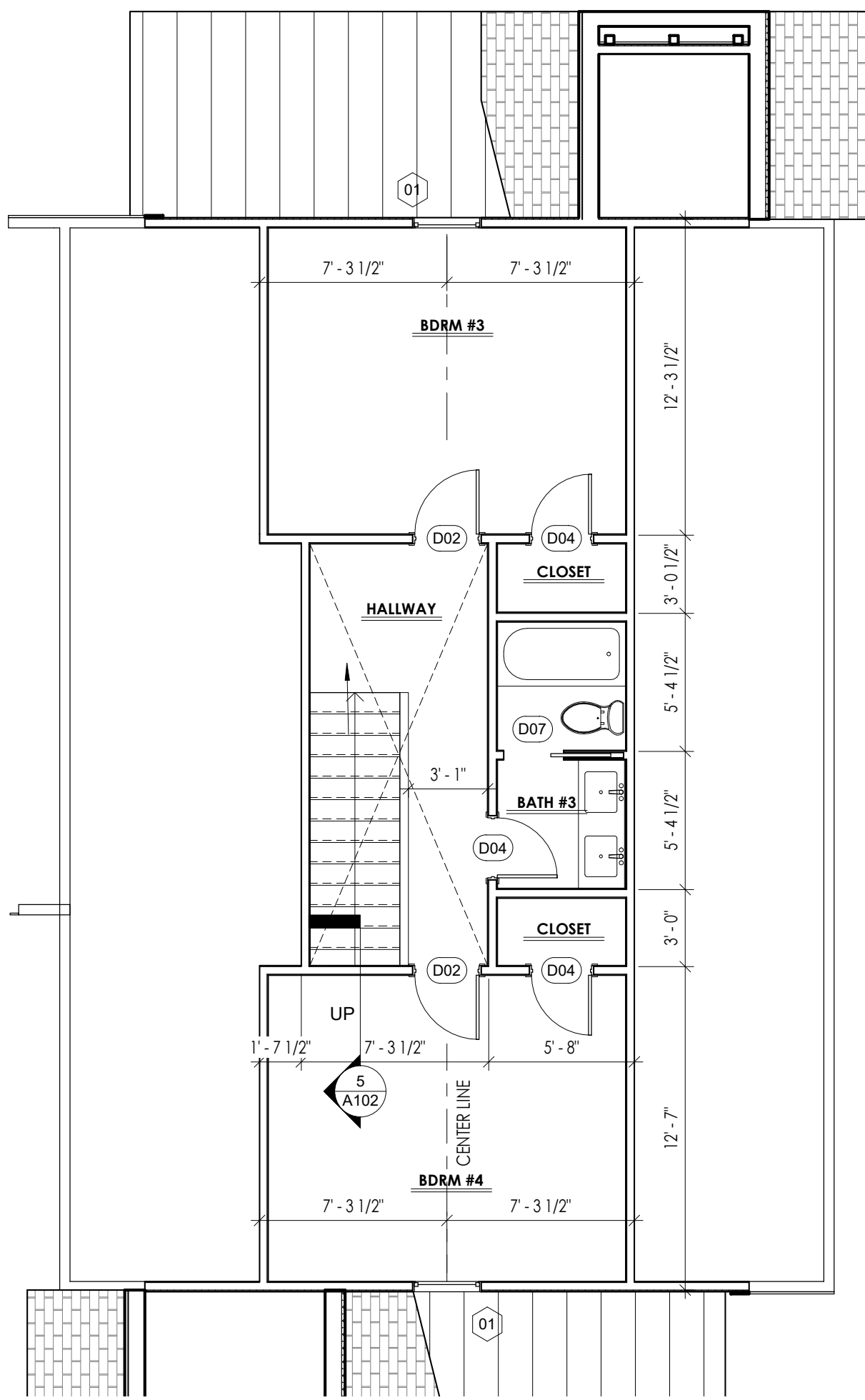
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Date: 08.19.2019 Project number: 19040

Drawing:
A100



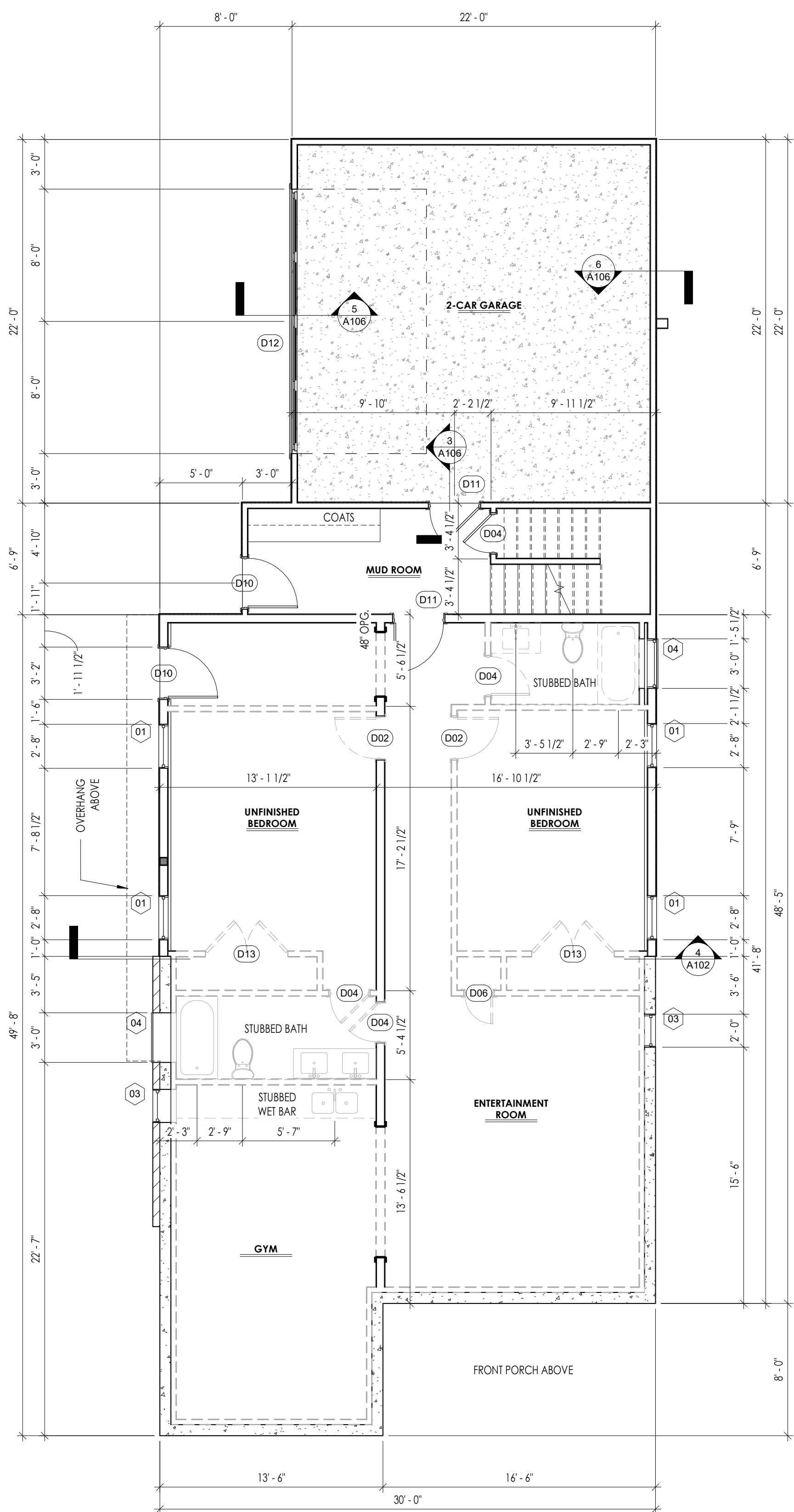
FIRST FLOOR PLAN
3/16" = 1'-0"

WINDOW SCHEDULE RESIDENTIAL					
TYPE MARK	R.O.		HEAD HEIGHT	COUNT	COMMENTS
	WIDTH	HEIGHT			
BSMT LEVEL					
01	2'-8"	6'-0"	8'-0"	4	SINGLE OR DOUBLE HUNG WINDOW BY OWNER
03	2'-0"	4'-0"	8'-0"	2	SINGLE OR DOUBLE HUNG WINDOW BY OWNER
04	3'-0"	1'-0"	8'-0"	2	FIXED WINDOW
LEVEL 1					
01	2'-8"	6'-0"	8'-0"	15	SINGLE OR DOUBLE HUNG WINDOW BY OWNER
02	2'-4"	4'-6"	8'-0"	4	SINGLE OR DOUBLE HUNG WINDOW BY OWNER
03	2'-0"	4'-0"	8'-0"	2	SINGLE OR DOUBLE HUNG WINDOW BY OWNER
LEVEL 2					
01	2'-8"	6'-0"	8'-0"	2	SINGLE OR DOUBLE HUNG WINDOW BY OWNER
05	2'-3 1/8"	4'-3 1/8"		1	SKYLIGHT, VELUX, BY OWNER.



SECOND FLOOR PLAN
3/16" = 1'-0"

DOOR SCHEDULE RESIDENTIAL				
NO.	SIZE		COUNT	COMMENTS
	WIDTH	HEIGHT		
GARAGE LEVEL				
D12	16'-0"	8'-0"	1	GARAGE DOOR
BSMT LEVEL				
D02	2'-6"	6'-8"	2	
D04	2'-4"	6'-8"	4	
D06	1'-8"	6'-8"	1	
D10	3'-0"	6'-8"	2	
D11	3'-0"	6'-8"	2	
D13	5'-0"	6'-8"	2	
LEVEL 1				
D01	3'-0"	8'-0"	1	
D02	2'-6"	6'-8"	1	
D03	4'-0"	6'-8"	1	
D04	2'-4"	6'-8"	4	
D05	2'-0"	6'-8"	2	
D06	1'-8"	6'-8"	1	
D07	2'-4"	6'-8"	1	POCKET DOOR
D08	3'-0"	6'-8"	1	POCKET DOOR
D09	2'-8"	6'-8"	1	
D10	3'-0"	6'-8"	1	
LEVEL 2				
D02	2'-6"	6'-8"	2	
D04	2'-4"	6'-8"	3	
D07	2'-4"	6'-8"	1	POCKET DOOR



BSMT LEVEL
3/16" = 1'-0"

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08/19/2019

Prepared for:
BERNARD VIGILANCE

Consultants:

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Drawing Title:
FIRST, SECOND AND BASEMENT FLOOR PLANS

Drawing Status:
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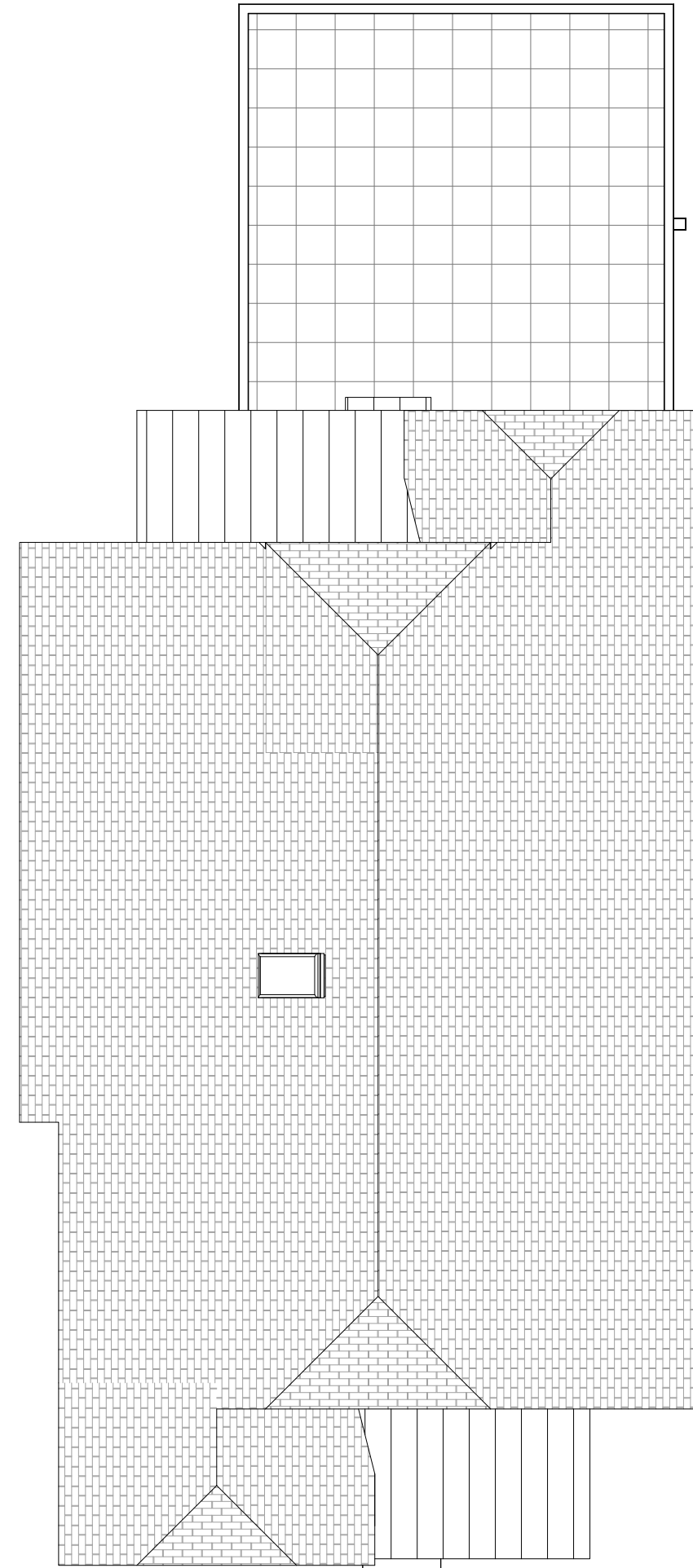
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Date: 08.19.2019 Project number: 19040
Drawing:

A101



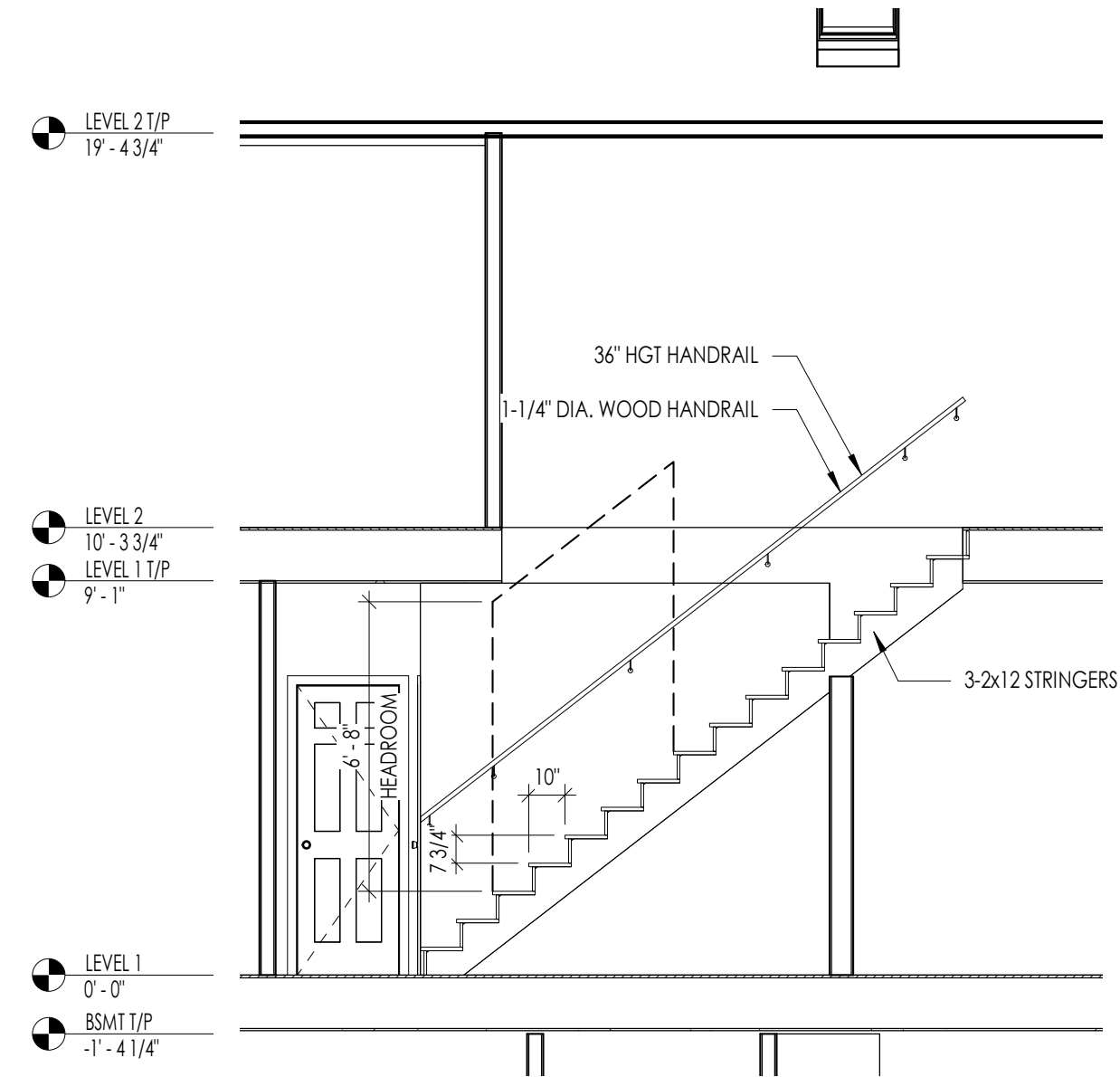
1
A102
1/4" = 1'-0"

FRONT ELEVATION



3
A102
1/8" = 1'-0"

ROOF PLAN



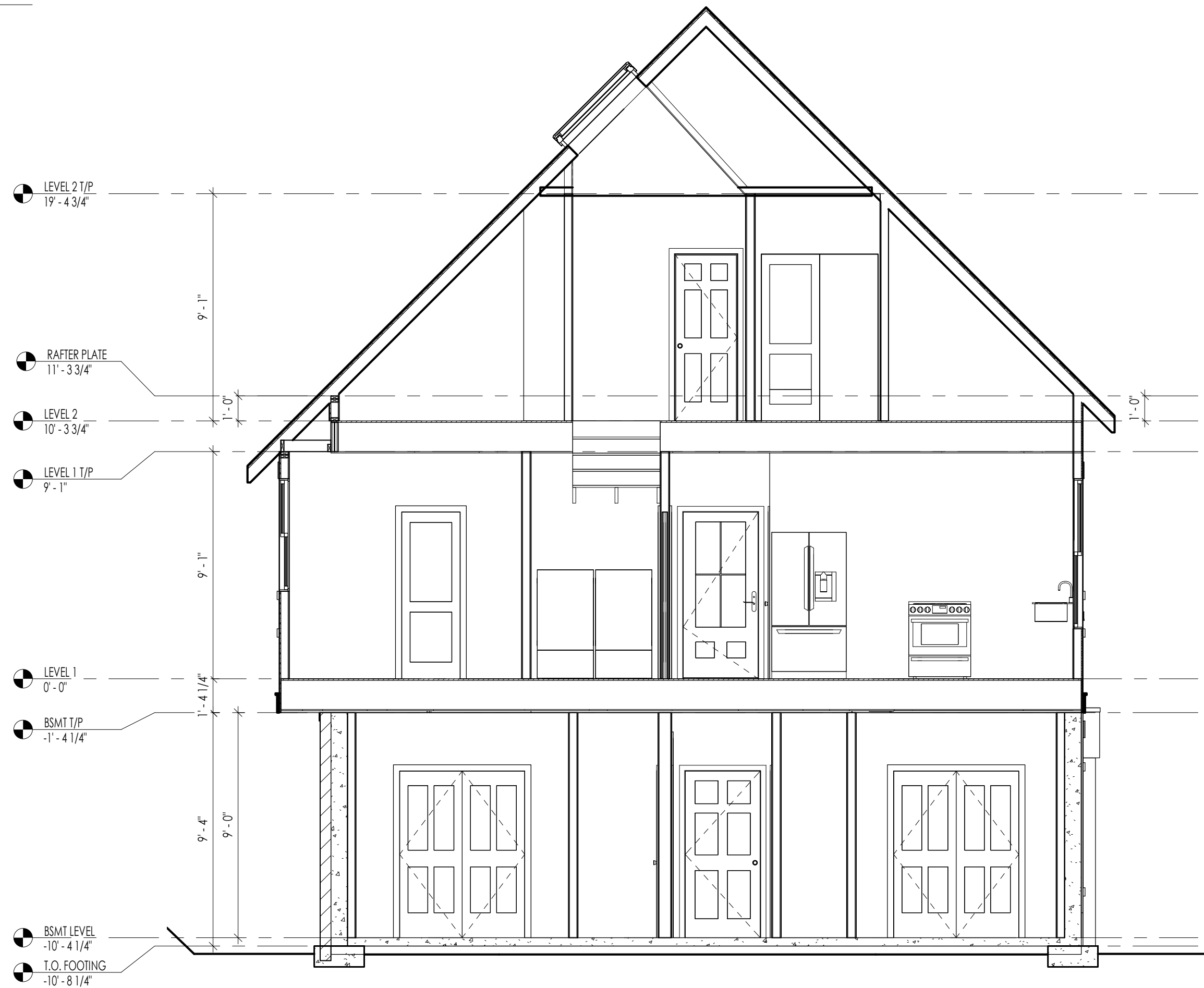
5
A102
1/4" = 1'-0"

STAIR SECTION



2
A102
1/4" = 1'-0"

REAR ELEVATION



4
A102
1/4" = 1'-0"

BUILDING CROSS SECTION

Prepared by:

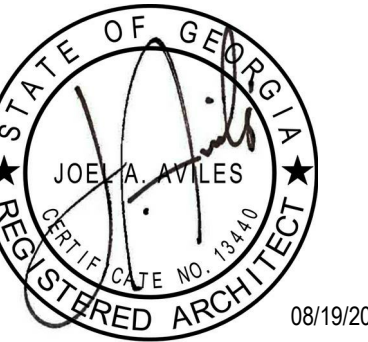


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Drawing Title:

**PROPOSED EXTERIOR
ELEVATIONS**

Drawing Status:

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Date/Time Printed:

8/24/2019 3:18:40 PM

Date: 08.19.2019 Project number:

19040

Drawing:

A102

LEVEL 2 T/P
19'-4 3/4"

RAFTER PLATE
11'-3 3/4"

LEVEL 2
10'-3 3/4"

LEVEL 1 T/P
9'-1"

LEVEL 1
0'-0"

BSMT T/P
-1'-4 1/4"

BSMT LEVEL
-10'-4 1/4"

T.O. FOOTING
-10'-8 1/4"

1
A103
RIGHT ELEVATION
1/4" = 1'-0"

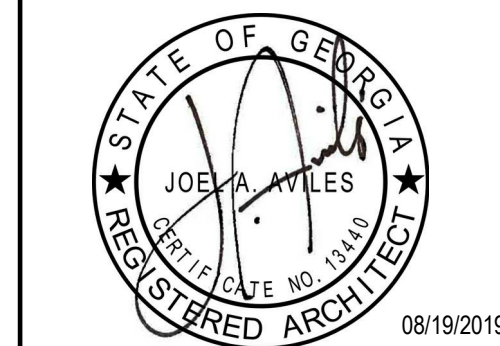


2
A103
LEFT ELEVATION
1/4" = 1'-0"

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Drawing Title:

**PROPOSED EXTERIOR
ELEVATIONS**

Drawing Status:

**RELEASED FOR
CONSTRUCTION**

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Date/Time Printed:

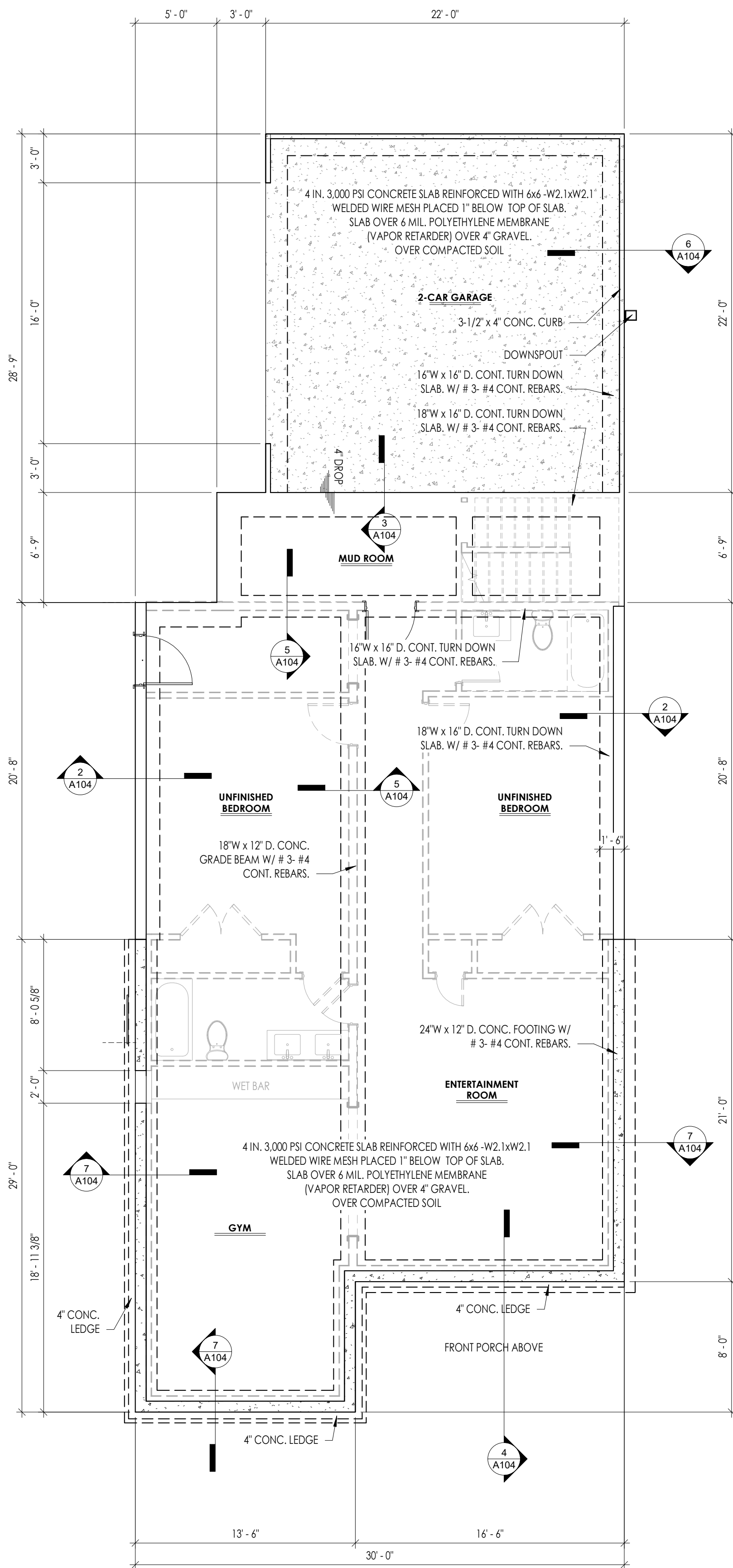
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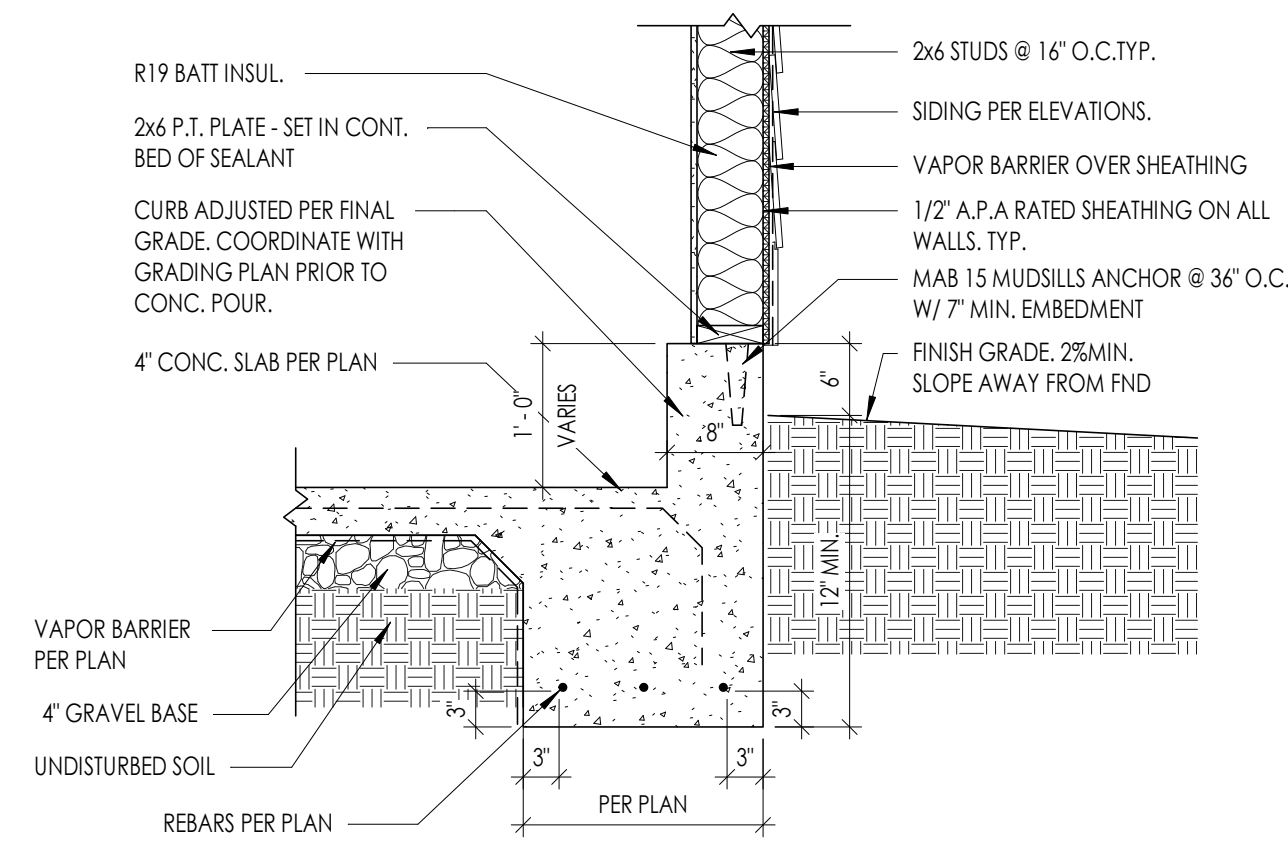
19040

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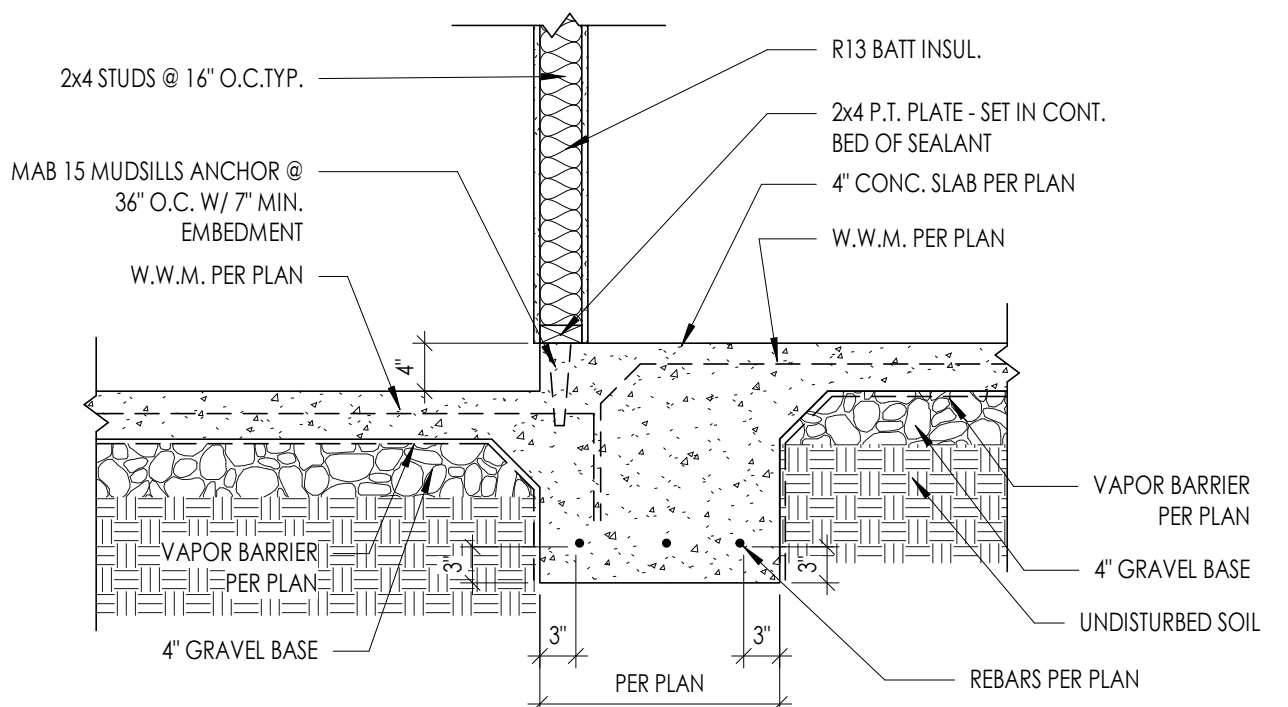
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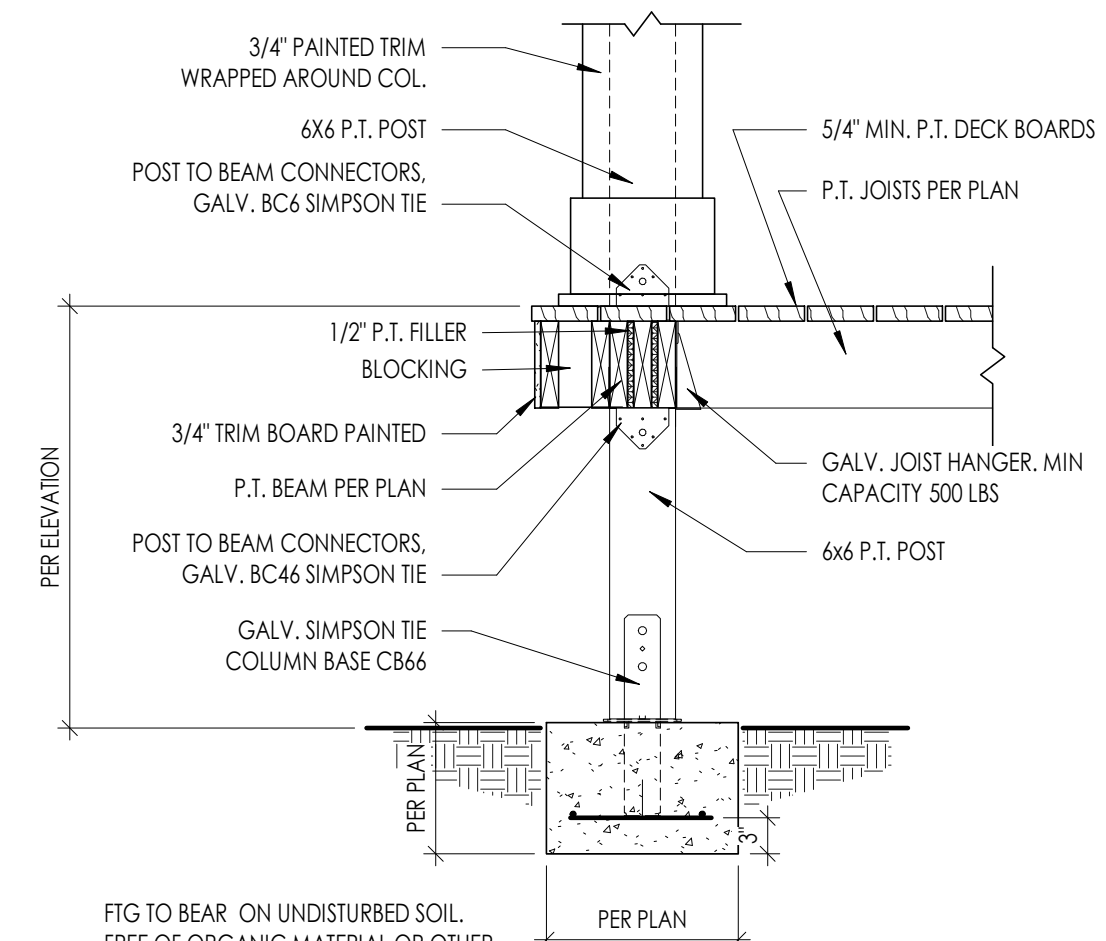
1 FOUNDATION PLAN
3/16" = 1'-0"



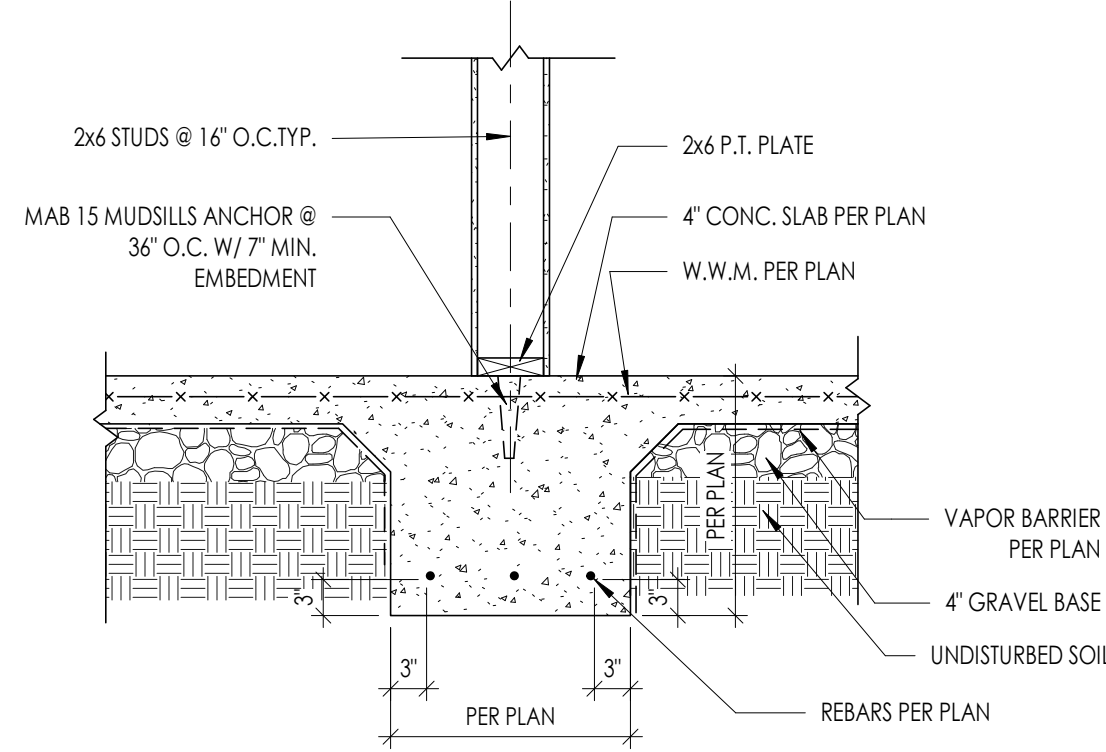
2 TURN DOWN SLAB W/ CONC. CURB
3/4" = 1'-0"



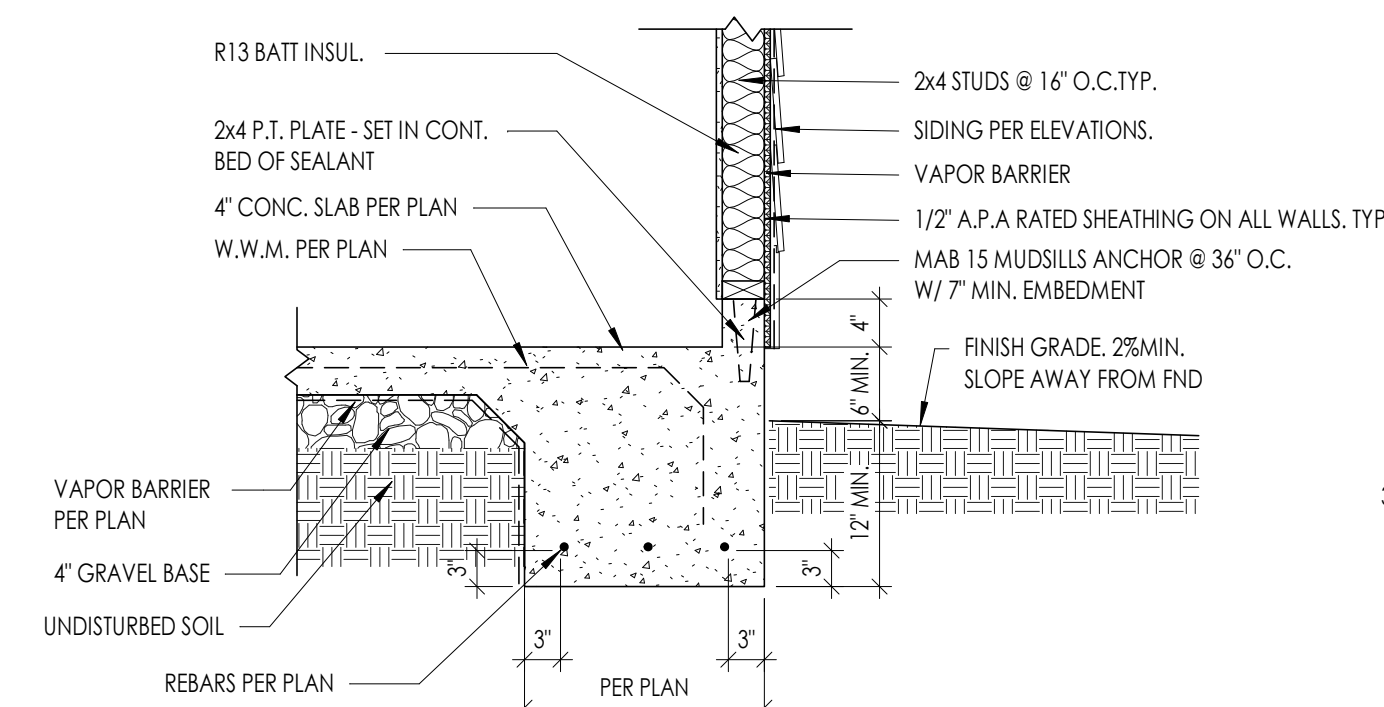
3 GARAGE SLAB DROP
3/4" = 1'-0"



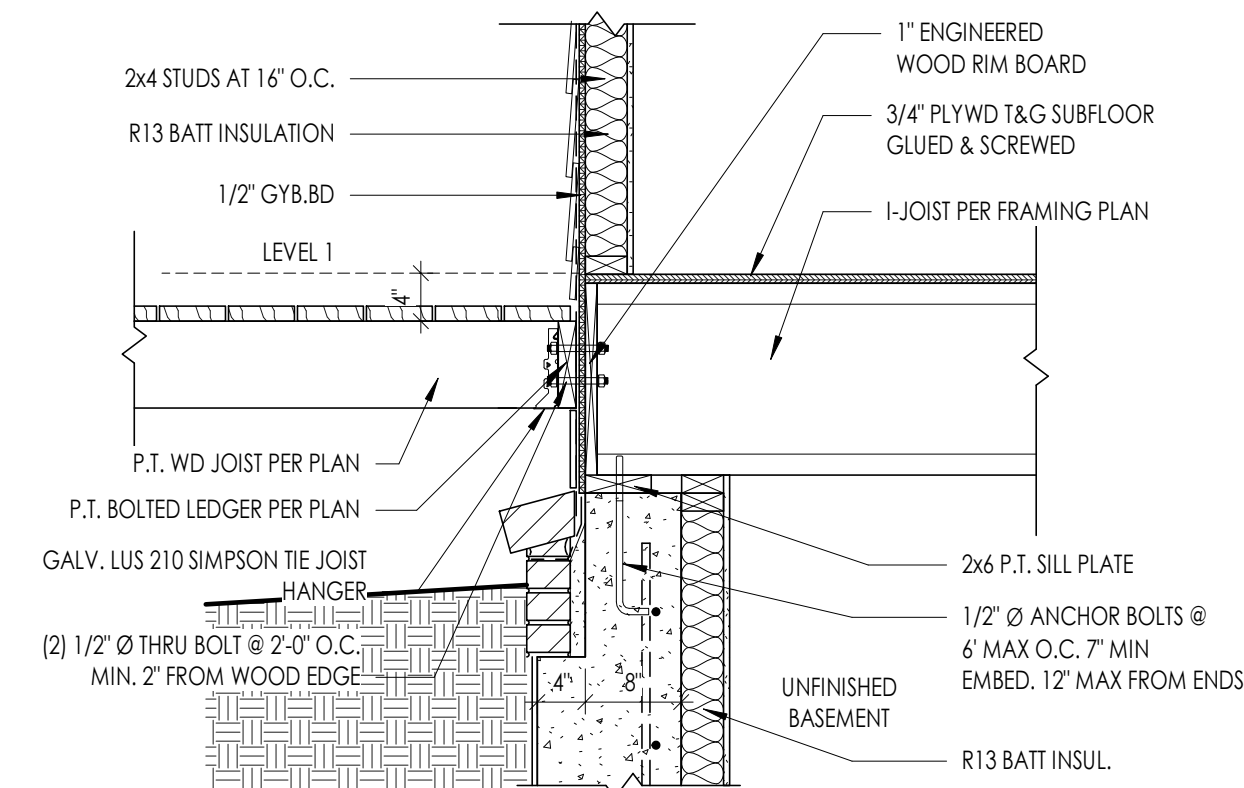
4 FRONT PORCH SECTION
3/4" = 1'-0"



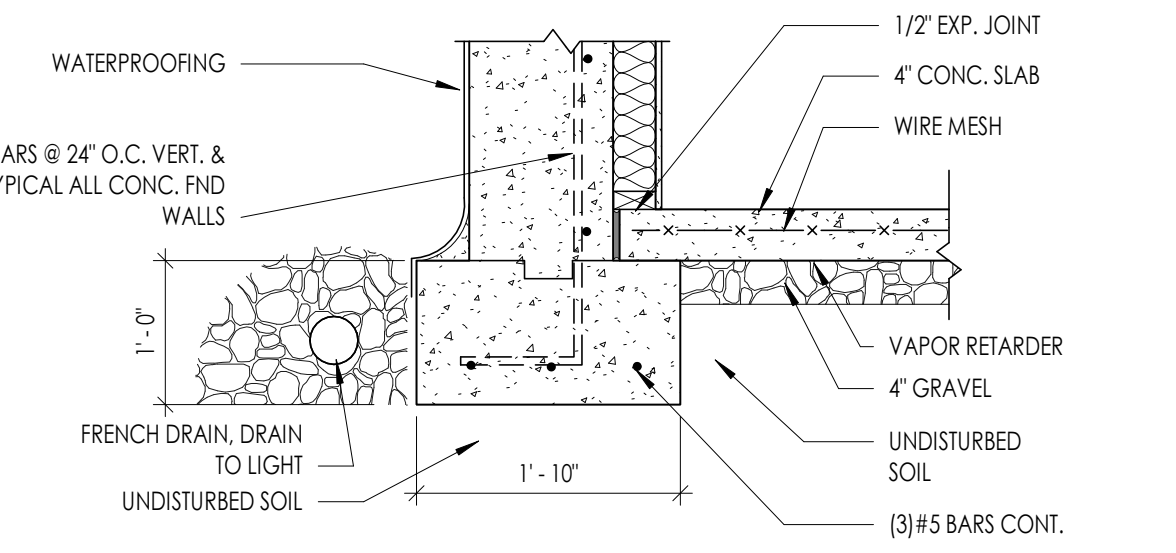
5 SLAB GRADE BEAM
3/4" = 1'-0"



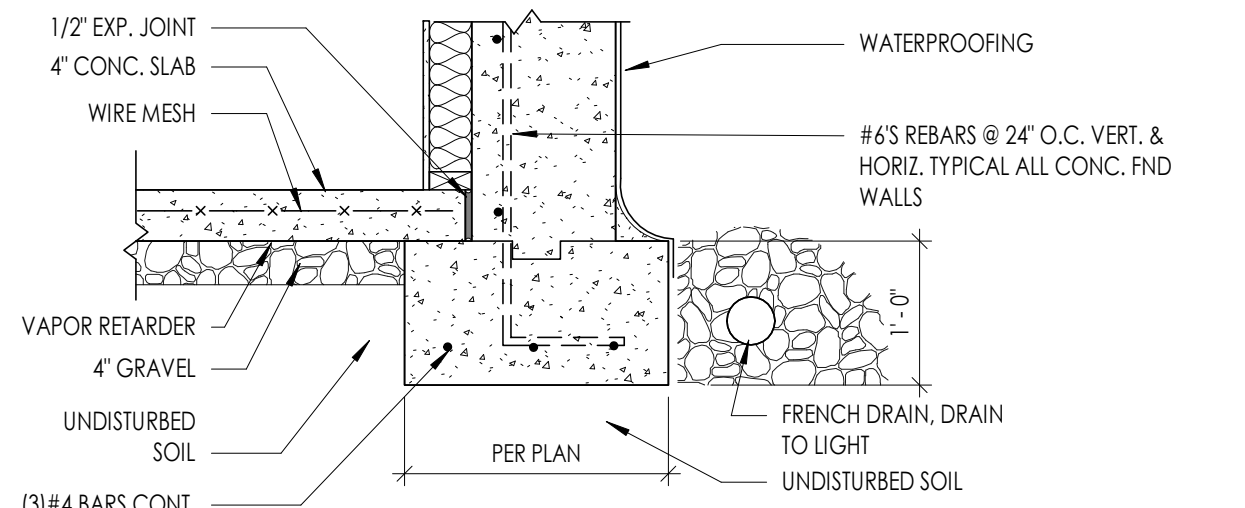
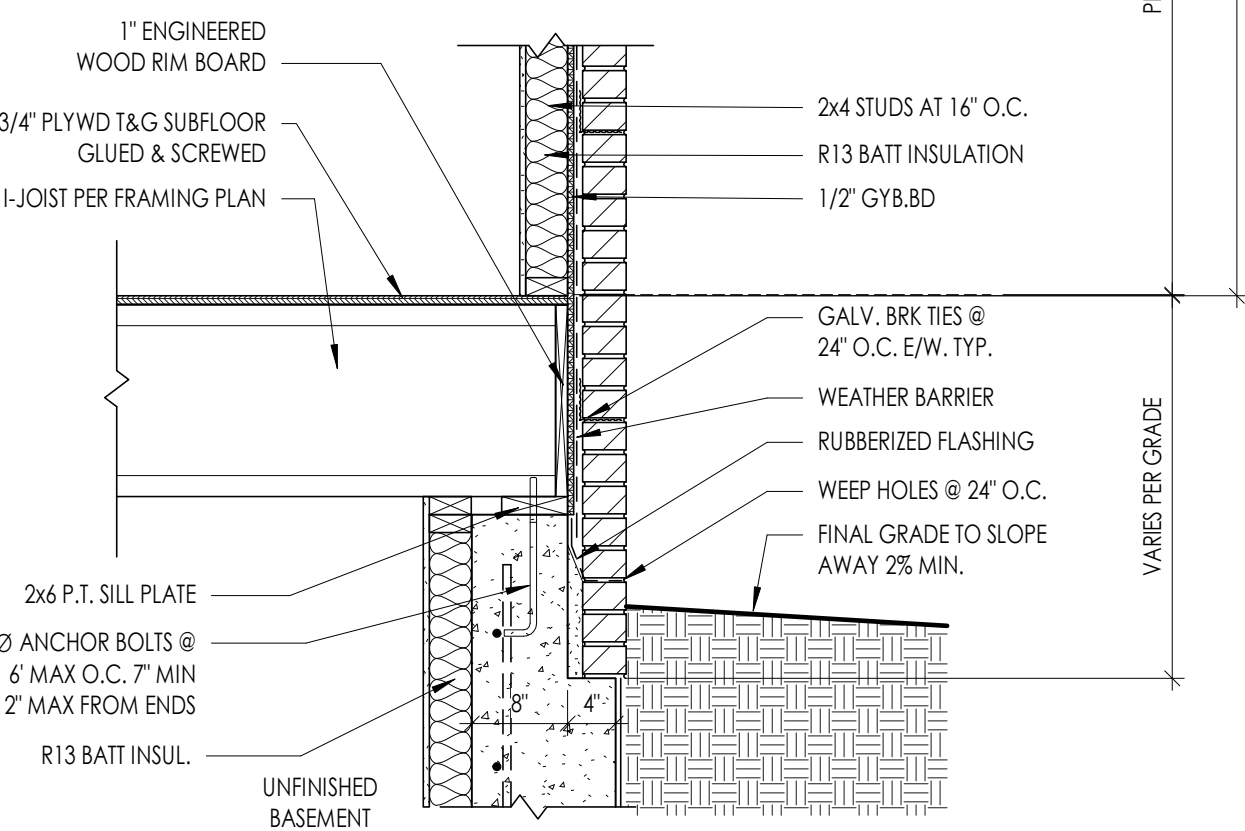
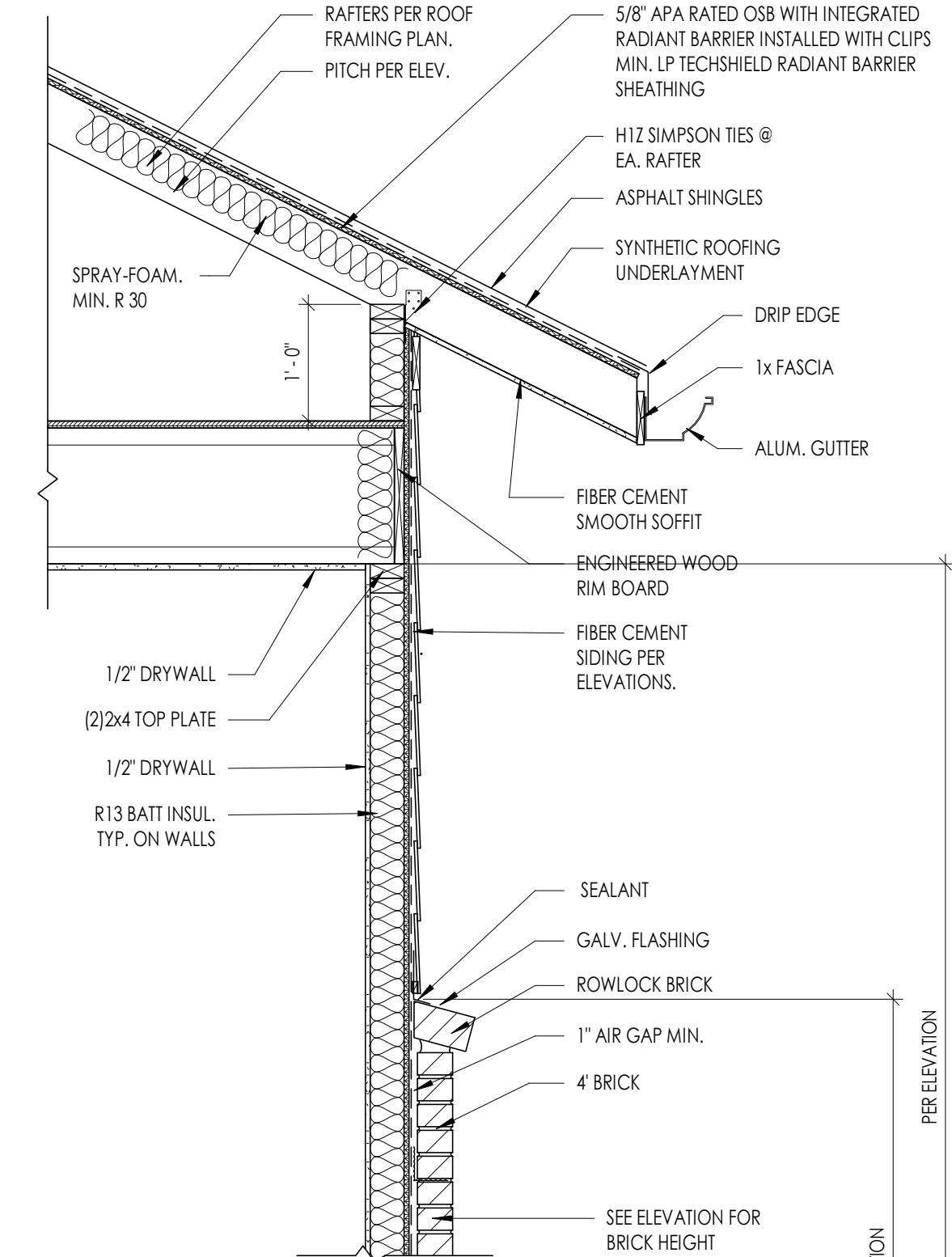
6 GARAGE FND CURB
3/4" = 1'-0"



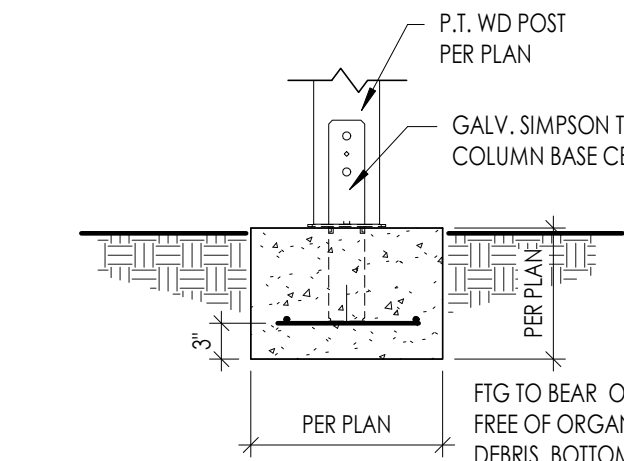
7 TYPICAL WALL SECTION
3/4" = 1'-0"



8 COLUMN FOOTING
3/4" = 1'-0"



7 TYPICAL WALL SECTION
3/4" = 1'-0"



8 COLUMN FOOTING
3/4" = 1'-0"

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Prepared for:
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Project Address: 449 WALNUT STREET HAPEVILLE, GA 30354			
Drawing Title: FOUNDATION PLAN AND DETAILS			
Drawing Status: RELEASED FOR CONSTRUCTION			
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Date/Time Printed: 8/24/2019 3:18:44 PM			
Date: 08.19.2019 Project number: 19040			
Drawing: A104			

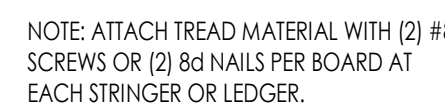
FIRST FLOOR FRAMING PLAN

2ND FLOOR FRAMING PLAN

3
A105 **ROOF FRMAING PLAN**
3/16" = 1'-0"

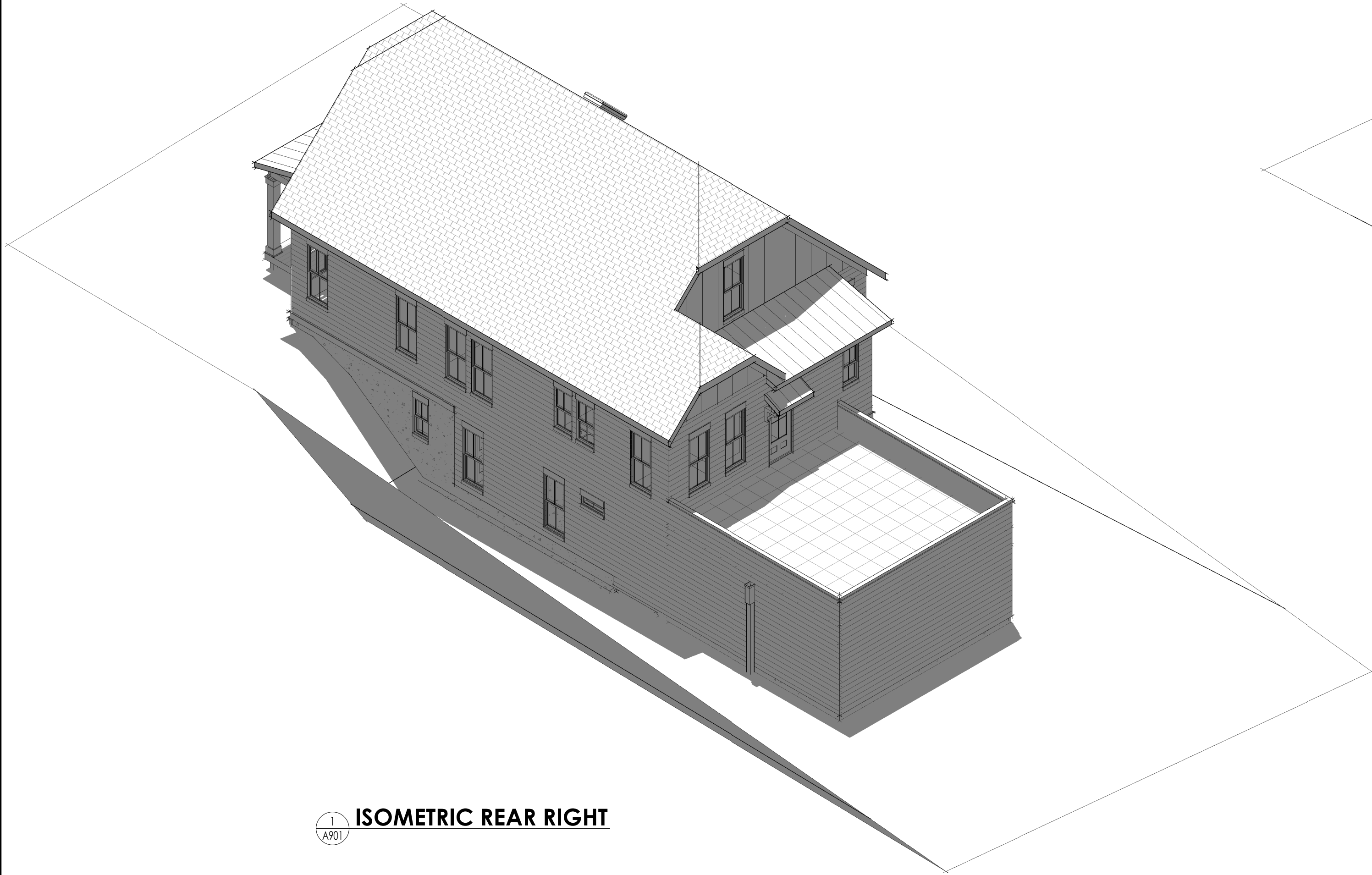


- Stairs with four or more risers shall have a handrail on one side.
- Handrails shall be graspable per FIGURE 37.
- Handrail and connecting hardware material shall be decay-resistant and/or corrosion resistant.
- Handrail shall be attached to the stair guard or an existing exterior wall which acts as a barrier to the stairs. See FIGURE 38.
- All shapes shall have a smooth surface with no sharp corners.
- Recessed sections may be shaped from a 2x6 or $\frac{3}{4}$ board.
- Handrails shall run continuously from a point directly over the lowest riser to a point directly over the highest riser and shall return to the guard at each end; see FIGURE 39.
- Handrails may be interrupted by guard posts only at a turn in the stair.



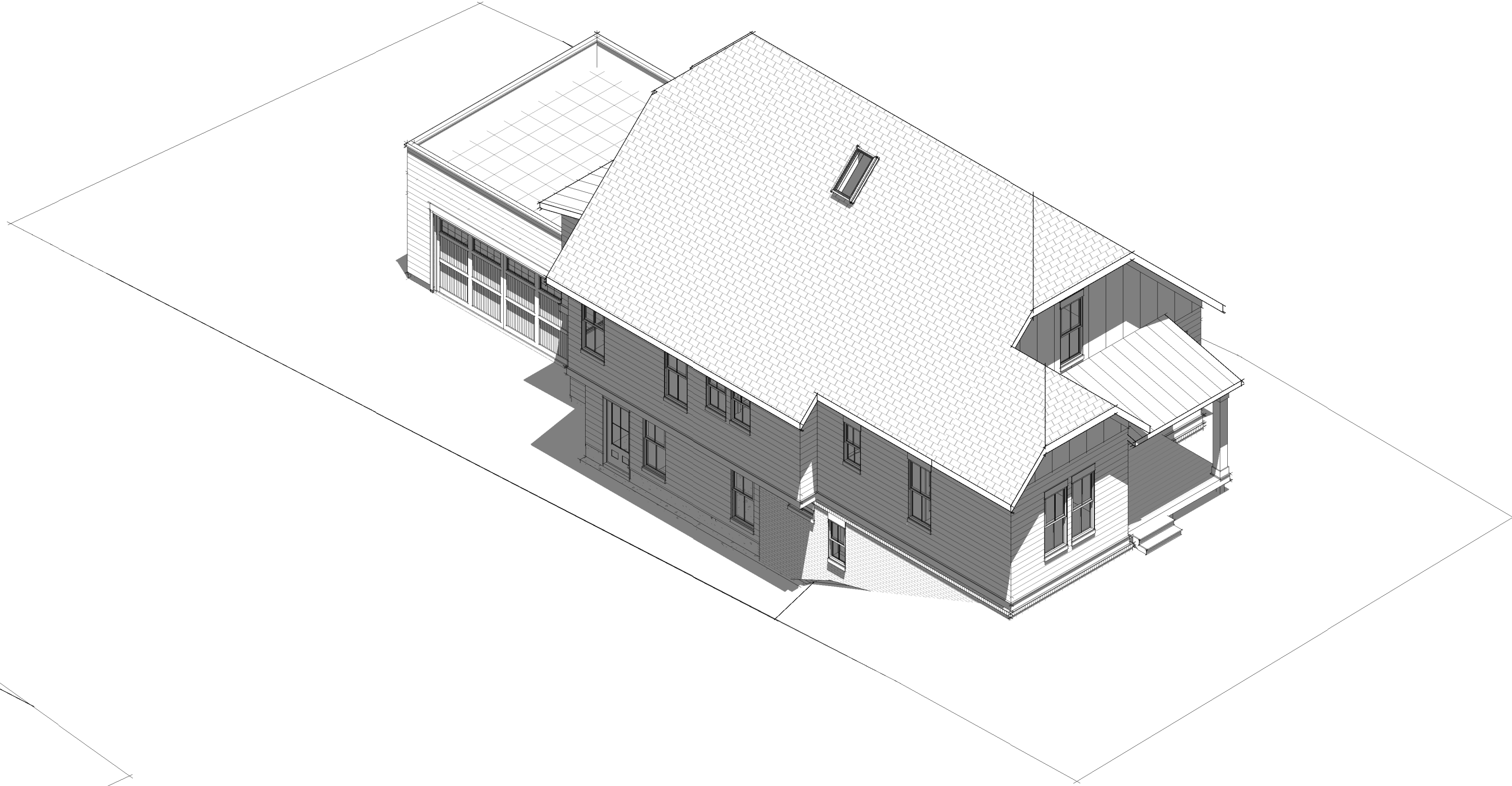
A100

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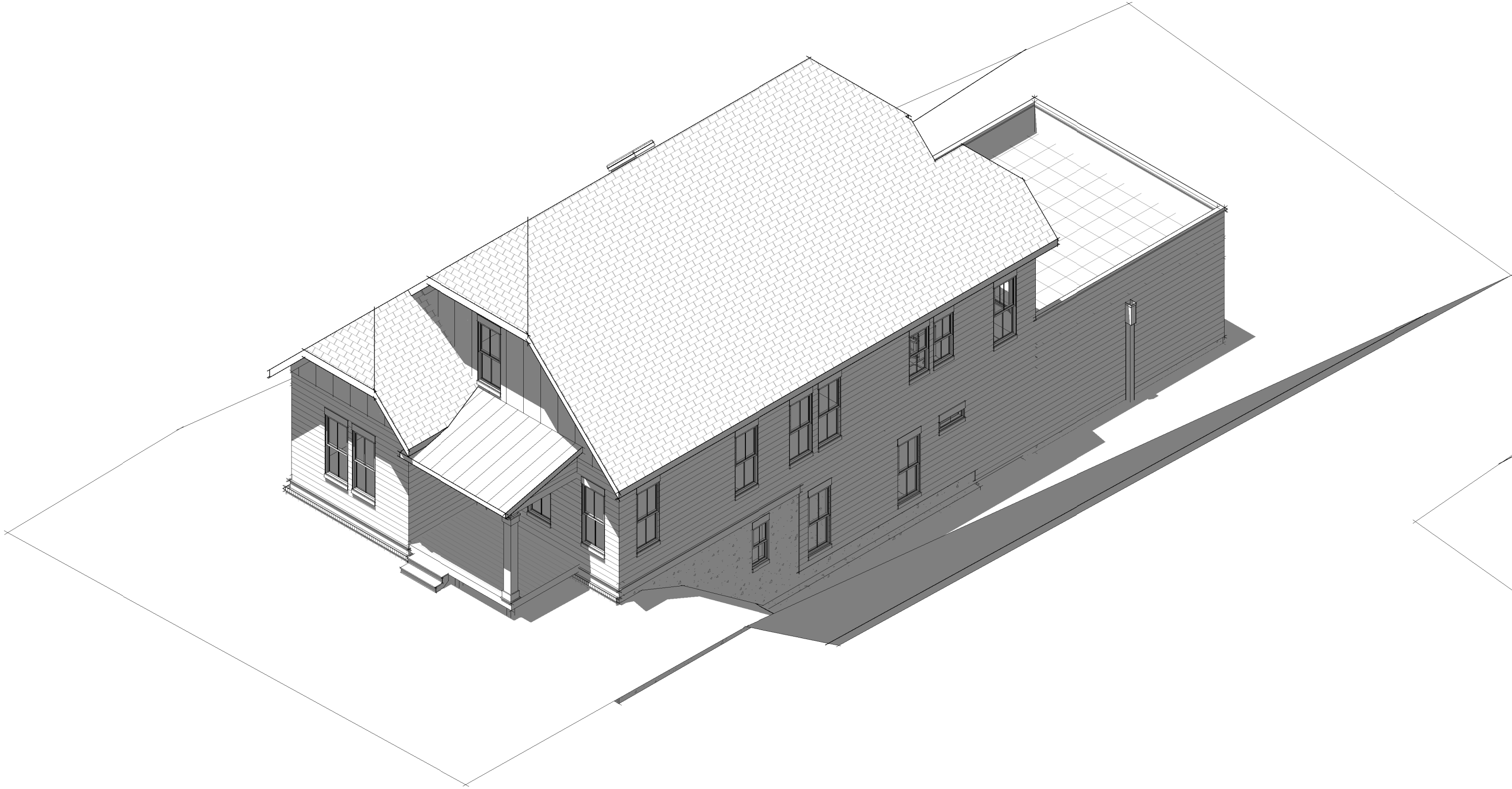
1 ISOMETRIC REAR RIGHT

A901



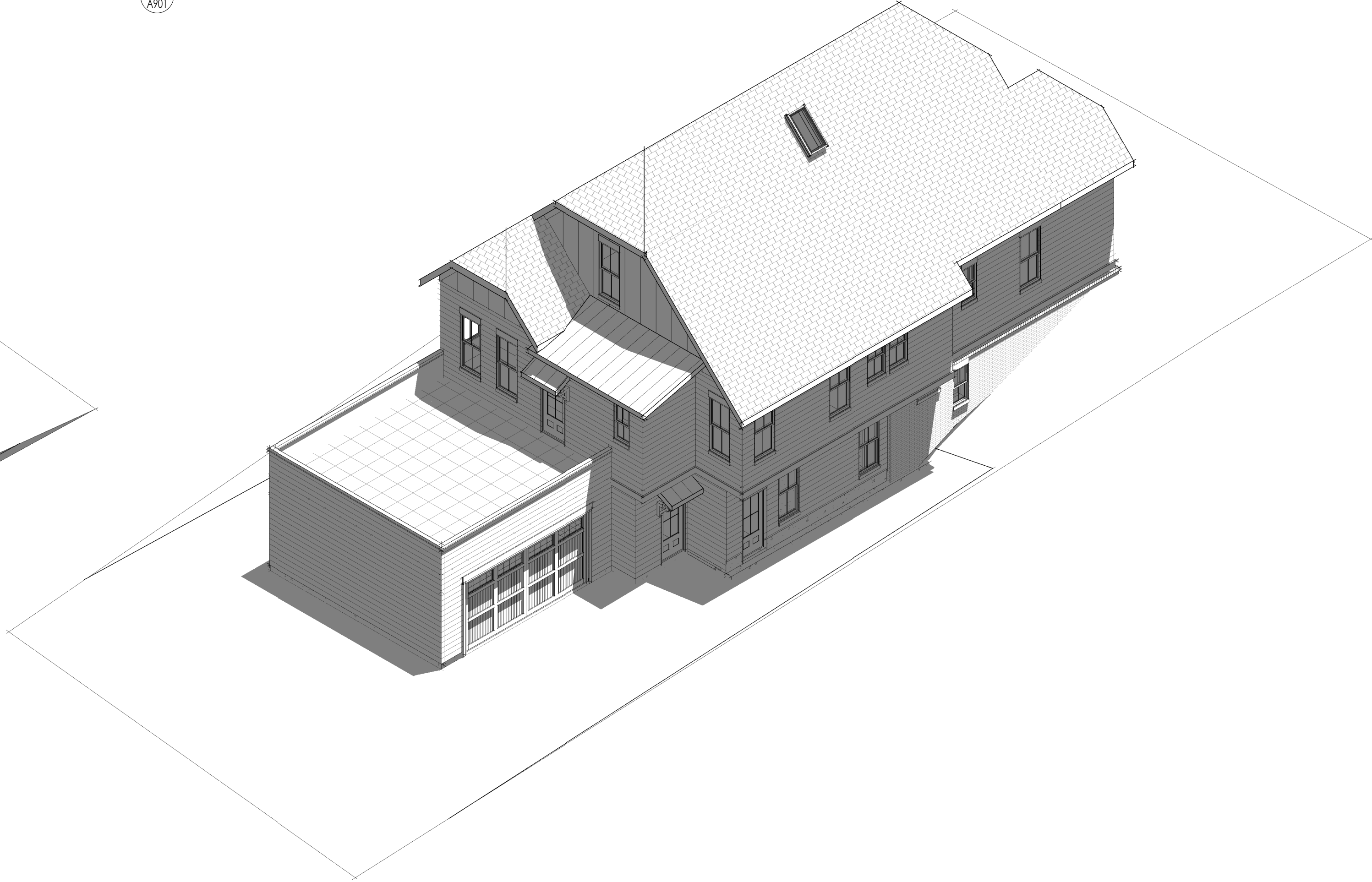
2 ISOMETRIC FRONT LEFT

A901



3 ISOMETRIC FRONT RIGHT

A901



4 ISOMETRIC REAR LEFT

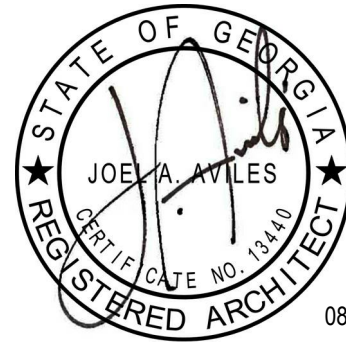
A901

Prepared by:



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Professional Seals:



Prepared for:

BERNARD VIGILANCE

Consultants:

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NO.	DATE	DESCRIPTIONS	BY
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ISSUES / REVISIONS

Project:

BERNARD RESIDENCE

Project Address:

449 WALNUT STREET
HAPEVILLE, GA 30354

Drawing Title:

ISOMETRICS

Drawing Status:

**RELEASED FOR
CONSTRUCTION**

Scale: Drawn by: JA Reviewed by: JA

Date/Time Printed: 8/24/2019 3:18:52 PM

Date: 08.19.2019 Project number: 19040

Drawing:

A901



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: September 11, 2019
TO: Tonya Hutson
FROM: Michael Smith
RE: **Design Review – 451 Walnut Street**

Key:

Compliant:	✓
Not Compliant:	✗
Incomplete:	✋
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received a design review application from Bernard Vigilance for a new single-family dwelling at 451 Walnut Street. The dwelling will have four finished bedrooms and three finished bathrooms, as well as two unfinished bedrooms and two potential bathrooms in the basement. The structure will be built on a hill, with a height of 1.5 stories at the front and 2.5 stories in the rear. The dwelling will have 2,337 SF of heated floor area, a 1,358 SF unheated basement, and a 484 SF two-car attached rear garage, with a total roofed area of 4,275 SF including a porch. The floor plan is mirrored by 449 Walnut Street.

The property is zoned R-SF - Residential Single-Family, and is subject to the Neighborhood Conservation Area, Subarea E of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(a) Site development standards

- ✓ Except where indicated, setbacks shall be established by zoning.
- ⊘ On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.
- ⊘ Minimum building heights shall be established by zoning.
- ✋ Within subareas D and E maximum building heights shall be as established by zoning, except that:

Where this chapter provides a more-stringent standard as compared to the zoning code, the more-stringent standard shall prevail. The only exception to this shall be a use grandfathered under the zoning code.

Portions of buildings equal to or less than five feet from a side or rear lot line shall be limited in height to the greater of 16 feet.

☞ Portions of buildings between five and ten feet of a side or rear lot line shall be limited in height to the greater of 25 feet.

☞ Portions of buildings ten feet or greater from a side or rear lot line shall be limited in height to 35 feet.

⊖ Outside of subareas D and E maximum building heights shall be as established by zoning.

✓ All buildings shall provide first-story occupiable space, for the first ten feet of building depth along the enfronting facade.

✓ Sidewalks shall be located along all public and private streets. Sidewalks shall consist of two areas: a landscape area and a clear area.

✓ Developments less than one acre shall provide a minimum one-foot landscape zone and a minimum four-foot clear zone.

Development of one acre or more shall provide a minimum two-foot landscape zone and a minimum five-foot clear zone.

The above notwithstanding, multifamily developments and all developments along Dogwood Drive shall provide a minimum five-foot landscape zone and a minimum six-foot clear zone.

STAFF COMMENT:

- **Within subarea E, the maximum height for the portion of a building between 5' and 10' from the property line is 25'. Otherwise, the maximum height is 35'. The west side setback is 6.5'. No overall heights have been provided, either within or beyond 10' from property lines, and the house may not be compliant with the maximum height requirements.**

(b) Supplemental Area and Fence Standards

✓ Developments shall locate landscape supplemental areas adjacent to first-story residential uses and place a minimum of one tree every 50 feet in the supplemental area. See list of allowed trees in section 93-2-14.

⊖ Chain link fencing is not permitted in areas visible from a public right-of-way.

☞ On all lots a fence, wall, curb or hedge between six and 48 inches in height is encouraged at the back of the required sidewalk, except at openings to access steps, drives or pedestrian walkways.

⊖ Fences adjacent to the street shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.

⊖ Retaining walls adjacent to the required sidewalk shall not exceed 32 inches in height unless required by topography.

⊖ All street-facing walls shall be faced with stone, brick, or smooth stucco.

⊖ Small planting between retaining walls and the required sidewalk are encouraged and should have a minimum width of six inches.

STAFF COMMENT:

- **A fence between 6" and 48" in height is encouraged at the back of the required sidewalk.**

(c) Utility Standards

- ☞ Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.
- ⊖ When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- ⊖ Street lights may be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian-scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development.
- ✓ All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may be provided as long as it is properly shielded and does not become an annoyance to adjacent property owners or the public. General area illumination with oversized flood lights is prohibited. Specifically, lighting shall be shielded so that the source of light is not visible from adjacent properties or the public right-of-way.
- ⊖ Trees shall not be planted directly above storm drains.

STAFF COMMENT: • **The applicant should show mechanical utility features on the plans and indicate any screening.**

(d) Parking and Traffic Standards

- ☞ One-family detached dwellings and two-family dwellings shall meet the following requirements:
 - ☞ Driveways shall have a minimum width of nine feet and a maximum width of 15 feet.
Circular drives are permitted.
A grass strip in the middle of driveways is encouraged.
- ⊖ All other buildings shall meet the following requirements:
 - Parcels are permitted a maximum of one driveway curb cut per street. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
 - Driveways shall have a maximum width of 12 feet for one-way and 24 feet for two-way.
 - Two curb cuts serving two one-way driveways shall be counted as one curb cut.
 - Public or private alleys, or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.
 - New public streets shall not count as curb cuts.
 - Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
- ⊖ Carports are only permitted subject to the following requirements:
 - Carports shall be located in the rear or side yard, but shall not be visible from a public right-of-way.
 - Carport roofs shall be supported by columns with a minimum width and depth of eight inches.
 - The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.
- ✓ On-site parking shall be prohibited in the supplemental areas. This shall not be interpreted as restricting on-street parking located along a public street.
- ⊖ Garage access on single-family lots shall be prohibited in the front yard of the home.

STAFF COMMENT: • **The applicant should provide the width of the proposed driveway.**

(e) Roof and Chimney Standards

- ✎ Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- ✓ Roof shingles shall be slate, cedar, or asphalt.
- ⊖ Roof tiles shall be clay, terra cotta or concrete.
- ✓ Metal roofs are:
 - ✓ Allowed on one-family and two-family detached dwellings;
Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a parapet wall.
- ✓ Gutters shall be copper, aluminum or galvanized steel.
- ✓ Downspouts shall match gutters in material and finish.
- ✓ Roof forms shall be based on architectural style.
- ✎ All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- ⊖ Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- ⊖ Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- ⊖ Chimneys on exterior building walls shall begin at grade.
- ⊖ Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

STAFF COMMENT:

- **The applicant should provide the manufacturer's warranty, ensuring the roof is warrantied for at least 30 years.**
- **The applicant should specify the distance the roof overhangs the facades of the house, ensuring it is at least 12".**

(f) Street Facing Facade and Style Standards.

- ✓ Exterior facade materials shall be limited to:
 - Full-depth brick;
 - Natural or cast stone;
- ✓ Smooth natural-wood siding and/or cement-based siding;
 - Shake siding;
 - Painted fish-scale style shingles, but only when used in front gables;
 - True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- ✓ Exterior building materials shall not be:
 - Simulated brick veneer, such as Z-Brick;
 - Exterior insulation and finish systems (EIFS);
 - Exposed concrete block;
 - Metal siding or other metal exterior treatment;
 - Glass curtain walls;
 - Liquid vinyl;
 - T-1-11 siding;
 - Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.

- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ✓ Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11.
- ✓ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ✓ All exterior stair risers visible from a street shall be enclosed.
- ✓ Porches, stoops, and balconies may be located in the front or side yard.
- ✓ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- 👉 Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- ⊖ Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ✓ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ✗ Porch and stoop foundations shall be enclosed.
- 👉 Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- ⊖ Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- 👉 Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- ⊖ Stoops shall provide a minimum top landing of four feet by four feet.
- ⊖ Stoop stairs and landings shall be of similar width.
- ⊖ Stoops may be covered or uncovered.
- ✓ When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ✗ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- ⊖ Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- ⊖ Enfronting porches may have multistory verandas, living space, or balconies above.
- ⊖ Porch columns shall be spaced a maximum distance of eight feet on center.
- ✓ Front porch columns shall have foundation piers extending to grade.
- ✓ All porches shall be covered.
- ⊖ Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- ⊖ Enfronting balconies shall have a minimum clear depth of four feet.
- ⊖ Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- ⊖ Balconies may be covered or uncovered.

STAFF COMMENT:

- The applicant should specify the material used for the porch and porch column.
- The porch foundation must be enclosed.
- Porches and finished first floors must be raised between 2' and 4' above grade, unless existing topography is greater. The applicant should provide the height of the porch and finished first floor from grade at the front.
- Front porch widths must be 80-100% of the adjacent façade. The proposed porch is 73% of the width of the adjacent façade/40% of the overall front façade, which is not compliant.

(g) Door and window standards.

- ✓ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ✓ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ✗ Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- ⊙ Doors that operate as sliders are prohibited along enfronting facades.
- 👉 Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- 👉 Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- ✗ Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- ⊙ Where used, window shutters shall match one-half the width of the window opening.
- ⊙ Painted window or door glass is prohibited.
- ⊙ Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- ✗ Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- ✓ Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.
- ✗ Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- 👉 Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

STAFF COMMENT:

- Building numbers at least 6" in height on the porch or adjacent to the front door should be included and shown on the plans.
- The applicant should ensure no GBGs will be utilized.
- Wooden window trim between 4" and 6" wide and at least 1/4" thick is required around all windows. Note that mullions between grouped windows must be 2" wider than side trim.
- Windows must be provided for 30-50% of the street facing façade. The window coverage of the street facing façade cannot be calculated. The applicant should provide the width of the door glass.
- Windows must comply with all requirements of Sec. 81-1-7(g) - *Door and window standards*. The elevations should be revised to demonstrate compliance and the plans should provide the following information:
 - Windowpane recession from adjacent facades
 - Windowsill materials

(h) Detached one-family dwellings/ two-family dwellings. In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.

- ☞ *First Stories.* First stories shall be elevated above the grade between two and four feet, unless existing topography is greater or unless wheelchair access is desired and cannot be provided from the side or rear.
- ✗ *Window Sills.* Enfronting first story window sills should be no less than two and one-half feet and no more than three and one-half feet above finished floor elevation.
- ⊙ *Wheelchair access.* Where practical, wheelchair access, when provided, should be installed at the side or rear of the home in order to preserve the architectural character of the primary facade.
- ✗ *Architectural style.* Architecture is one of the most critical components of place, and nowhere is this more evident than on building facades. The design and character of street-facing facades is a reflection of both buildings and their users, and must be carefully considered for its impact on the overall sense of place.

New homes in the neighborhood conservation area should be designed to reflect the principal traditional styles found in the community. These include national folk, Queen Anne, ranch, Tudor revival, craftsman, and minimal traditional styles.

These styles, however, do not reflect the only styles historically found in Hapeville, which also includes a few occurrences of neocolonial revival. Where an applicant desires to utilize a style historically found in Hapeville, but not reflected in the six principal styles identified in subsections (4)a. through (4)e., they shall provide the Design Review Committee with photo documentation of the relevant style in Hapeville, a description of the key features of such style, and written justification of such style's appropriateness for the community.

STAFF COMMENT:

- The applicant should provide the height of the finished first floor above grade, ensuring it is between 2' and 4'.
- Enfronting first story windows must be between 2.5 and 3.5' above finished first floor elevation. The proposed enfronting windows are 2' above the floor, which is not compliant.
- The design does not reflect any of the principal traditional styles found in the community.

- ⊙ *Outbuildings.* In conventional development, outbuildings are often designed and located as an afterthought. Yet in traditional towns and cities, outbuildings serve to enrich the quality of design through their placement, design and use. In Hapeville, where outbuildings are provided on many residential lots, their design must be to the same high standards found in the community's neighborhoods.

The following standards shall apply to construction of new outbuildings in residential districts.

- i. On lots with one street frontage, set outbuildings back at least 15 feet behind the front facade of the principal building.
- ii. On corner lots, outbuildings should be setback at least 15 feet behind the front facade of the principal building and with a setback greater than or equal to that of the facade along the side lot line.
- iii. Outbuilding may be linked to the principal building with covered walks, trellises or enclosed breezeway.
- iv. Outbuildings shall be of compatible material and architectural style to the principal building.
- v. Outbuildings shall have a minimum height of 14 feet and a maximum height of that of the principal building or 25 feet, whichever is less.
- vi. Outbuildings shall be set a minimum of ten feet from any other outbuilding on adjoining lots.

STAFF COMMENT:

RECOMMENDATIONS

The proposed design does not reflect any of the traditional styles found in Hapeville. The Applicant will need to provide a justification of the design's appropriateness for the community along with photo documentation of similar designs in the city.

In addition, the following items have been found to be missing or deficient and should be addressed by the Applicant and the Design Review Committee:

1. Within subarea E, the maximum height for the portion of a building between 5' and 10' from the property line is 25'. Otherwise, the maximum height is 35'. The west side setback is 6.5'. No overall heights have been provided, either within or beyond 10' from property lines, and the house may not be compliant with the maximum height requirements. **The applicant should provide the height at the front, rear, and highest point of the dwelling.**
2. **A fence between 6" and 48" in height is encouraged at the back of the required sidewalk.**
3. **The applicant should show mechanical utility features on the plans and indicate any screening.**
4. **The applicant should provide the width of the proposed driveway.**
5. **The applicant should provide the manufacturer's warranty, ensuring the roof is warrantied for at least 30 years.**
6. **The applicant should specify the distance the roof overhangs the facades of the house, ensuring it is at least 12".**
7. **The applicant should specify the material used for the porch and porch column.**
8. **The porch foundation must be enclosed.**
9. Porches and finished first floors must be raised between 2' and 4' above grade, unless existing topography is greater. **The applicant should provide the height of the porch and finished first floor from grade at the front.**
10. Front porch widths must be 80-100% of the adjacent façade. **The proposed porch is 73% of the width of the adjacent façade/40% of the overall front façade, which is not compliant.**
11. **Building numbers at least 6" in height on the porch or adjacent to the front door should be included and shown on the plans.**
12. **The applicant should ensure no GBGs will be utilized.**
13. **Wooden window trim between 4" and 6" wide and at least 1/4" thick is required around all windows.** Note that mullions between grouped windows must be 2" wider than side trim.
14. Windows must be provided for 30-50% of the street facing façade. The window coverage of the street facing façade cannot be calculated. **The applicant should provide the width of the door glass.**
15. Windows must comply with all requirements of Sec. 81-1-7(g) - *Door and window standards*. **The elevations should be revised to demonstrate compliance and the plans should provide the following information:**
 - a. **Windowpane recession from adjacent facades**

b. Windowsill materials

16. Enfronting first story windows must be between 2.5 and 3.5' above finished first floor elevation. **The proposed enfronting windows are 2' above the floor, which is not compliant.**
17. **The design does not reflect any of the principal traditional styles found in the community.**

Once these items are addressed to the satisfaction of staff and the Design Review Committee, the application can be approved.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: 8.21.19

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: BERNARD VIGILANCE Contact Number: [REDACTED]

Applicants Address: [REDACTED]

E-Mail Address: [REDACTED] Zoning Classification: RESIDENTIAL SINGLE FAM

Address of Proposed Work: 451 WALNUT ST HAPEVILLE GA

Parcel ID# (INFORMATION MUST BE PROVIDED): 140094000 40392

Property Owner: KELLY BROWN Contact Number: [REDACTED]

Project Description (including occupancy type): WE ARE BUILDING A NEW SINGLE FAMILY RESIDENTIAL HOME

Contractors Name: DANNY WILLIAMS Contact Number: [REDACTED]

Contact Person: BERNARD VIGILANCE Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

[Signature]
Applicants Signature

8.20.19
Date

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building
☐ Addition to Existing Residential Structure ☐ Accessory Structure
☐ Site Plan, Grading & Landscaping ☒ New Single Family Residential Construction
☐ Other

Total Square Footage of proposed New Construction: 4275 sq ft

Total Square Footage of existing building: N/A

Estimated Cost of Construction: 120 K

List/Describe Building Materials on the exterior of the **existing** structure: N/A

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

BOARD AND BATON

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I BERNARD VIGILANCE  swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- ☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST
- ☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- ☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- ☒ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- ☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- ☒ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- ☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

BERNARD VIGILANCE

Printed Name

Signature

8.21.19

Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.



3595 Canton Road
Suite 116, PMB 272
Marietta, GA 30066
Ph. (678) 355-9905
Fax (678) 355-9805
www.frontlinesurveying.com

LOT 1
451 WALNUT

LEGAL DESCRIPTION – 0.18 ACRES

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 94 of the 14th District, of Fulton County, Georgia and being more particularly described as follows:

BEGINNING at a point (Iron Pin Set, #4 Capped Re-Bar) located on the northerly right-of-way of Walnut Street (40' R/W), said point being a distance of 254.80 feet along said northerly right-of-way of Walnut Street from the westerly right-of-way of Old Jonesboro Road (40' R/W), said point being the TRUE POINT OF BEGINNING;

THENCE, from said Point of Beginning thus established, proceed along said northerly right-of-way of Walnut Street North $90^{\circ}00'00''$ West a distance of 50.00 feet to a point (Iron Pin Found, 1 inch Open Top); Thence leaving said right-of-way proceed North $00^{\circ}53'47''$ West a distance of 140.00 feet to a point (Iron Pin Set, #4 Capped Re-Bar); Thence proceed North $61^{\circ}07'03''$ East a distance of 59.60 feet to a point (Iron Pin Set, #4 Capped Re-Bar); Thence proceed South $00^{\circ}00'00''$ East a distance of 168.77 feet to a point, said point being the POINT OF BEGINNING.

Together with and subject to all covenants, easements, and restrictions of record.

Tract described herein containing 0.18 acres of land (7,904 Square feet), more or less, described as Lot 1 on a survey by Frontline Surveying & Mapping, Inc., job number 65773, dated 07/19/2018, also being known as 451 Walnut Street according to the current system of numbering in Fulton County, Georgia.



Thomas E. Peay, Jr. Ga. RLS 2402
For the Firm of Frontline Surveying & Mapping, Inc.

FILED 320 P. 48
2007-01-10
Catherine Robinson
Fulton County, Georgia

- LEGEND**
- R/W RIGHT-OF-WAY
 - E CENTERLINE
 - N/F NOW OR FORMERLY
 - B/C BACK OF CURB
 - E/P EDGE OF PAVEMENT
 - NTS NOT TO SCALE
 - AC ACRES
 - S.F. SQUARE FEET
 - CB CATCH BASIN
 - HW HEADWALL
 - JB JUNCTION BOX
 - DI DROP INLET
 - CI GRADED INLET
 - OS OUTLET STRUCTURE
 - WM WAREHOUSE
 - SM STORM MAIN
 - CO CLEAN OUT
 - S EXISTING SANITARY SEWER LINE
 - PS PROPOSED SANITARY SEWER LINE
 - CMP CORRUGATED METAL PIPE
 - FES FLARED END SECTION
 - DE DRAINAGE EASEMENT
 - LLL LAND LOT LINE
 - B BUILDING LINE
 - PP POWER POLE
 - SP SERVICE POLE
 - TP TELEPHONE POLE
 - UP UTILITY POLE
 - P POWER LINE
 - T TELEPHONE LINE
 - OW OVERHEAD
 - OH OVERHEAD
 - W WATER LINE
 - WM WATER METER
 - WH WATER VALVE
 - PH FIRE HYDRANT
 - G GAS LINE
 - GM GAS METER
 - GV GAS VALVE
 - ROP REINFORCED CONCRETE PIPE
 - FF FINISHED FLOOR ELEVATION
 - M.F.F.E. MINIMUM FINISHED FLOOR ELEVATION
 - EL ELEVATION
 - TH TOP OF WALL
 - BT BOTTOM OF WALL
 - TK TOP OF CURB
 - TC TOP OF CURB
 - Q QUOTER
 - TS TOP OF BANK
 - BS BOTTOM OF BANK
 - N/A NOT APPLICABLE
 - F/C TO F/C FACE OF CURB TO FACE OF CURB
 - PF IRON PIN FOUND (SIZE AS NOTED)
 - CIPF CEMENT PIPE FOUND (SIZE AS NOTED)
 - RBS REBAR SET (SIZE AS NOTED)

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, ATLAS MAPS AS MAY BE AVAILABLE FROM MUNICIPALITIES OR UTILITY COMPANIES, AND EXISTING DRAWINGS. THE SURVEY MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

UTILITY PROTECTION CENTER
CALL FREE:
THREE WORKING DAYS BEFORE YOU DIG
IN METRO ATLANTA (770) 623-4344
THROUGHOUT GEORGIA 1(800) 282-7411



Certificate of Ownership

The owner of record of the land shown on this plat and whose name is subscribed thereon, in person or through a duly authorized agent, hereby dedicates to the City of Hapeville, the complete ownership and use of all water and sewer improvements constructed or to be constructed in accordance with this plat, and dedicates to the use of the public forever all streets, drains, easements, parks and open spaces.

Rehan A. Khan 05-10-2007, 2008
Subdivider and Owner of Record Date

Certificate by Surveyor or Engineer

I hereby certify that this final plat is true and correct and was prepared from an actual survey of the property made by me or under my supervision and that all corners are accurately marked by a 1/2 inch iron rod.

Robert M. Kirkley 4-17-07, 2008
Georgia Registered Land Surveyor Date
Number 1844

Certificate by Local Approving Agent

All the conditions of approval having been met and improvement completed, and installed in accordance with all applicable requirements. This document is hereby accepted and approval of improvements granted.

A. M. H. H. 5/8/07, 2008
Director of Community Services Date

Certificate by Approval of the Planning Commission

This is to certify that this subdivision plat has been approved by the Planning Commission of the City of Hapeville.

[Signature] 5/8/07, 2008
Chairman/Secretary Date
City of Hapeville Planning Commission

OWNER/DEVELOPER

HH DEVELOPMENT GROUP, LLC
GEOFFREY A. STREAT
3390 PEACHTREE ROAD, N.E.
SUITE 914
ATLANTA, GEORGIA 30326
PHONE (404) 969-3464
FAX: (404) 969-3466
CELL: (404) 509-9509

DESIGNER:

ROBERT M. KIRKLEY
PROFESSIONAL LAND SURVEYOR
295 CHARLOTTE BLVD.
STOCKBRIDGE, GA. 30281
PHONE (770) 507-4824
FAX: (770) 507-4708

NOTES:
BEARINGS SHOWN ARE CALCULATED FROM ANGLES TURNED AND ARE BASED ON A SINGLE MAGNETIC OBSERVATION.
A TOPCON GTS 211 D TOTAL STATION WAS USED TO OBTAIN LINEAR AND ANGULAR MEASUREMENTS.
THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF 1"/10,000+ AND AN ANGULAR ERROR OF 10 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING THE COMPASS RULE.
THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE TO 1"/10,000+.
TOPOGRAPHICAL ELEVATIONS ARE TO MEAN SEA LEVEL AND A FIELD RUN SURVEY REFERENCE TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD83).
CONTOUR INTERVAL = 2'.

NOTES:
PROPERTY IS ZONED R-SF. (SINGLE FAMILY DETACHED)
MINIMUM LOT FRONTAGE = 40'.
MINIMUM LOT AREA REQUIRED = 4000 S.F.
MAXIMUM LOT COVERAGE ALLOWED = 70%
BUILDING SETBACKS:
FRONT = 15'
SIDE = 5'
REAR = 20'
MINIMUM PARKING SPACES REQUIRED = 2.

NOTE: EXISTING RESIDENCE TO BE REMOVED. DEMOLITION PERMIT TO BE OBTAINED BEFORE BEGINNING ANY DEMOLITION ACTIVITIES. DEMOLITION IS TO BE PER CITY OF HAPEVILLE DEMOLITION REQUIREMENTS. STAGING AREA TO BE USED FOR LOADING AND REMOVAL OF ALL MATERIALS.
SEDIMENT AND EROSION CONTROL DEVICES SHALL BE IN PLACE AT TIME OF DEMOLITION.

TOTAL TRACT AREA = 1.078 ACRES
46,939.742 SQ. FT.

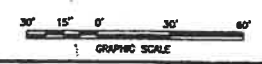


SUBDIVISION PLAT OF
WALNUT GROVE
LOCATED IN
CITY OF HAPEVILLE, GEORGIA
LAND LOT 94 - 14th. DISTRICT
FULTON COUNTY, GEORGIA

DATE: 11/24/2006 SCALE: 1"= 30'

Robert M. Kirkley
PROFESSIONAL LAND SURVEYOR
295 CHARLOTTE BLVD.
STOCKBRIDGE, GA. 30281

NO.	DATE	REVISION



SURVEY NOTES:

- HORIZONTAL DATUM IS GEORGIA STATE PLANE WEST ZONE COORDINATE SYSTEM, NORTH AMERICAN DATUM 1983 (NAD83)
- VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88)
- ALL DEED BOOK REFERENCES SHOWN HEREON ARE RECORDED IN THE CLERK OF SUPERIOR COURT'S OFFICE OF FULTON COUNTY, GEORGIA, SUBJECT AND ADJACENT PROPERTY OWNER'S DEED REFERENCES ACCESSED VIA SUPERIOR COURT RECORD SOURCES AND APPLICABLE MUNICIPALITY GIS REFERENCES AND ARE NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT TITLE. ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED.
- STRUCTURES VISIBLE WITHIN THE SUBJECT PROPERTY BOUNDARIES ON THE DATE OF SURVEY ARE SHOWN HEREON.
- LOCATIONS ARE ACCURATE ONLY WHERE DIMENSIONED.
- DISTANCES SHOWN ARE HORIZONTAL.
- THIS PROPERTY MAY CONTAIN WETLANDS. ALL WETLANDS ARE UNDER THE JURISDICTION OF THE U.S. ARMY CORPS OF ENGINEERS AND/OR THE STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES. LOT OWNERS ARE SUBJECT TO PENALTY OF LAW FOR DISTURBANCE TO THESE PROTECTED AREAS WITHOUT THE PROPER PERMIT APPLICATION AND APPROVAL.
- THIS PROPERTY IS NOT LOCATED IN SPECIAL FLOOD HAZARD AREA PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP No. 13121C0397; EFFECTIVE DATE: 09-18-2013.
- THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.
- DEED/PLAT DISCLAIMER: THIS PLAT MAY NOT CONFORM TO THE BEARINGS AND DISTANCES RECORDED ON THE DEED AND/OR PLAT OF RECORD DUE TO SEVERAL FACTORS INCLUDING, BUT NOT LIMITED TO, THE NATURE OF THE ADVANCES IN SURVEYING TECHNOLOGY SUCH AS ELECTRONIC MEASURING DEVICES, MORE PRECISE ANGULAR MEASUREMENTS AND THE ADVENT OF SATELLITE SURVEYING TECHNIQUES USING "GPS" AND "GLONASS" SATELLITE CONSTELLATIONS. SURVEYS USING SATELLITE OBSERVATIONS ARE CORRECTED TO THE GEORGIA WEST STATE PLANE COORDINATE SYSTEM AND USE "GEOIDETIC" OR "GRID" NORTH AS OPPOSED TO "MAGNETIC" NORTH.
- INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, AND/OR HIS AGENTS SHALL HEREBY DISTINGUISHLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND INFORMATION.
- RIGHT-OF-WAYS ARE BASED ON CENTERLINES OF EXISTING PATHS OF TRAVEL, UNLESS NOTED OTHERWISE.
- ALL PROPERTY CORNERS FOR LOTS TO BE SET IN FIELD AS 1/2" (#4) REBAR WITH PINK CAPS MARKED "T.L.S. CORNER LSF 631" UNLESS OTHERWISE STATED.
- THIS SURVEY COMPLETES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (O.C.G.A.) 15-8-87 AS AMENDED BY HB76 (2017), IN THAT WHERE A CONFLICT EXISTS BETWEEN THOSE TWO SETS OF SPECIFICATIONS, THE REQUIREMENTS OF LAW PREVAIL.
- BOUNDARY FIELD WORK PERFORMED 07-28-2017 BY FRONTLINE SURVEYING & MAPPING, INC.
- EQUIPMENT USED: TOPCON ELECTRONIC TOTAL STATION & TRIMBLE 5800 GPS RECEIVER UTILIZING CHAMPION GPS/PPS NETWORK.
- ANGULAR ERROR: 10 SECONDS PER ANGLE.
- RAW FIELD PRECISION: 1:25,429.
- ADJUSTED BY LEAST SQUARES.
- PLAT CLOSURE: 1:112,966.

NOTE:
SUBDIVISION PLAT FOR WALNUT GROVE PLAYBOOK 320 PAGE 48 BY ROBERT MURKIN RECORDED IN FULTON COUNTY CLERK OF SUPERIOR COURT.

- TREE NOTES:**
- ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION
 - ALL TREE SAVE FENCING TO BE INSTALLED PRIOR TO BE START OF LAND DISTURBANCE, AND MAINTAINED UNTIL FINAL LANDSCAPING.
 - ALL TREE SAVE FENCE TO BE REPAIRED OR REPLACED AS NEEDED.
 - NO PARKING, STORAGE, OR OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.

S42-P CURB INLET PROTECTION: TO BE INSTALLED AT DOWNSTREAM CURB INLETS.

NOTE:
NO DUMPSTERS, PORTABLE TOILETS, PARKING, MATERIAL STORAGE, OR STOCKPILE AREAS ON SUBJECT PROPERTY OR IN RIGHT-OF-WAY

SILT FENCE MAINTENANCE AND REMOVAL: THE CONTRACTOR SHALL MAINTAIN THE SILT FENCE UNTIL THE PROJECT IS VEGETATED OR ACCEPTED. FILTER FABRIC SHALL BE REPLACED WHENEVER IT HAS DETERIORATED TO SUCH AN EXTENT THAT IT REDUCES THE EFFECTIVENESS OF THE FABRIC.

LOT 1

EXISTING TREE CHART LOT 1

tag	tree type	tree size (in)	tree crz (feet)	tree crz area (feet ²)	impacted area (feet ²)	impacted (%)	saved / removed
A	white oak	32	32	3216.90	0	0.00	0.00 saved

TREE CANOPY CALCULATIONS LOT 2

RLS (ACRES)	LSF (SQ.FT)	RC (SQ.FT) / UNITS	MC (SQ.FT) / UNITS	AC UNITS	RCL (SQ.FT) / UNITS	RCM (SQ.FT) / UNITS	RCS (SQ.FT) / UNITS	MC (SQ.FT) / UNITS	TOTAL (SQ.FT) / UNIT
0.18	7841.3528 / 14	3217 / 13	0.00 0000 / 0	0	0	0	500 / 2	3217 / 13	3717 / 15
# OF TREES				1					3

LOT 2

EXISTING TREE CHART LOT 2

THERE ARE NO EXISTING TREES ON SITE (LOT 2).

TREE CANOPY CALCULATIONS LOT 2

RLS (ACRES)	LSF (SQ.FT)	RC (SQ.FT) / UNITS	MC (SQ.FT) / UNITS	AC UNITS	RCL (SQ.FT) / UNITS	RCM (SQ.FT) / UNITS	RCS (SQ.FT) / UNITS	MC (SQ.FT) / UNITS	TOTAL (SQ.FT) / UNIT
0.16	6969.63136 / 13	0000 / 0	0	0	0.00 2000 / 8	1000 / 4	500 / 2		3500 / 14
# OF TREES				0		2	2		6

LEGEND:

- IPS IRON PIN SET
- IPF IRON PIN FOUND
- OT OPEN TOP PIN
- CT CRIMP TOP PIN
- RB REINFORCING BAR (REBAR)
- CL CENTERLINE
- R/W RIGHT-OF-WAY
- CONC CONCRETE
- PP POWER POLE
- LP LIGHT POLE
- GV GAS VALVE
- GM GAS METER
- SS SANITARY SEWER
- F FENCE
- PROF PROPOSED
- CONC CONCRETE FOUND
- OVERHEAD UTILITY LINE(S)
- SSM SANITARY SEWER MAN HOLE
- MAN HOLE TELEPHONE
- CATCH BASIN
- JB JUNCTION BOX
- DI DROP INLET
- SWCB SINGLE WING CATCH BASIN
- POB POINT OF BEGINNING
- PP POINT OF COMMENCEMENT
- WM WATER METER
- WM WATER METER
- CO C/O HEAD WALL
- LL LAND LOT LINE
- CMP CORRUGATED METAL PIPE
- RCP REINFORCED CONCRETE PIPE
- SSE SANITARY SEWER EASEMENT
- PH FIRE HYDRANT
- DE DRAINAGE EASEMENT
- EP ELECTRIC POWER BOX
- UNITS OF DISTURBANCE
- 18" POP TREE STRUCTURAL ROOT PLATE
- 18" POP TREE CRITICAL ROOT STRUCTURE
- 12" OAK TREE CRITICAL ROOT STRUCTURE IMPACTED
- 12" OAK PRESERVED TREES
- 7" JUMP DISTURBED/REMOVED TREES
- P-TREE REPLACEMENT/PLANTED TREES

TREE LEGEND:

- OAK
- POPLAR
- PINE
- HICKORY
- MAPLE
- SWEETGUM
- NOT IDENTIFIED
- DOGWOOD
- REPLACEMENT TREE - LARGE
- REPLACEMENT TREE - MEDIUM
- REPLACEMENT TREE - SMALL
- HOLLY
- JUNIPER
- LUSTERIM
- GRAPE MYRTLE
- SPRUCE-FUR
- BIRCH
- WILLOW
- TBD-HARDWOOD

SEDIMENT STORAGE CALCULATIONS
DISTURBED AREA= 0.32 AC.
STORAGE REQUIRED CALCULATION:
0.32 AC. X 67CY = 21.4 CY REQUIRED
S41-NS STORAGE PROVIDED:
99 LF X 0.263CY/LF = 23.36 CY

EROSION, SEDIMENTATION, & POLLUTION CONTROL PLAN FOR:

BERNARD VIGILANCE

449 & 451 WALNUT STREET
LAND LOT 94 14th DISTRICT
FULTON COUNTY, GEORGIA
CITY OF HAPEVILLE
EXISTING ZONING: R-SF
EXISTING PIN

Lot 1: 14 009400040392
Lot 2: 14 009400040400

7,914 SQ FT
0.18 ACRES

7,147 SQ FT
0.16 ACRES

CURRENT ZONING:
R-SF
FRONT SETBACK= 15'
SIDE = 5'
REAR SETBACK= 20'

DISTURBED AREA:
0.32 ACRES

NOTE: THIS LOT IS NOT WITHIN 200' OF STATE WATERS

EROSION CONTROL LEGEND

- Ds1 DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)
- Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
- Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT SEEDING)
- Ds4 DISTURBED AREA STABILIZATION (WITH PERMANENT SOD)
- Du DUST CONTROL
- S41-NS TYPE 'NON-SENSITIVE' SILT FENCE
- S41-S TYPE 'SENSITIVE' SILT FENCE
- S41-P INLET SEDIMENT TRAP
- CD-HB CHECK DAM HAY BAILE
- Co CONSTRUCTION ENTRANCE
- LD LIMITS OF DISTURBANCE
- LOD LIMITS OF DISTURBANCE
- Tr TREE FENCE PROTECTION FENCE
- TF TREE FENCE PROTECTION FENCE
- 980 EXISTING CONTOURS
- 980 PROPOSED CONTOURS
- X 983.3 PROPOSED SPOT ELEVATION
- X 983.3 HP HIGH POINT SPLIT DRAINAGE SPOT

CONTOUR LEGEND

- 980 EXISTING CONTOURS
- 980 PROPOSED CONTOURS
- X 983.3 PROPOSED SPOT ELEVATION
- X 983.3 HP HIGH POINT SPLIT DRAINAGE SPOT

SITE MAP (NTS)

LOT 1: ZONING: R-SF

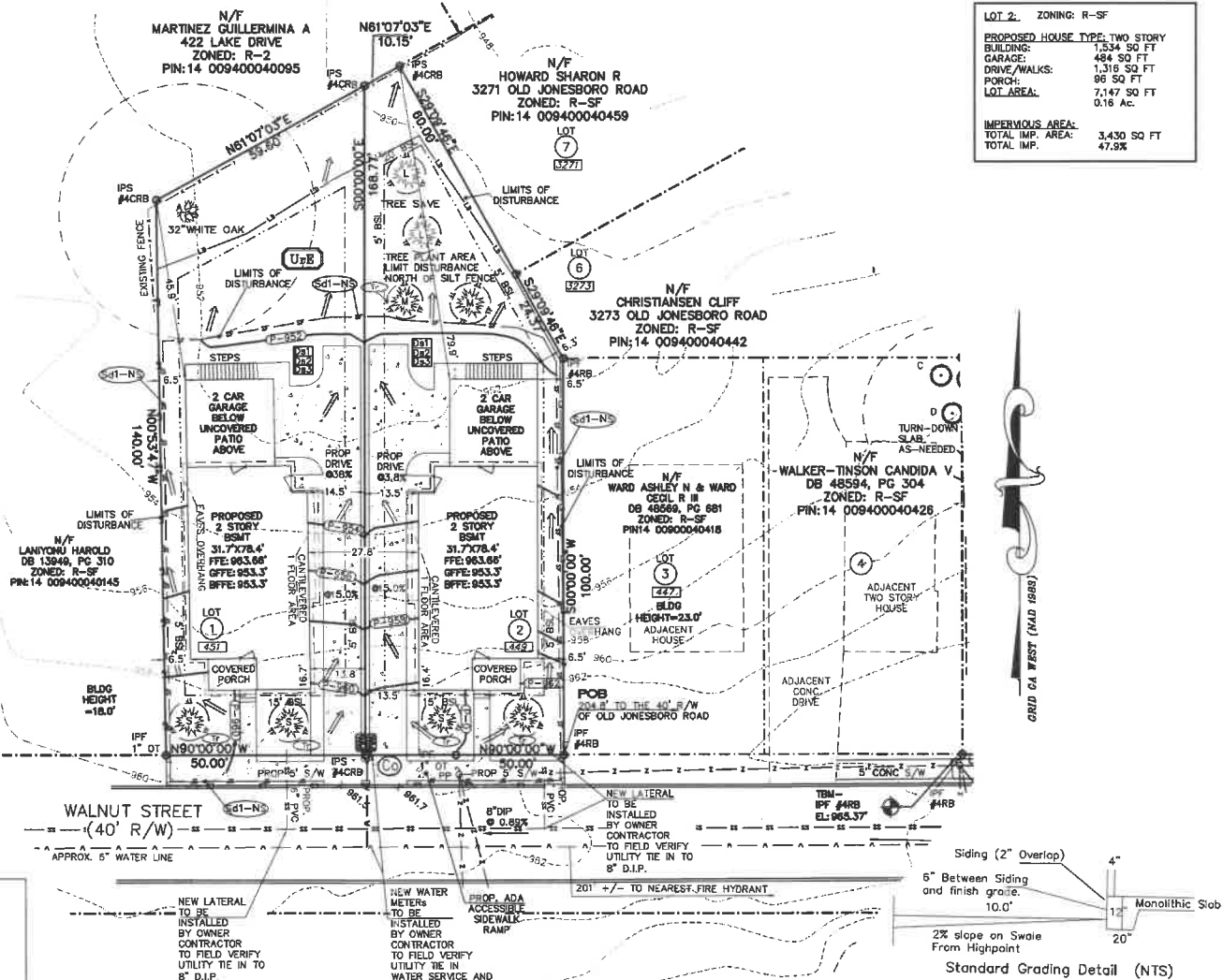
PROPOSED HOUSE TYPE: TWO STORY
BUILDING: 1,534 SQ FT
GARAGE: 484 SQ FT
DRIVE/WALKS: 1,350 SQ FT
PORCH: 96 SQ FT
LOT AREA: 7,147 SQ FT
0.16 AC.

IMPERVIOUS AREA: 3,464 SQ FT
TOTAL IMP. AREA: 43.7%

LOT 2: ZONING: R-SF

PROPOSED HOUSE TYPE: TWO STORY
BUILDING: 1,534 SQ FT
GARAGE: 484 SQ FT
DRIVE/WALKS: 1,350 SQ FT
PORCH: 96 SQ FT
LOT AREA: 7,147 SQ FT
0.16 AC.

IMPERVIOUS AREA: 3,430 SQ FT
TOTAL IMP. AREA: 47.5%



IF YOU DIG GEORGIA...
CALL US FIRST!
1-800-282-7411



GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION
THOMAS EDWARD PEAY, JR.
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER: 000004498
ISSUED: 01/24/2018 EXPIRES: 01/24/2021

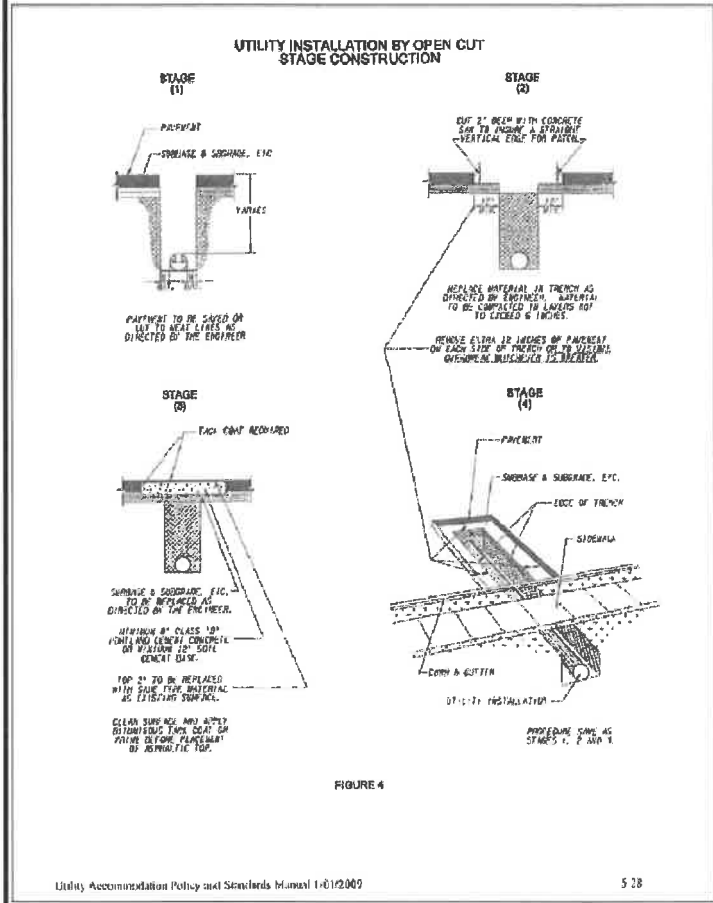
I CERTIFY THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF STORM WATER OUTFALLS AND THAT THE DESCRIBED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GA00003.

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION.

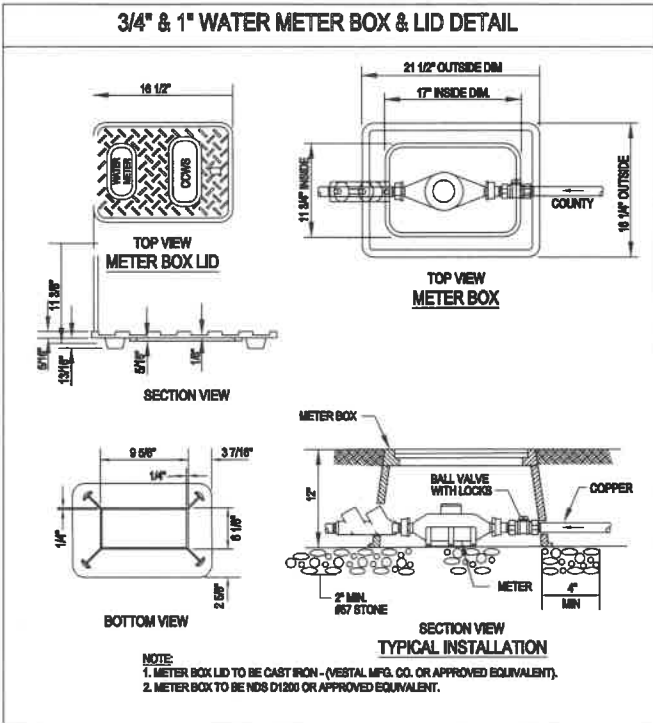
SHEET 1 OF 3

DATE: 07/22/19
SCALE: 1" = 20'
SECTION: 14th DISTRICT
BLOCK: 94
LOT: 2
SUBDIVISION: BERNARD VIGILANCE
JOB #: 69326





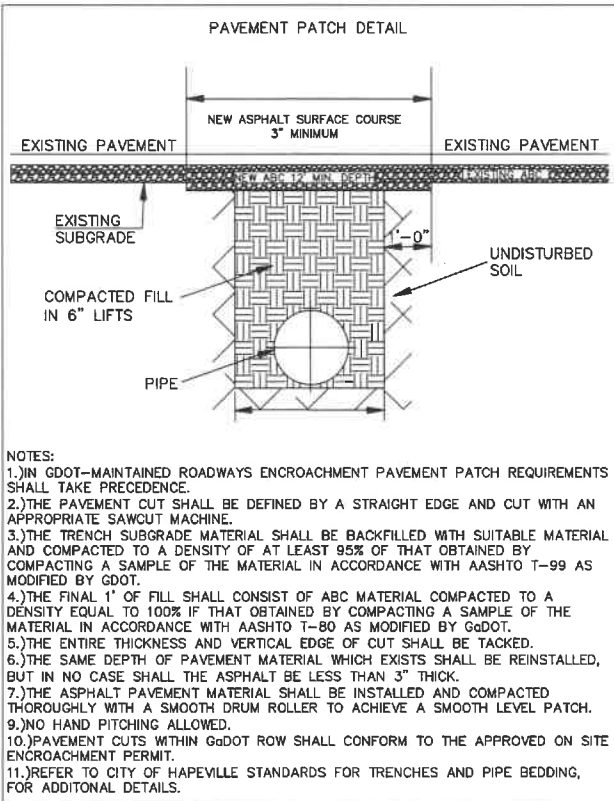
VEGETATIVE MEASURES				
CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)		Ds1	ESTABLISHING TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDING MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)		Ds2	ESTABLISHING TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.
Ds3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)		Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOY, OR LEGUMES ON DISTURBED AREAS.
Ds4	DISTURBED AREA STABILIZATION (WITH SOILING)		Ds4	ESTABLISHING PERMANENT VEGETATIVE COVER USING SOILS ON HIGHLY ERODIBLE OR CRITICALLY ERODED LANDS.



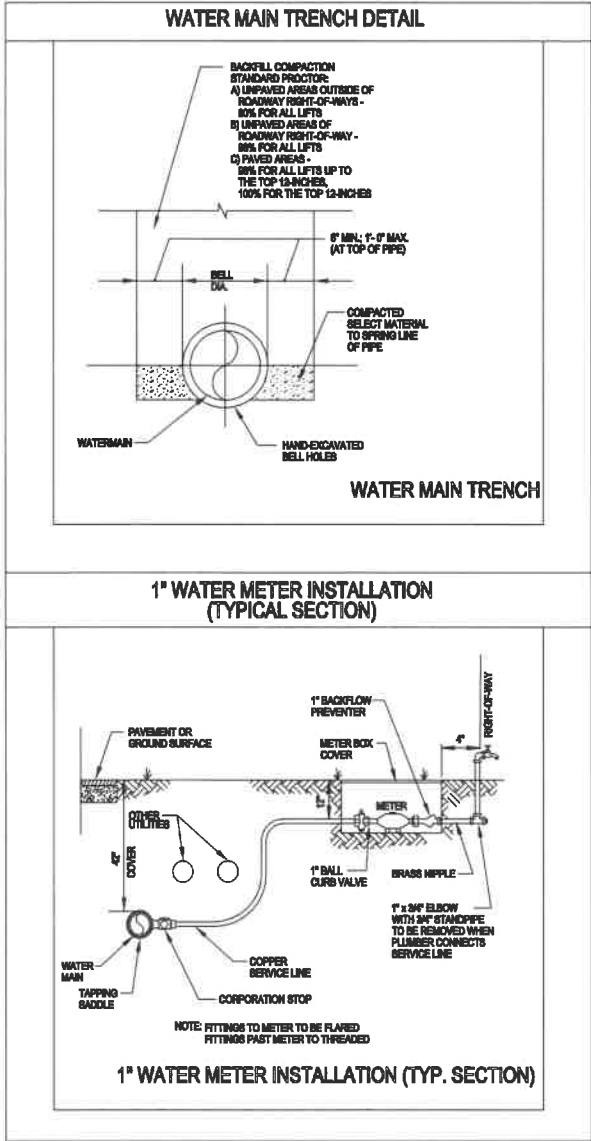
EROSION, SEDIMENTATION, & POLLUTION CONTROL PLAN FOR:

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FULTON COUNTY, GEORGIA
CITY OF HAPEVILLE
EXISTING ZONING: R-SF
EXISTING PIN
Lot 1: 14 009400040392
Lot 2: 14 009400040400



NOTES:
1.) IN GDOT-MAINTAINED ROADWAYS ENCROACHMENT PAVEMENT PATCH REQUIREMENTS SHALL TAKE PRECEDENCE.
2.) THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAWCUT MACHINE.
3.) THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY GDOT.
4.) THE FINAL 1\"/>



GSWCC
GEORGIA SOIL AND WATER
CONSERVATION COMMISSION
THOMAS EDWARD PEAY, JR.
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER: 0000004496
ISSUED: 01/24/2018 EXPIRES: 01/24/2021

THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE OF 1 FOOT IN 25,000 FEET, AN ANGULAR ERROR OF 1 SECOND PER ANGLE POINT AND A DISTANCE ERROR OF 1/1000 OF THE DISTANCE MEASURED. THE PLAN IS BASED ON THE FIELD DATA AND THE FIELD DATA IS THE BASIS FOR THE PLAN. THE PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE SURVEYOR. THE INFORMATION USED IN THE PREPARATION OF THIS PLAN IS THE PROPERTY OF THE SURVEYOR AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE SURVEYOR. ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED ***

3595 Canton Road
Suite 116, PMB 272
Marietta, GA 30066
Ph. (678) 355-9905
Fax (678) 355-9805
www.frontlinesurveying.com

EROSION, SEDIMENTATION, & POLLUTION CONTROL PLAN FOR:
BERNARD VIGILANCE

DATE: 07/22/19 SCALE: 1" = 20'

SECTION: 14th DISTRICT UNIT: BLOCK: LOT 1 & 2

REVISION: INCLUDED LOT 1

PHASE: I HAVE THIS DATE EXAMINED THE "FULL OFFICIAL FLOOD HAZARD MAP" AND FOUND THAT BY GRAPHIC PLOTTING ONLY THE REFERENCE PARCEL (IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS.

MAP ID: 1312103037F EFFECTIVE DATE: 05/18/2013

FOR THE FIRM FRONTLINE SURVEYING & MAPPING, INC. 08-14-19

JOB # 69326

NEW RESIDENCE

451 WALNUT STREET
HAPEVILLE, GA , 30354



Prepared by:

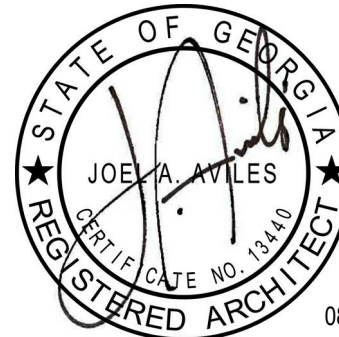


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ARCHITECTURE | PLANNING | RENDERINGS

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Consultants:

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APPLICABLE CODES

RESIDENTIAL:	INTERNATIONAL RESIDENTIAL CODE - 2012 EDITION, W/ GEORGIA STATE AMENDMENTS (2014)(2015) (2018)
ELECTRICAL:	NEC - NATIONAL ELECTRIC CODE - 2017 EDITION, W/ NO GEORGIA AMENDMENTS
ENERGY:	INTERNATIONAL ENERGY CONSERVATION CODE - 2009 EDITION, W/ GEORGIA SUPPLEMENTS AND AMENDMENTS (2011) (2012)
PLUMBING:	INTERNATIONAL PLUMBING CODE - 2012 EDITION, W/ GEORGIA AMENDMENTS (2014)(2015)

DESIGN LOADS AND BUILDING PLANNING

THE STRUCTURAL DESIGN IS BASED ON THE INTERNATIONAL RESIDENTIAL CODE (2012 EDITION)

FLOORS:

SLEEPING AREAS = 30 PSF LL + 20 PSF DL
LIVING AREAS = 40 PSF LL + 20 PSF DL
STAIRS = 100 PSF LL
WOOD DECKS = 40 PSF LL + 20 PSF DL

ROOFS:

CEILINGS NOT ATTACHED TO RAFTERS, L/A = 180:
ROOF LIVE LOAD = 20 PSF
ROOF DEAD LOAD = 10 PSF (LIGHTWEIGHT FRAMING)
ROOF DEAD LOAD = 20 PSF

CEILINGS ATTACHED TO RAFTERS, L/A = 240:
ROOF LIVE LOAD = 20 PSF
ROOF DEAD LOAD = 10 PSF (LIGHTWEIGHT FRAMING)
ROOF DEAD LOAD = 20 PSF

CEILINGS:

UNINHABITABLE ATTICS W/O STORAGE, L/A = 240:
LIVE LOAD = 10 PSF
DEAD LOAD = 5 PSF

UNINHABITABLE ATTICS W/ LIMITED STORAGE, L/A = 240:
LIVE LOAD = 20 PSF
DEAD LOAD = 10 PSF

WIND LOADS:

BASIC WIND SPEED = 90 MPH

WEATHERING PROBABILITY FOR CONCRETE: MODERATE

GROUND SNOW LOAD : 5 PSF

TERMITE INFESTATION PROBABILITY : VERY HEAVY

ARCHITECTURAL LEGEND



SECTION MARK



CALLOUT DETAIL MARK



CEILING TAG



CENTER LINE



DOOR TAG



EQUIPMENT TAG



NORTH ARROW



ROOM TAG



AL STOREFRONT TAG



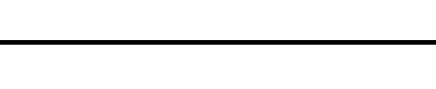
WALL TAG



WINDOW TAG



(GRID LINE) CENTER



(GRID LINE) FACE

ABBREVIATIONS

3050	WINDOW SIZE 3'-0" x 5'-0"	KW	KNEE WALL
A	AMPS	KW	KILOWATT
ABV	ABOVE	LDG	LEDGE
AC	ABOVE CEILING	LIN	LINEN
ACT	ACOUSTICAL CEILING TILE	LOC	LOCATION
AFF	ABOVE FINISH FLOOR	MAS	MASONRY
ALUM	ALUMINUM	MECH	MECHANICAL ROOM
APPROX	APPROXIMATE	MFR	MANUFACTURER
ASC	ABOVE SUSPENDED CEILING	OHD	OVERHEAD DOOR
BDRM	BEDROOM	OPG	OPENING
BF	BI-FOLD DOOR	OPT	OPTIONAL
BLW	BELOW	PAN	PANTRY
BRK	BRICK	PDS	PULL DOWN STAIR
BSMT	BASEMENT	PS	PEDESTAL SINK
CL	CENTER LINE	PT	PRESSURE TREADED
CLW	CENTER LINE OF WALL	PW	PLUMBING WALL
COL	COLUMN	PWDR	POWDER ROOM
CONC	CONCRETE	QT	QUARRY TILE
COINT	CONTINUOUS	RB	RUBBER
COORD	COORDINATE	RC	STAIR RISER COUNT
CPT	CARPET	RD	STAIR RISER DIMENSION
CT	CERAMIC TILE	RECP	RECEPTACLE
DBL	DOUBLE	SB	SMOKE BARRIER
DECO	DECORATIVE	SC	SOLID CORE
DF	DRINKING FOUNTAIN	SCWD	SOLID CORE WOOD
DN	DOWN	SIM	SIMILAR
DS	DOWNSPOUT	SS	STAINLESS STEEL
DW	DISHWASHER	STL	STEEL
DWG	DRAWINGS	SU	STUB-UP
EBS	EXTERIOR INSULATION FINISH SYSTEM	TC	STAIR TREAD COUNT
ELEC	ELECTRIC	TD	STAIR TREAD DIMENSION
EP	ELECTRIC PANEL	TOP	TOP OF PLATE
EW	EACH WAY	TOW	TOP OF WINDOW
EWC	ELECTRIC WATER COOLER	TRANS	TRANSOM WINDOW
EXG	EXISTING	TYP	TYPICAL
EXT	EXTERIOR	UNO	UNLESS NOTED OTHERWISE
FE	WALL RECESSED	V	VOLTS
FEC	FIRE EXTINGUISHER 5# A.B.C.	VCT	VINYL COMPOSITE TILE
FI	FIRE EXTINGUISHER CABINET	W	WATTS
FS	SEMI RECESSED W/ 5# A.B.C	WH	WATER HEATER
FLR	FLOORING	WIC	WALK IN CLOSET
FOS	FACE OF STUD		
FPL	FIRE PLACE		
FTG	FOOTING		
GS	GENERAL CONTRACTOR		
GYS	GYPNUM BOARD		
HGT	HEIGHT		
HMA	HOLLOW METAL		
HP	HORSEPOWER		
IG	ISOLATED GROUND		

SCOPE OF WORK

NEW RESIDENTIAL CONSTRUCTION

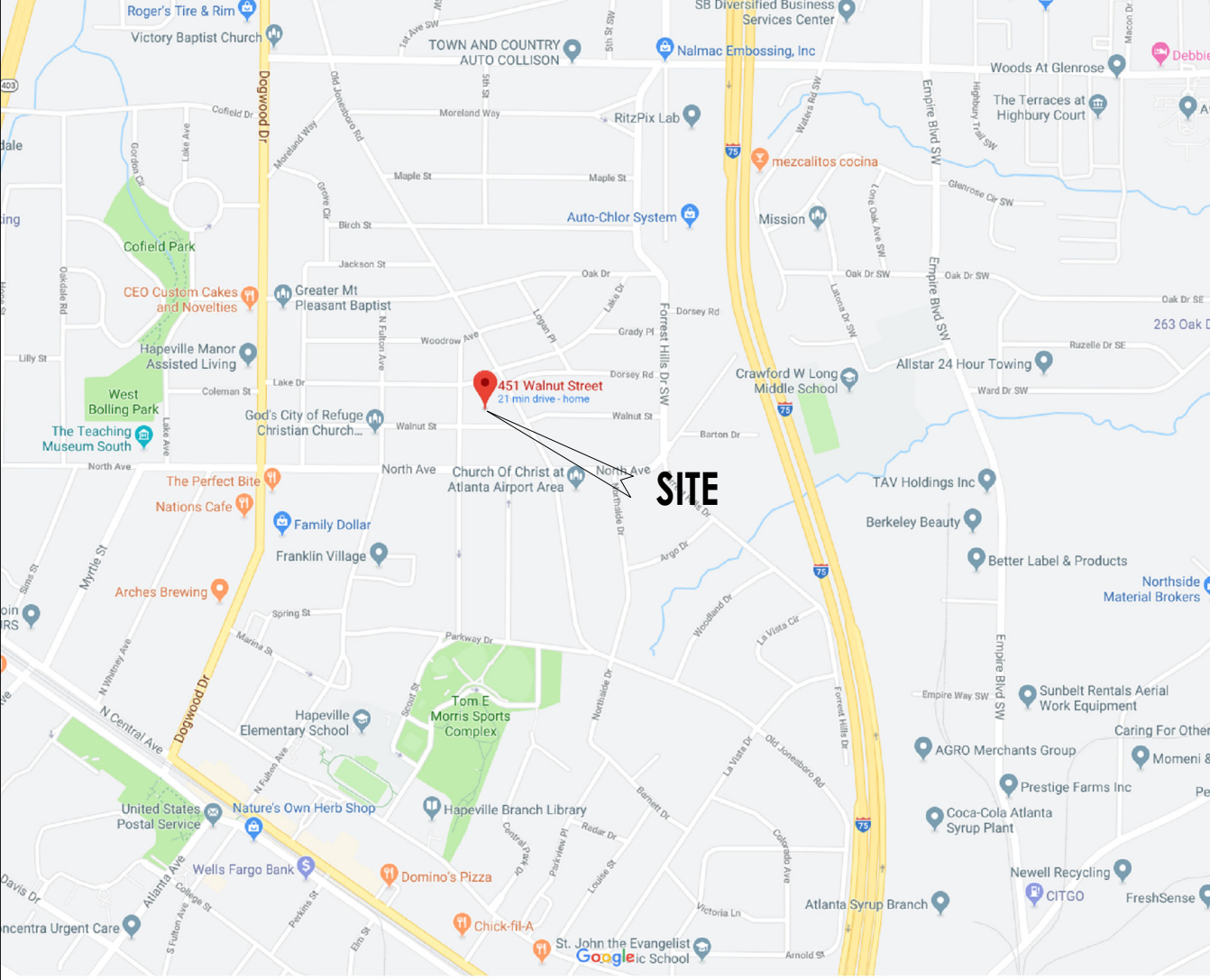
TEAM MEMBERS

OWNER:	BERNARD VIGILANCE 404.573.7041
ARCHITECT:	JOEL AVILES ARCHITECTS, LLC ATTN: JOEL AVILES, AIA, NCARB 110 N McDONOUGH ST JONESBORO, GA 30236 TEL: 404.975.7895 EMAIL: JOEL@JOELAVILES.COM

BUILDING AREAS

AREA SCHEDULE (GROSS HEATED)	
FIRST FLOOR HEATED AREA	1588 SF
SECOND FLOOR HEATED AREA	581 SF
BASEMENT ENTRY HEATED AREA	169 SF
Grand total	2337 SF
AREA SCHEDULE (GROSS UNHEATED)	
UN-FINISHED BASEMENT	1358 SF
2-CAR GARAGE	484 SF
FRONT COVERED PORCH	96 SF
Grand total	1938 SF
AREA SCHEDULE (GROSS TOTAL UNDER ROOF)	
FIRST FLOOR HEATED AREA	1588 SF
UN-FINISHED BASEMENT	1358 SF
2-CAR GARAGE	484 SF
SECOND FLOOR HEATED AREA	581 SF
FRONT COVERED PORCH	96 SF
BASEMENT ENTRY HEATED AREA	169 SF
Grand total	4275 SF

LOCATION MAP



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DRAWING INDEX

SHEET INDEX	
A001	COVER SHEET
A100	NOTES AND SPECIFICATIONS
A101	FIRST, SECOND AND BASEMENT FLOOR PLANS
A102	PROPOSED EXTERIOR ELEVATIONS
A103	PROPOSED EXTERIOR ELEVATIONS
A104	FOUNDATION PLAN AND DETAILS
A105	FIRST, SECOND AND ROOF FRAMING PLANS
A106	BUILDING & WAL SECTIONS
A901	ISOMETRICS

NO.	DATE	DESCRIPTIONS	BY
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Project:

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HAPEVILLE, GA 30354

Drawing Title:

COVER SHEET

Drawing Status:

**RELEASED FOR
CONSTRUCTION**

Scale: 1/4" = 1'-0" Drawn by: JA Reviewed by: JA

Date/Time Printed: 8/24/2019 3:17:08 PM

Date: 08.19.2019 Project number: 19040

Drawing:

A001

A101



A102

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Drawing Title:

PROPOSED EXTERIOR ELEVATIONS

Drawing Status:

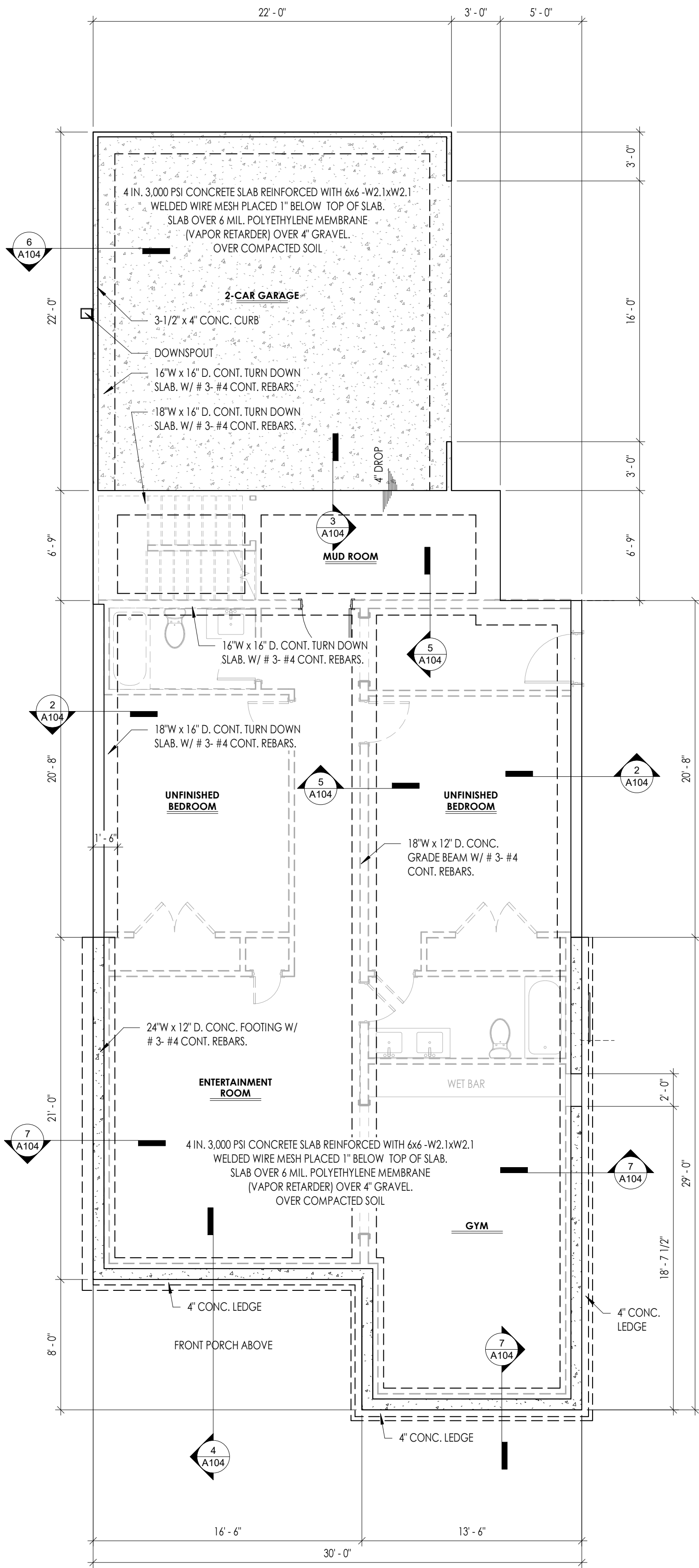
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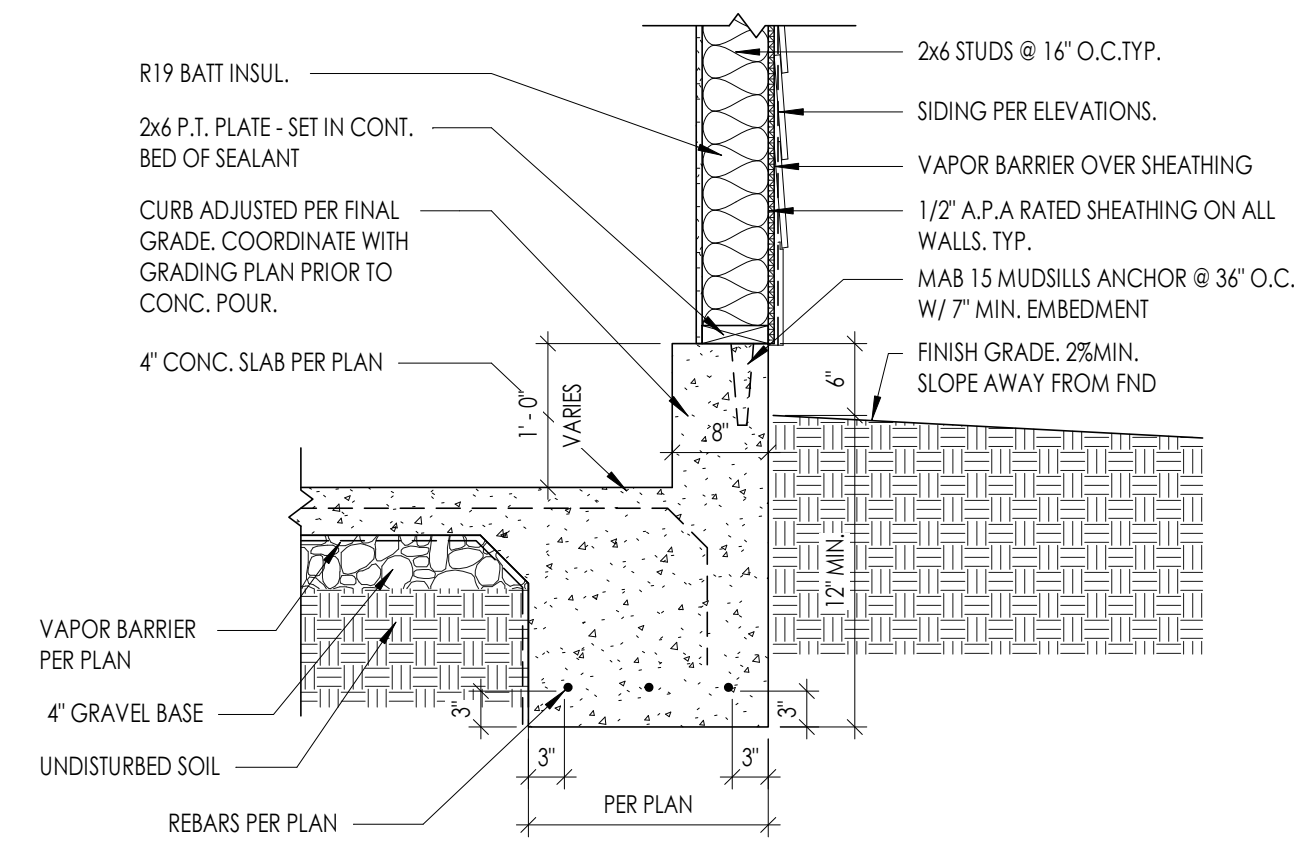
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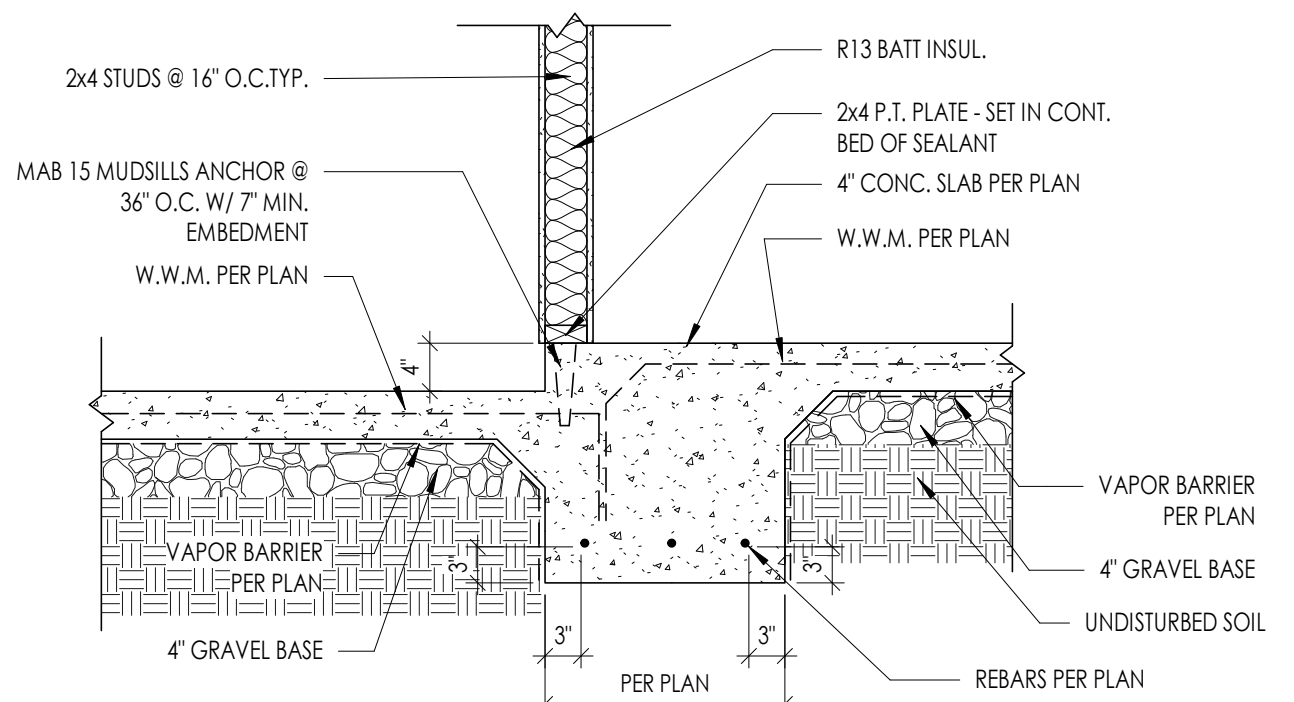




1 A104 FOUNDATION PLAN
3/16" = 1'-0"



2 A104 TURN DOWN SLAB W/ CONC. CURB
3/4" = 1'-0"



3 A104 GARAGE SLAB DROP
3/4" = 1'-0"

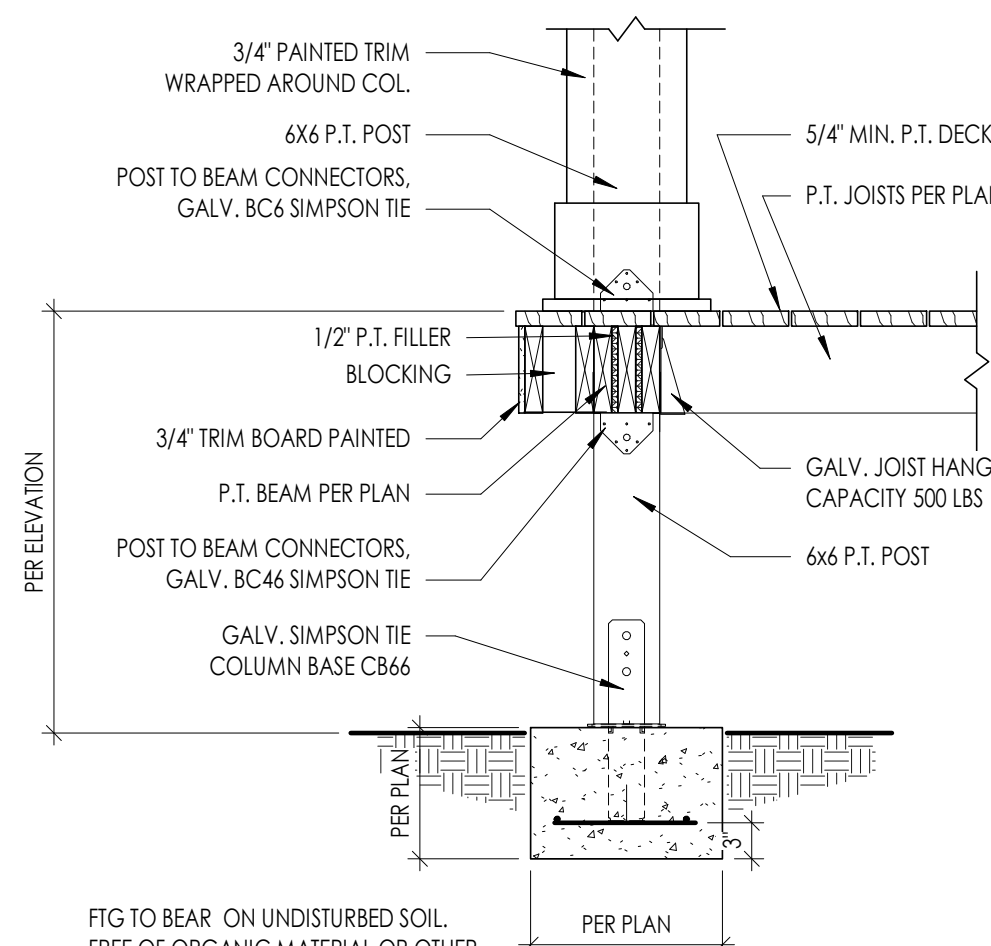
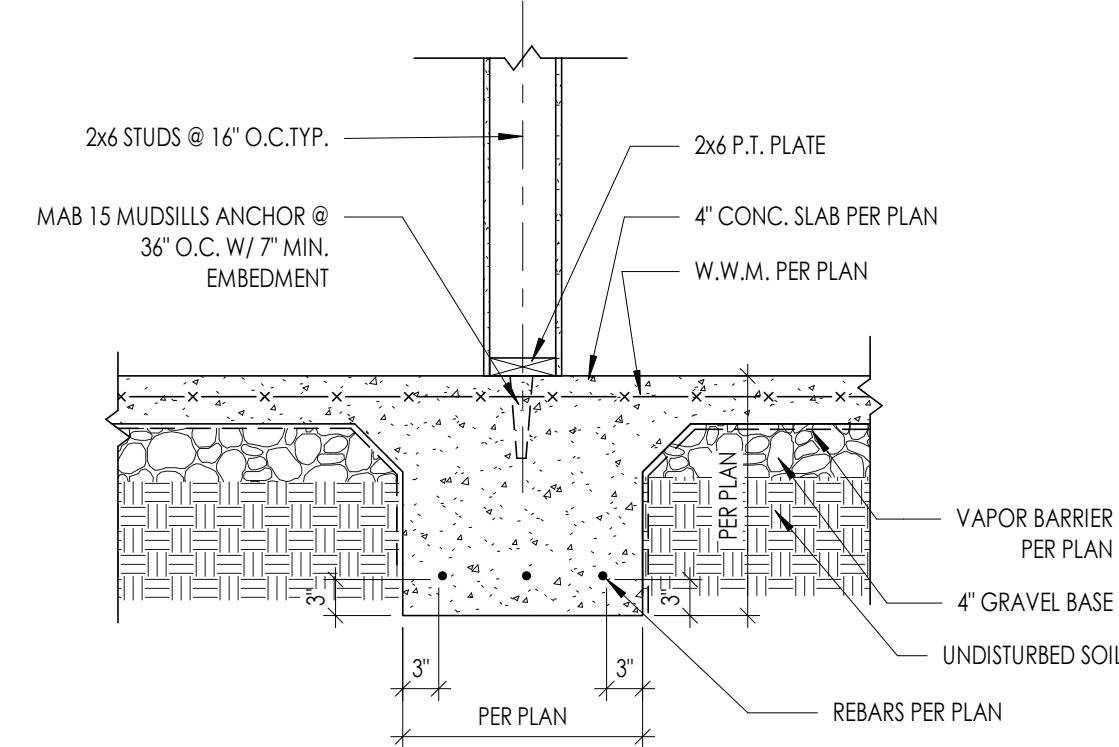
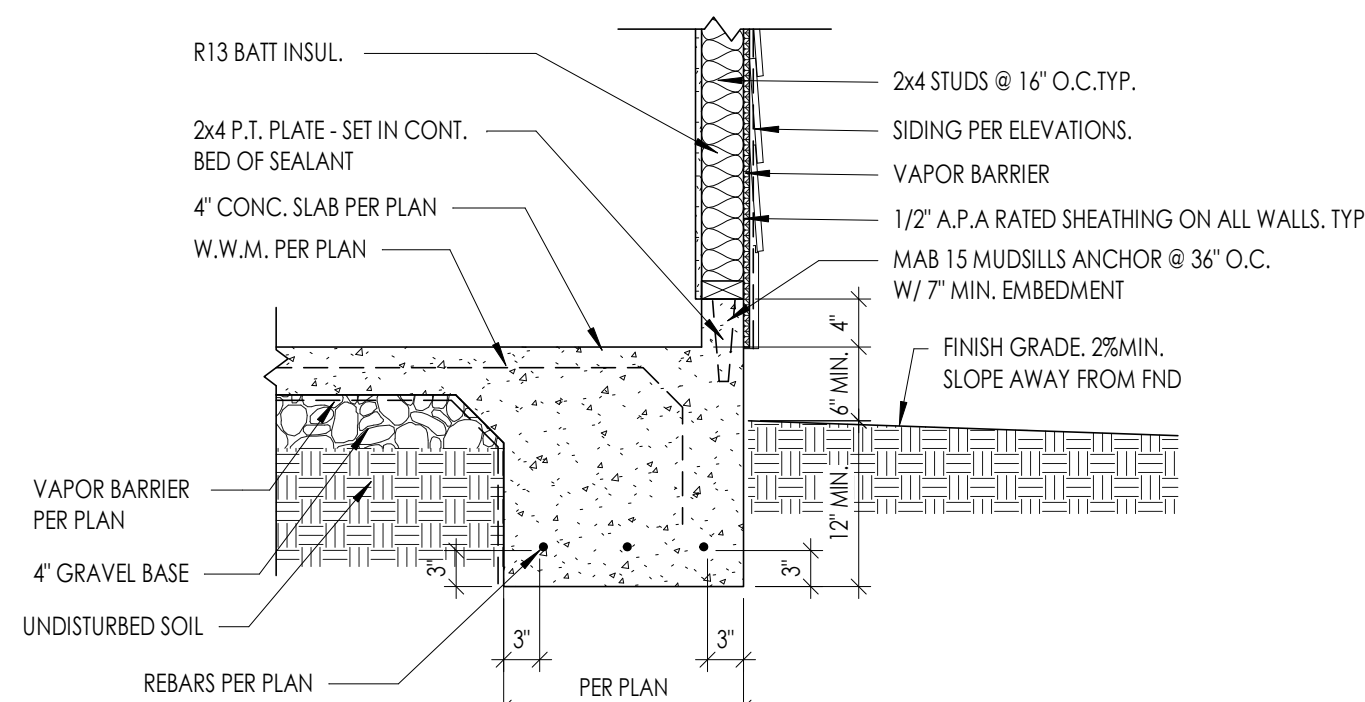


FIG TO BEAR ON UNDISTURBED SOIL. FREE OF ORGANIC MATERIAL OR OTHER DEBRIS. BOTTOM OF FOOTING SHALL BE A MIN. OF 12" BELOW FINAL GRADE.

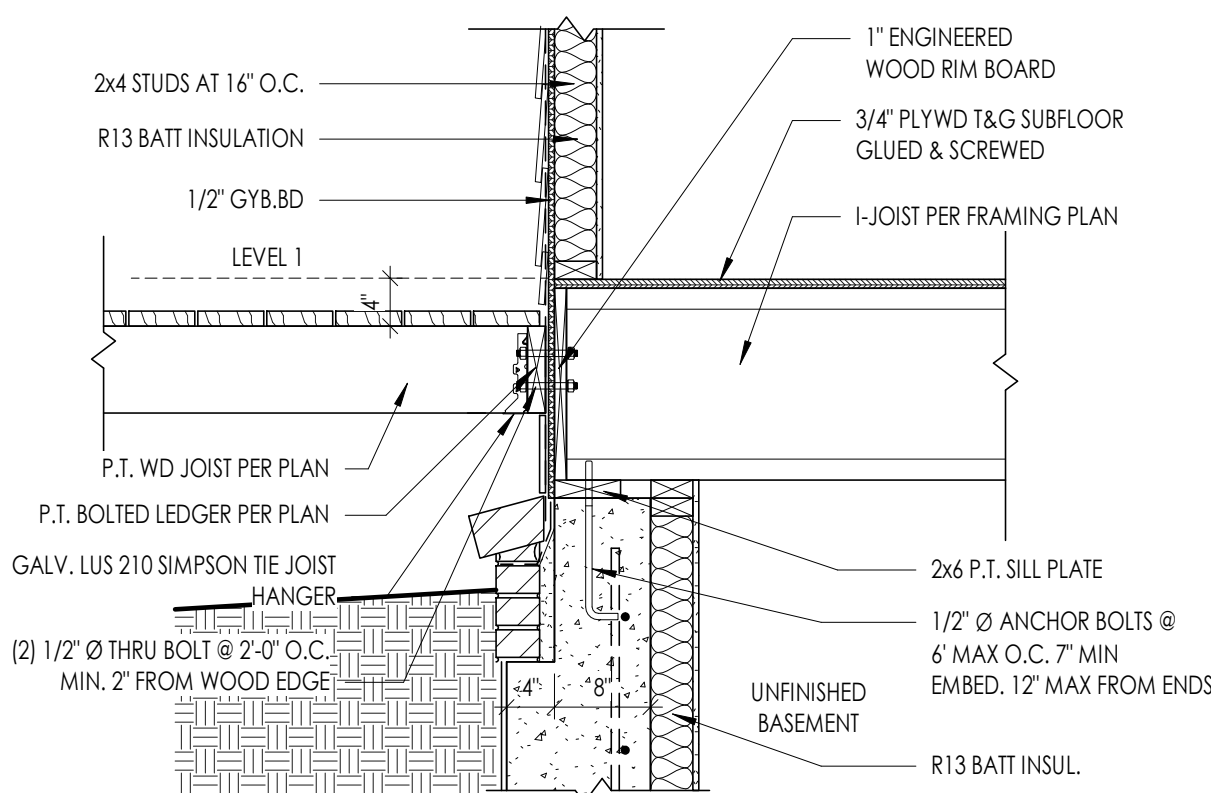
4 A104 FRONT PORCH SECTION
3/4" = 1'-0"



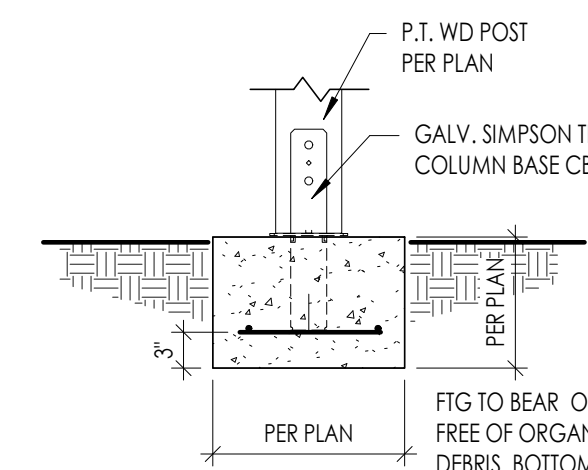
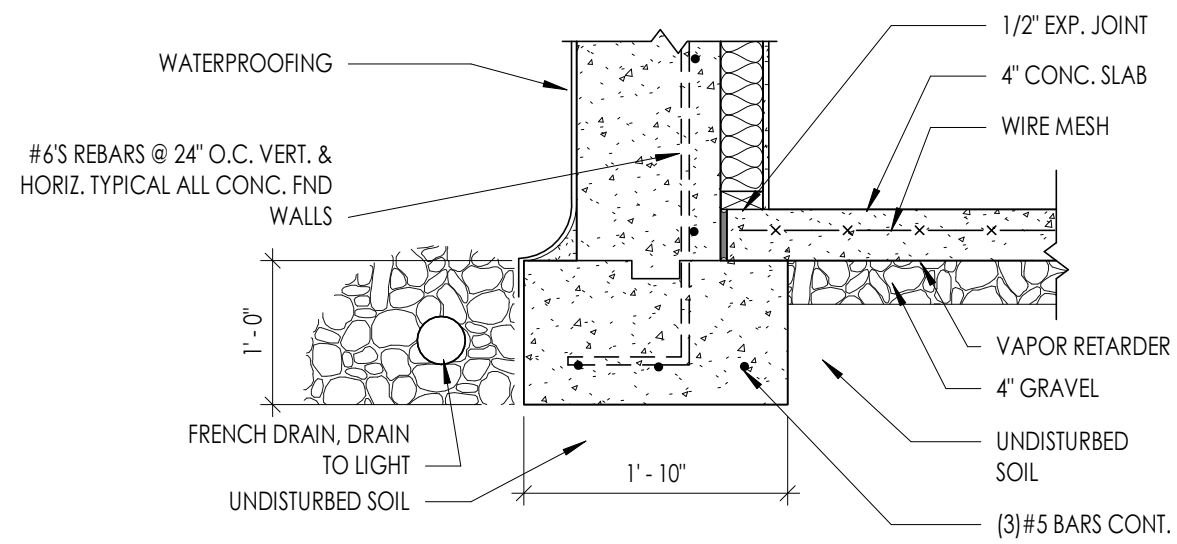
5 A104 SLAB GRADE BEAM
3/4" = 1'-0"



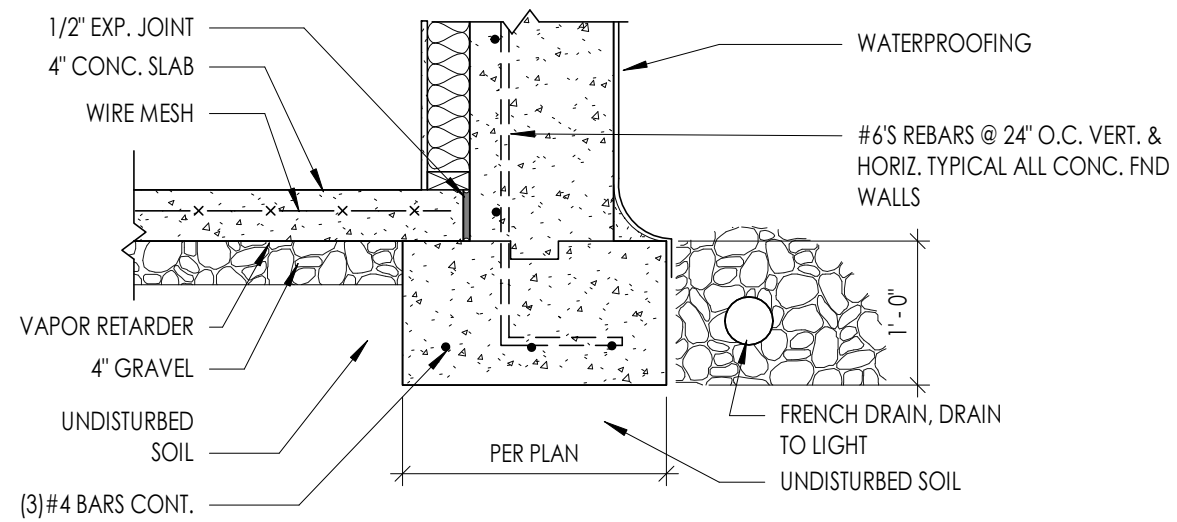
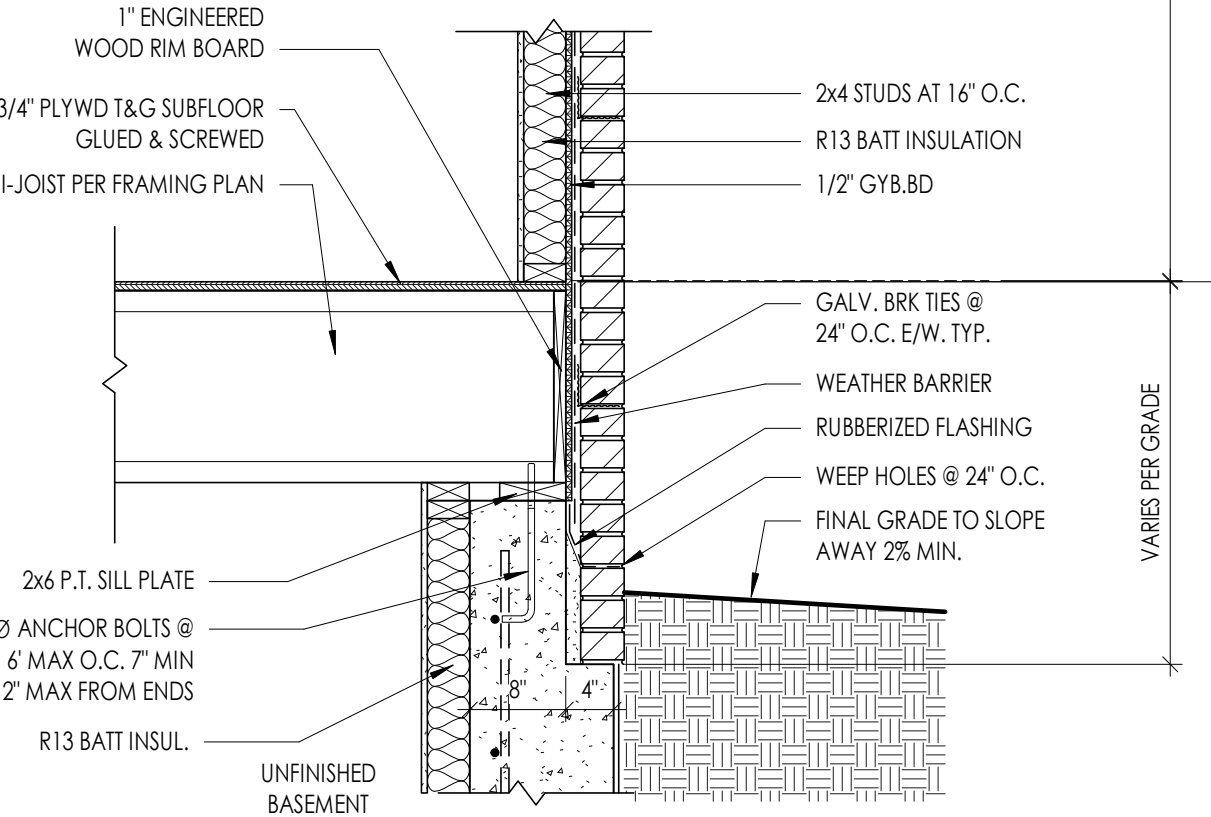
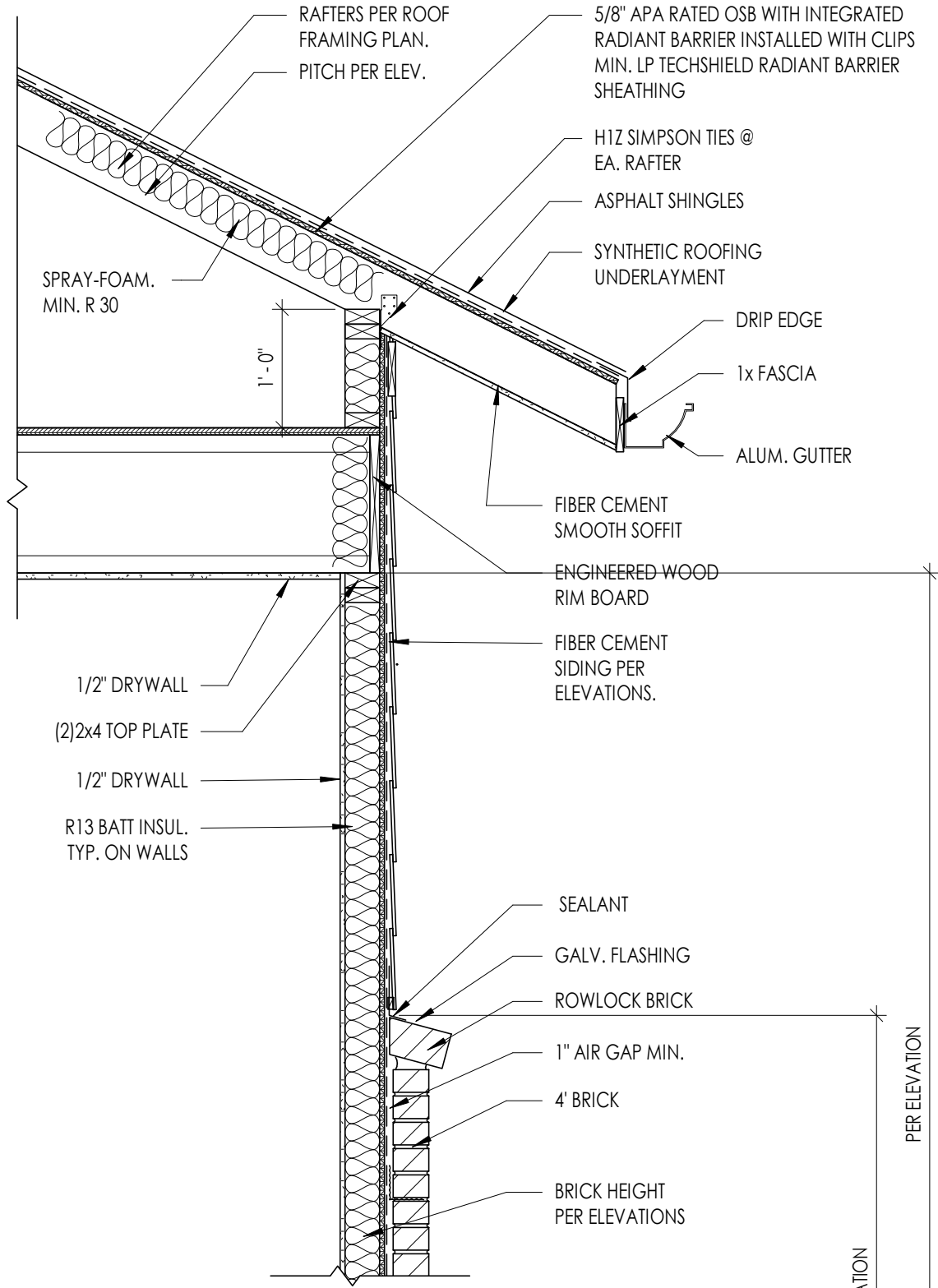
6 A104 GARAGE FND CURB
3/4" = 1'-0"



7 A104 TYPICAL WALL SECTION
3/4" = 1'-0"



8 A104 COLUMN FOOTING 6X6
3/4" = 1'-0"



Prepared by: **JOEL AVILES ARCHITECTS**
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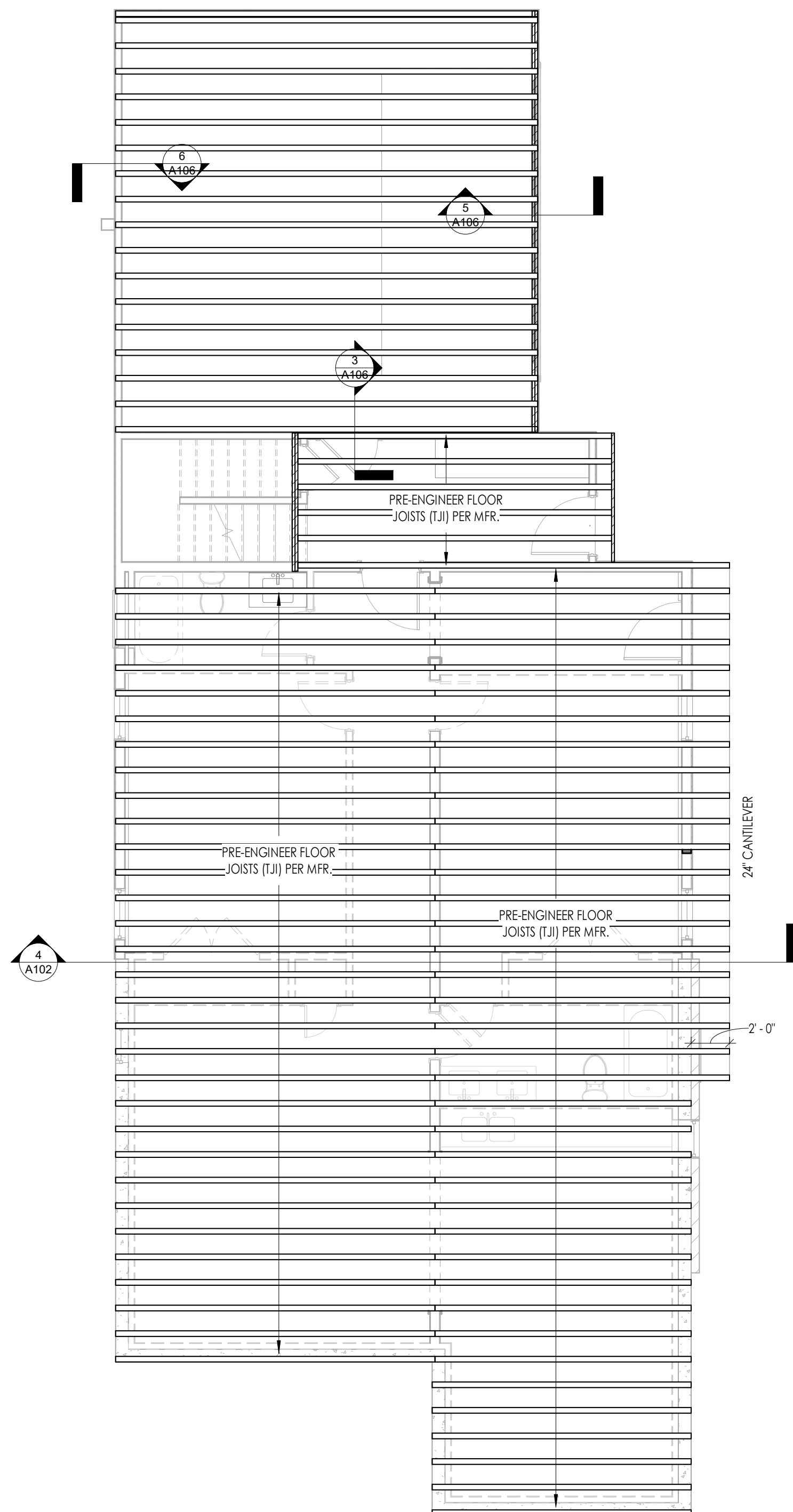
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BERNARD RESIDENCE

Project Address:
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HAPEVILLE, GA 30354

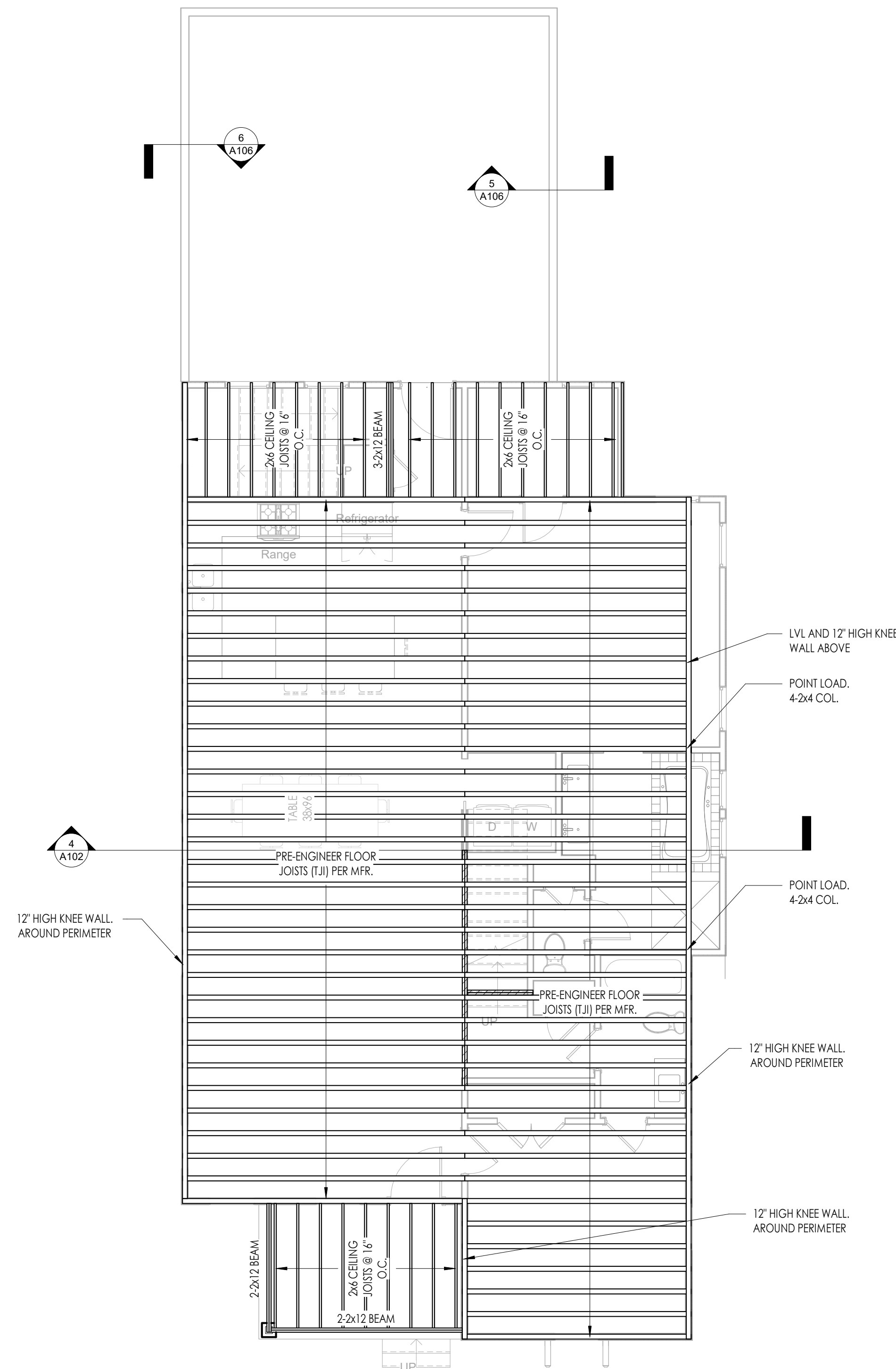
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FOUNDATION PLAN AND DETAILS

Drawing Status:
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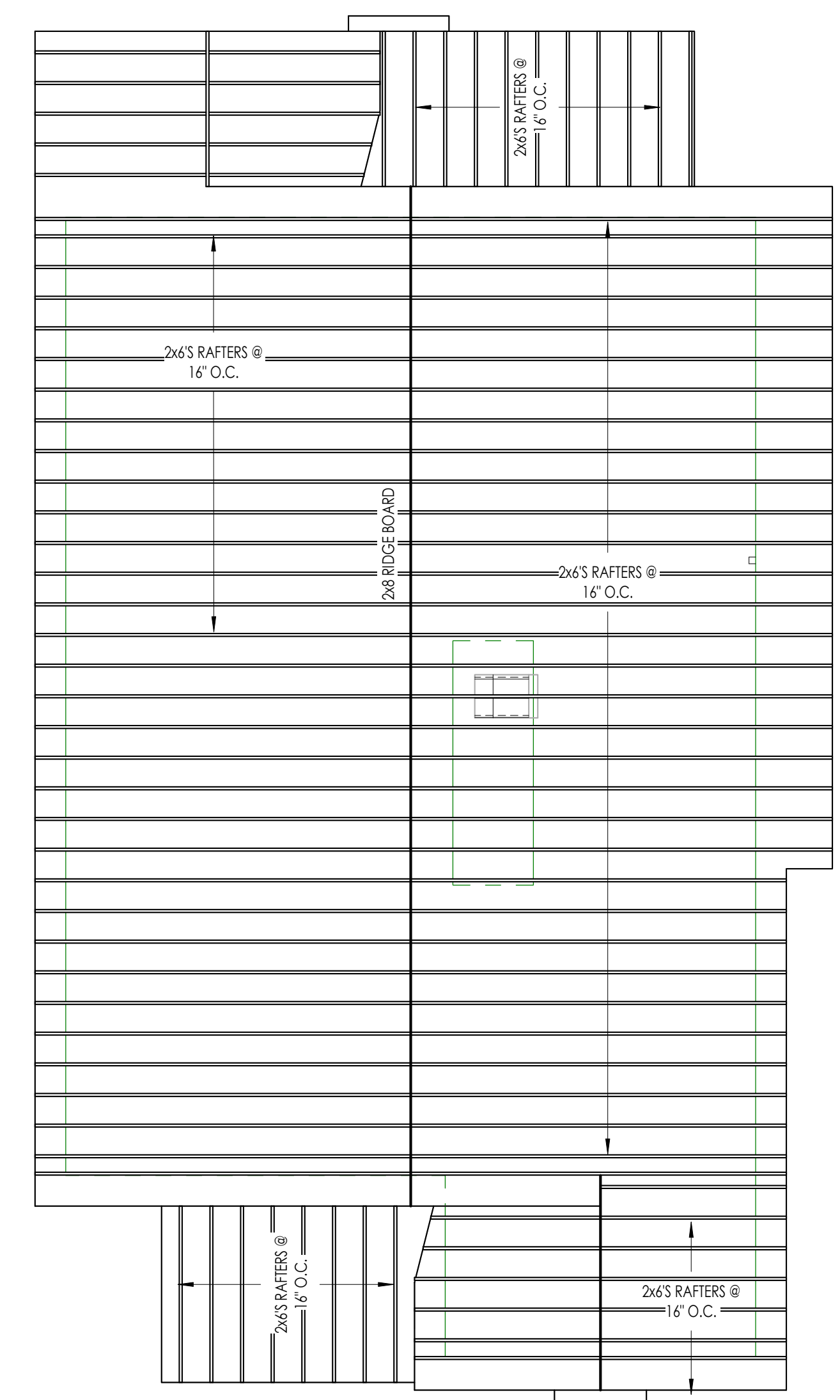
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Date: 08.19.2019 Project number: 19040
Drawing: **A104**



FIRST FLOOR FRAMING
2
A105 3/16" = 1'-0"



2ND FLOOR FRAMING PLAN
1
A105 3/16" = 1'-0"



ROOF FRMAING PLAN
3
A105 3/16" = 1'-0"

Prepared by:

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Drawing Title:
FIRST, SECOND AND ROOF FRAMING PLANS

Drawing Status:
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Date/Time Printed: 8/24/2019 3:17:17 PM
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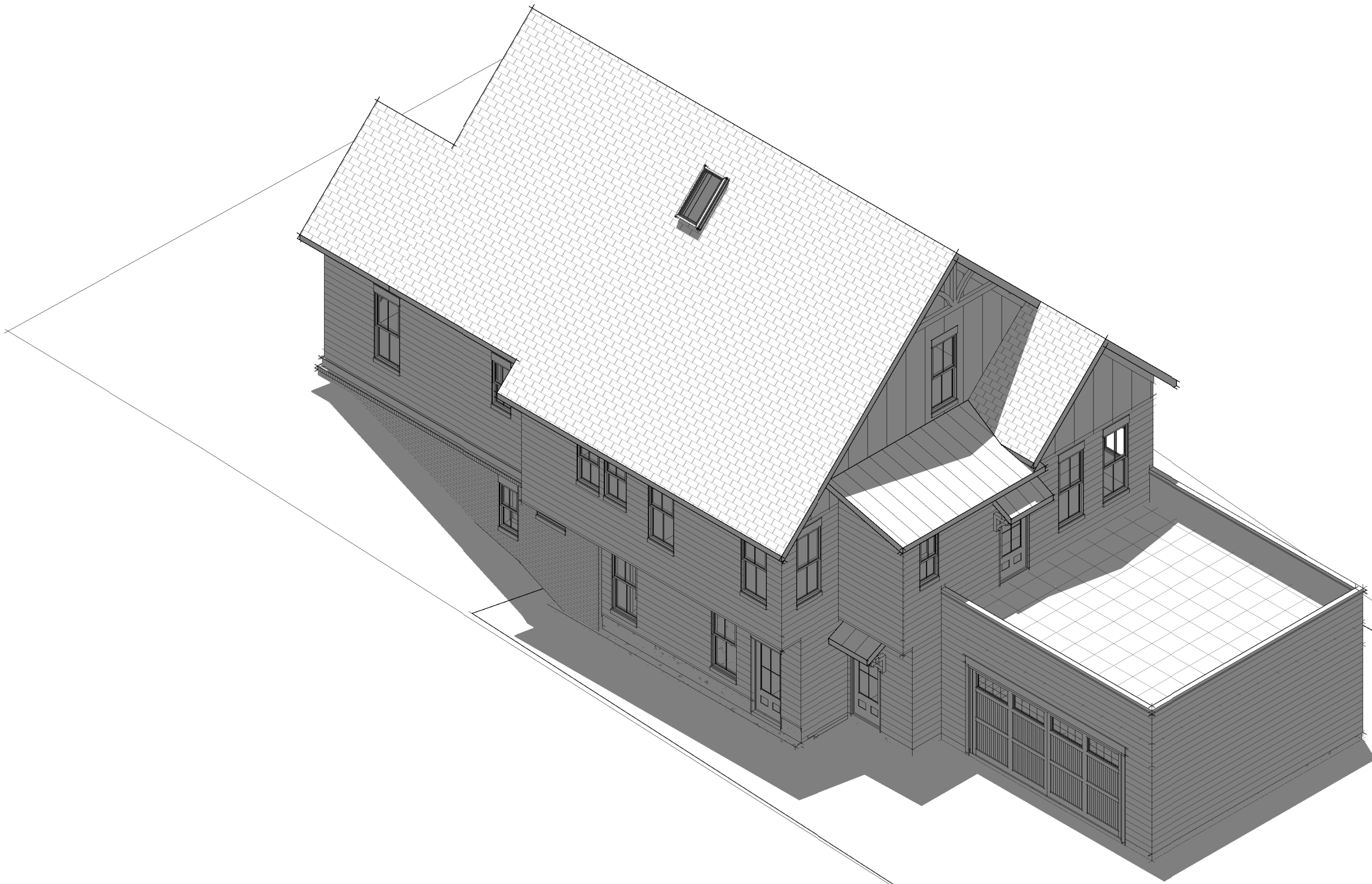
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A105



- Stairs with four or more risers shall have a handrail on one side.
- Handrails shall be graspable per FIGURE 37.
- Handrail and connecting hardware material shall be decay-resistant and/or corrosion resistant.
- Handrail shall be attached to the stair guard or an existing exterior wall which acts as a barrier to the stairs. See FIGURE 38.
- All shapes shall have a smooth surface with no sharp corners.
- Recessed sections may be shaped from a 2x6 or $\frac{3}{4}$ board.
- Handrails shall run continuously from a point directly over the lowest riser to a point directly over the highest riser and shall return to the guard at each end; see FIGURE 39.
- Handrails may be interrupted by guard posts only at a turn in the stair.

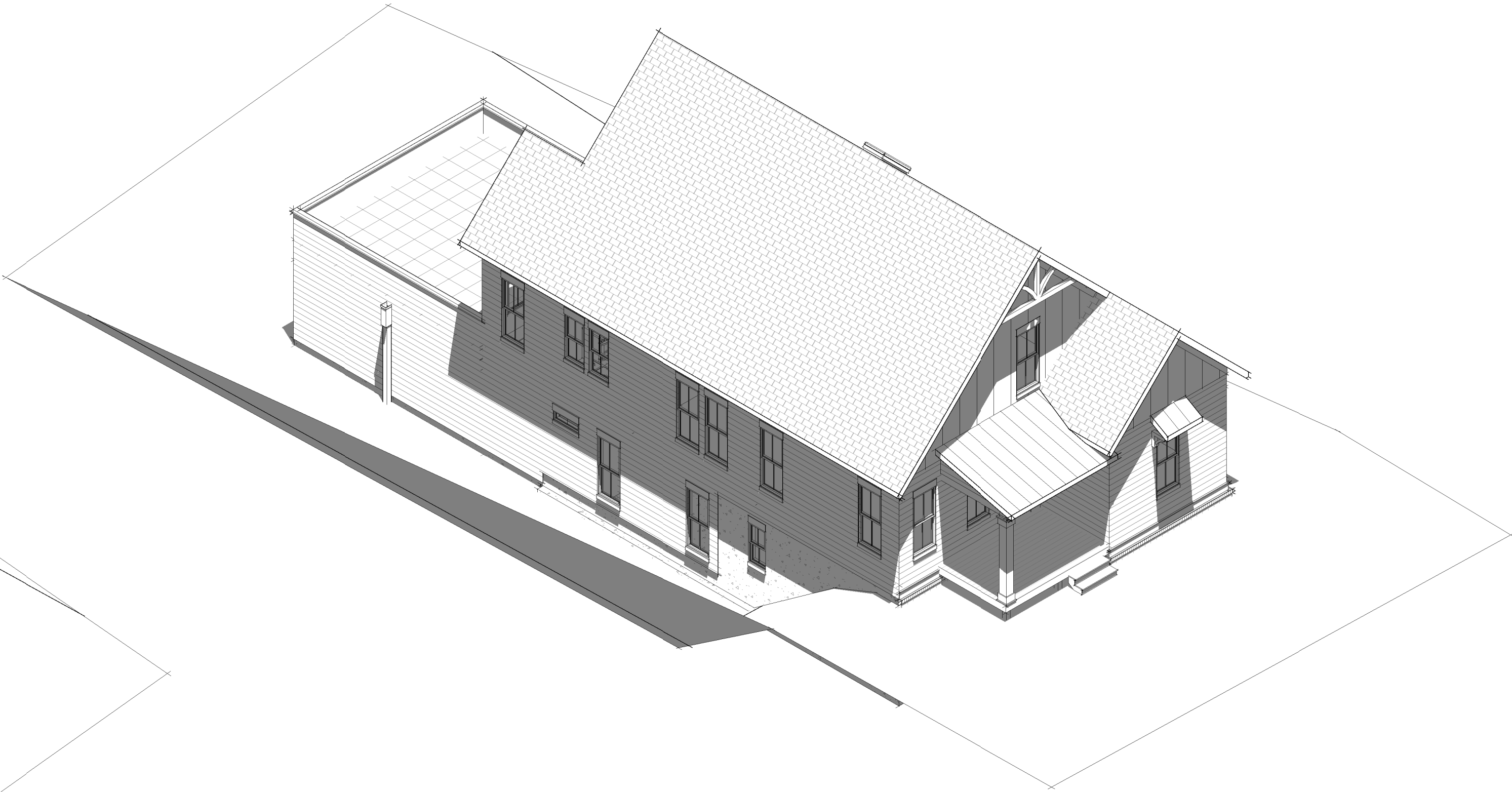


A106



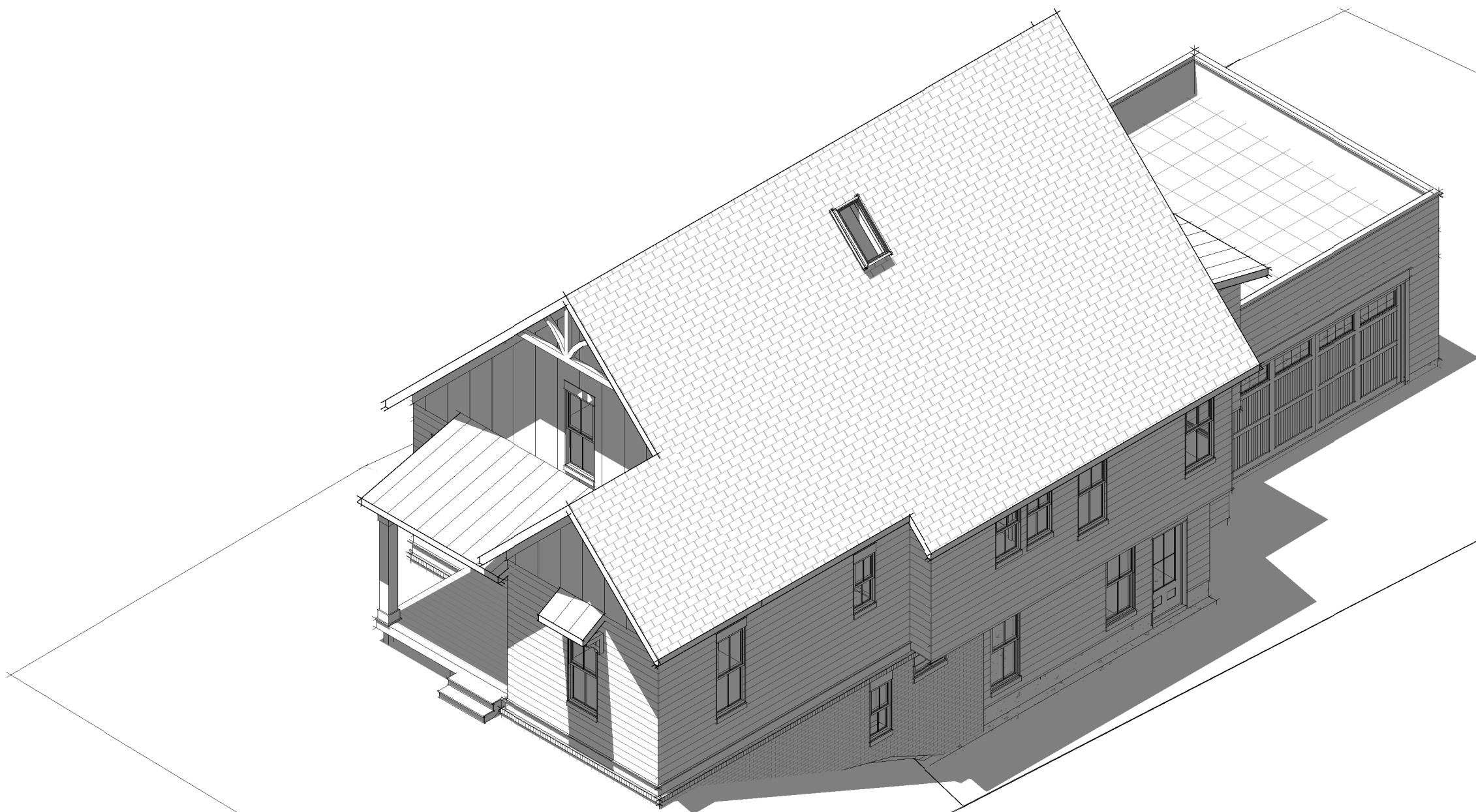
1 ISOMETRIC REAR RIGHT

1
A901



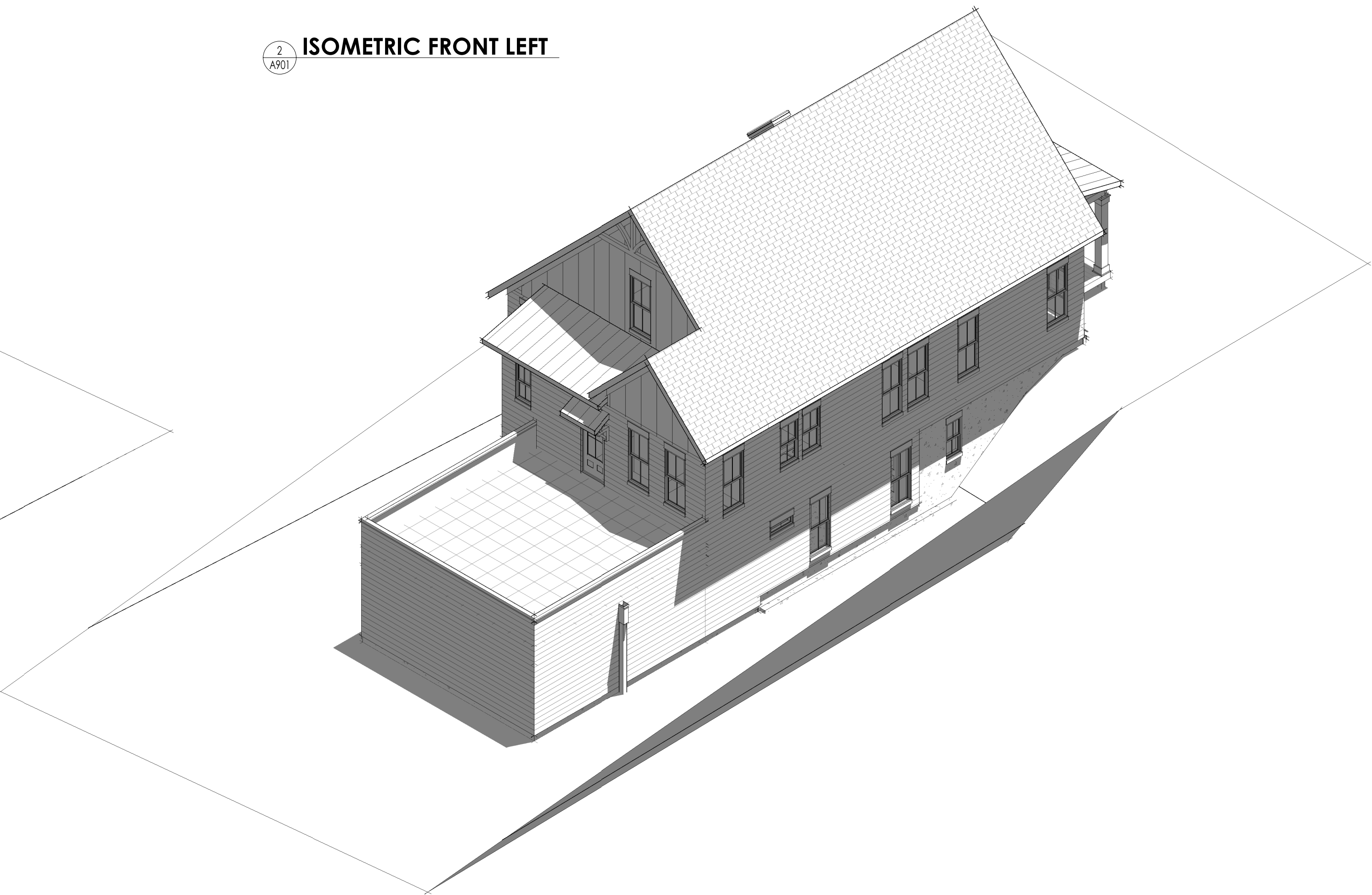
2 ISOMETRIC FRONT LEFT

2
A901



3 ISOMETRIC FRONT RIGHT

3
A901



4 ISOMETRIC REAR LEFT

4
A901

Prepared by:



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Date: 08.19.2019 Project number: 19040

Drawing:

A901



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: September 11, 2019
TO: Tonya Hutson
FROM: Michael Smith
RE: **Design Review – 591 King Arnold Street**

Key:

Compliant:	✓
Not Compliant:	✗
Incomplete:	✋
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received a design review application from Miller Lowry Developments, LLC, for the designs of 18 proposed townhomes at 591 King Arnold Street. All townhomes will be three stories tall overall but will vary in height from grade at the street or entrance from two and a half stories to three stories, or from 26'-1" to 34'-6 1/2". Twelve 3 bed/3.5 bath townhomes with approximately 1,830 SF of heated floor area each will be built directly along King Arnold Street in two blocks of six townhomes. An additional six 2 bed/2 bath townhomes with approximately 1,239 SF of heated floor area each will be built in the rear in two blocks of three townhomes. All units will have first floor two-car garages facing a shared alley. The site is developed and currently occupied by a one-story structure, which will be removed.

The property is zoned U-V, Urban Village, is located within the A-D, Arts District overlay, and is subject to the Commercial/Mixed-Use area of the Architectural Design Standards.

The Applicant intends to request the following five variances from the Board of Appeals:

1. Increase the number of permitted townhomes in the U-V district from 12 to 18.
2. Lower the minimum floor area per dwelling unit from 1,400 SF to 1,200 SF.
3. Allow for the development of residences without ground level non-residential uses.
4. Allow units 14-17 to be built without pedestrian access along the street.
5. Increase the maximum width allowed for curb breaks from 30' to 38.1'

CODE

SEC. 81-1-6. COMMERCIAL/MIXED-USE AREA

(a) Site development standards.

- ✋ Except where indicated, setbacks shall be established by zoning.
- ✓ On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.

- ⊖ On new buildings in subarea A, where the adjoining buildings were built before 1950, the main facade of the new structure shall align with the average existing building facade line of the two adjoining structures closest to the proposed setback. This will maintain the historic uniform setbacks of subarea A and place buildings close to the public right-of-way, thereby, encouraging pedestrian access.
- ✓ Except where a greater height is required by zoning, buildings shall provide a minimum height of 24 feet along the build-to line or front setback, including roof parapet walls. One-story buildings meeting this requirement are permitted.
- ✗ Except where a greater height is required by zoning, the first story finished floor to ceiling slab height shall be a minimum of 12 feet.
- ✓ Maximum building heights shall be established by zoning, except that buildings within 150 feet of a neighborhood conservation area and without an intervening street shall be limited to a maximum height of 35 feet, and shall meet the transitional height plane requirements.
- ✗ Space able to be occupied requirements shall be as follows:
 - ✗ One-family attached and detached dwellings and two-family dwellings shall provide first-story occupiable space for a minimum of the first ten feet of depth along the enfronting facade.
Reserved.
All other buildings, including parking decks, shall provide first-story occupiable space for a minimum of the first 20 feet of depth along the enfronting facade.
- ⊖ Individual front facades of one-family detached dwellings within 15 feet of the front lot line or build-to line shall have no more than two corners, excluding bay windows, porches or stoops.
- ⊖ Portions of enfronting facades containing first-story retail or restaurant uses shall be composed as a simple plane with jogs of less than ten feet.
- ⊖ Buildings along Atlanta Avenue, North Central Avenue, South Central Avenue, Virginia Avenue, Dogwood Drive (except in subarea C), or Sylvan Road shall enfront for a minimum of 80 percent of the width of the front setback or build-to line. In no case shall a break in buildings along said streets exceed 30 feet in width. Enfronting facades along said streets shall also meet the requirement of subsection (g)11. for all uses.
- ✗ Sidewalks shall be located along all public and private streets. Sidewalks shall be of the widths indicated on the "Commercial/Mixed-use Area Sidewalk Table" and shall consist of two areas: a landscape area and a clear area.
 - ✓ The landscape area shall be adjacent to the curb and is intended for the placement of trees, street furniture (including utility poles, waste receptacles, fire hydrants, traffic signs and newspaper vending boxes), bus shelters, bicycle racks, public kiosks and similar elements in a manner that does not obstruct pedestrian access or motorist visibility.
 - ✗ The landscape area may be primarily paved adjacent to on-street parking and shall be landscaped in all other areas. Street trees shall be planted a maximum of 40 feet on center, spaced equal distance between streetlights, and in line with stripes of parallel parking spaces. All newly planted trees shall be a minimum caliper of two and one-half inches measured 12 inches above ground, shall be limbed up to a minimum height of seven feet and shall have a minimum mature height of 40 feet. Variations to this may be reviewed as approved by the city planning commission.
 - ✓ The clear area shall be the portion of the sidewalk reserved for pedestrian passage and unobstructed by permanent objects to a height of eight feet, including, but not limited to, steps and stoops, traffic-control boxes, and utility structures. The sidewalk clear area shall have a consistent cross-slope not exceeding two percent. No awning or canopy shall extend more than five feet over the clear area.

- ⊙ Where property abuts a neighborhood conservation area without an intervening street, the sidewalk area within 20 feet of such shall taper when necessary to provide a smooth transition to the existing residential sidewalk. In the event that the abutting residential area has no existing sidewalk the sidewalk shall taper to a width of six feet, measured from the street curb, or as approved by the planning commission.

- NOTES:
- **While the buildings and supplemental area treatments appear compliant, setbacks have not been provided for all buildings. Properties in U-V have no minimum setback and a maximum setback of 15' from the clear area of the sidewalk.**
 - **First story floor to ceiling height must be 12'. Buildings 13-18 have a first story floor to ceiling height of 10'-6", which is not compliant. The first story floor to ceiling heights have not been provided for the other buildings.**
 - **Townhomes must have first story occupiable space for 10' of depth along the enfronting façade. Buildings 13-18 have entrances on the garage level that have no occupiable space, which is not compliant.**
 - **Street trees must be planted a maximum of 40' on center in the landscape area of the sidewalk. This is also required by U-V zoning.**
 - **Street trees are proposed along King Arnold but the spacing has not been provided. No street trees have been proposed along Estelle and North Fulton, which is not compliant. This is also required by U-V zoning.**

(c) Supplemental area and fence standards.

- ✓ Supplemental areas in the commercial/mixed-use area shall be limited to the treatments identified in Figure 3 and as otherwise identified in this section.
- ⊙ All first story enfronting commercial uses and all enfronting buildings on Atlanta Avenue, North Central Avenue, South Central Avenue, Virginia Avenue, Dogwood Drive (except in subarea C), or Sylvan Road shall provide the "storefront and awning treatment" identified in Figure 3, and subject to the following additional requirements:
 - The supplemental area shall be hardscaped.
 - Temporary or movable fences surrounding outdoor dining are permitted in the supplemental area.
- ✎ Fences, walls or hedges having the same setback as the adjacent building, with provisions for pedestrian access, are encouraged where a parking lot or other un-built area fronts a required sidewalk.
- ⊙ All enfronting buildings not along Atlanta Avenue, North Central Avenue, South Central Avenue, Virginia Avenue, Dogwood Drive (except in subarea C), or Sylvan Road shall provide any of the treatments identified in Figure 3.
- ✓ "Common yard, porch and fence, terrace or light court," or "forecourt" treatments identified in Figure 3, the supplemental area shall be landscaped and shall include a minimum of one tree every 50 feet of frontage. See list of allowed trees on in section 93-2-14.
- ✓ For "porch and fence, terrace or light court, stoop-front," or "forecourt" treatments identified in Figure 3:
 - Fences in the supplemental area are permitted and shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.
 - Retaining walls in the supplemental area are permitted and shall not exceed 32 inches in height unless required by topography.
 - All street-facing walls shall be faced with stone, full-depth brick, or smooth stucco.
- ✓ Chain link fencing is not permitted in areas visible from a public right-of-way.

- ⊖ Where a development adjoins the neighborhood conservation area, the development shall provide a physical barrier between the two to minimize disruptive light, noise, odor, dust, unsightly appearances and intrusive activity relative to the residential area. A smooth transition to the adjacent neighborhood conservation area shall be ensured by providing:

A minimum 20-foot landscaped buffer located within the development site along the boundary with the neighborhood conservation area. Said buffer shall be planted with a minimum of one tree per 40 linear feet. Shrubs, flowers or grasses shall also be provided and maintained to a minimum height of four feet to visually screen new development and provide an attractive boundary that encourages continued investment in adjacent residential zones.

A permanent opaque wall between six and eight feet in height and faced in wood, stacked stone, full-depth brick or hard-coat true stucco. Said wall may be located anywhere within the required landscaped buffer.

Where a public or private alley separates the development from a neighborhood conservation area the landscape buffer and permanent opaque wall shall be provided adjacent to the alley.

NOTES: • **Fences, walls, or hedges are required along the sidewalks adjacent to the alley by U-V zoning.**

(d) Utility standards.

- ✋ Mechanical features shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable nonvegetative materials for screening shall include painted wood or those found in section 93-2-5. Said features are encouraged not to be located in the supplemental area.
- ✋ When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- ⊖ Skylights are not permitted facing a public right-of-way.
- ✗ Street lights shall be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development. This requirement does not apply to projects on lots with less than ten feet of frontage along a public right-of-way.
- ⊖ Trees shall not be planted on top of storm drains.
- ⊖ Service areas and dumpsters:
 - Shall be in the rear or side yard of the development; and
 - Shall be screened from the public right-of-way to a height of eight feet with an opaque material on all sides, consistent with a primary building material. Acceptable materials for screening shall include painted wood or those found in section 93-2-5.

NOTES:

- **Mechanical utility features should be shown on the plans. They must be screened from view and may be located on rooftops.**
- **The project must include streetlights.**

(e) Parking and traffic standards.

- ⊖ Two curb cuts serving two one-way driveways shall be counted as one curb cut.
- ⊖ Public or private alleys or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.
- ⊖ New public streets shall not count as curb cuts.

- ✓ Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
- ⊗ Circular drives are prohibited, with the exception of hotel and hospital uses.
- ⊗ No curb cuts shall be permitted on North Central Avenue, South Central Avenue, Virginia Avenue or Atlanta Avenue when access can be provided from another street.
- ✗ Driveways shall have widths of:
 - ✗ *One-family attached dwellings.* A minimum of ten feet for a one-way and a maximum of 15 feet for two-way.
 - All other uses.* A maximum of 12 feet for one-way and a maximum of 24 feet for two-way.
- ⊗ Carports are only permitted subject to the following requirements:
 - Carports shall be located in the rear or side yard and shall not be visible from a public right-of-way.
 - Carport roofs shall be supported by columns with a minimum width and depth of eight inches.
 - The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.
- ⊗ Parking is prohibited in the supplemental area and between a building and the adjacent street. This shall not be interpreted as restricting on-street parking.
- ✗ A continuous off right-of-way landscape buffer with a minimum width of ten feet shall be provided between parking and the adjacent sidewalk. This requirement shall apply when existing sidewalks not meeting this requirement are repaired or replaced.
- ⊗ Parking decks shall conceal automobiles from visibility and have the appearance of a horizontal storied building on all levels; parking structures must be faced in full-depth brick, stone, cast stone, or precast concrete faced in or having the appearance of brick or stone. Retail or restaurant fronted decks are encouraged.
- ⊗ Underground parking is allowed when possible.
- ⊗ Drive-through windows and all vehicular queuing, when permitted by zoning, shall be placed to the rear or side of the building facade, shall not be visible from any public right-of-way, and shall not be located within 25 feet of the back of the required sidewalk.
- ⊗ Gasoline and service stations shall place all fuel dispensing, service canopies and service entry doors to the rear of the building and away from the public right-of-way. Said facilities and associated queuing shall not be visible from any adjacent street or located within 25 feet of the sidewalk.

- NOTES:**
- **Two-way driveways for townhomes may have a maximum width of 15'. At the request of the fire marshal, the proposed alley is 24' wide, which is not compliant and will require a design exception.**
 - **The driveway for building 1 appears to be separated from the adjacent sidewalk by less than 10' of landscaped area, which is not compliant.**

(f) Roof and chimney standards.

- ⊗ Principal building roofs for one-family detached dwellings shall have a minimum usable life of 30 years, per manufacturer's warranty.
- ⊗ Roof shingles shall be slate, cedar, or asphalt.
- ⊗ Roof tiles shall be clay, terra cotta or concrete.
- ✓ Street-facing gutters shall be copper, aluminum or galvanized steel.
- ✓ Downspouts shall match gutters in material and finish.

- ⊗ Metal flashing, where utilized, shall be copper or factory-finished sheet metal and shall be of a color that blends with other building materials.
- ⊗ Chimneys visible from a public right-of-way shall not be faced in wood or fiber cement siding and shall not be a metal or ceramic pipe. Chimneys shall be wrapped in a full-depth brick, stone or masonry finish material.
- ⊗ Chimneys located on an exterior building wall shall begin at grade.
- ✓ Flat roofs shall be permitted.
- ⊗ Buildings with sloped roofs not completely screened from the adjacent street by a parapet shall have a pitch between 4:12 and 12:12. Mansard roofs are prohibited. Pitched-roof materials are limited to roof shingles, natural slate, wood shake, factory-finished sheet metal, and terra cotta tile, unless determined to be historically appropriate by the planning and zoning manager.
- ⊗ Roof-mounted lights and flagpoles are prohibited. Roof-mounted satellite dishes or telecommunication devices shall be screened from public view and shall blend with the background of the building as practical.
- ⊗ In subarea A roof lines shall appear flat from the adjacent street and roof structures shall be vertically screened by a parapet wall.

NOTES:

(g) Facade and style standards.

- ✓ Exterior facade materials shall be limited as follows:
 - Subarea A.* Unpainted full-depth brick.
 - Subarea B.* Full-depth brick, cast stone, hard-coat stucco, fiber-cement siding, natural-wood siding or stacked stone.
 - Subarea C.* See neighborhood conservation area.
- ✓ *Remaining commercial/mixed-use area.* Full-depth brick, cast stone, hard-coat stucco, fiber-cement siding, natural-wood siding or stacked stone.
 - Split-face block.* In addition to the above materials, split-face block may be utilized on exterior facades, but only along a non-enfronting side or rear facade that is not visible from an adjacent street, public park, or plaza.
- ✓ *[Materials on enfronting facades.]* The materials utilized along an enfronting facade shall be provided for the first 20 feet in length along adjacent non-enfronting facades.
- ✓ *[Façade colors, materials.]* Facade colors and materials shall be limited to three per facade face.
- ✗ Where allowed, the combined enfronting facade area covered with fiber-cement siding and/or natural-wood siding shall not exceed 20 percent of the total enfronting facade area, provided that:
 - Where a development includes only one building this requirement shall apply to said building.
 - Where a development includes two or more buildings this requirement shall apply to the sum of the total enfronting facade areas. This may result in individual buildings containing front facades entirely of fiber cement siding and/or natural wood siding.
- ✓ Where allowed, hard-coat stucco shall have a smooth finish. Furthermore, architectural details such as sills, trim, pediments, cornices, railings, door enframements, or similar details shall not be of stucco.

- ⊙ In subarea A exterior building colors shall be consistent with the existing historic characteristics of each individual building as a contributing resource from its significant period of design and style. If the building was designed to be of natural or unique brick pattern, it should be returned to this style. All mortar and brick repairs should match the material and hue. Earth hues are suggested for paint, when used on most facades of brick construction, however there may be exceptions. A palette should be established on a building-by-building basis, with a suggested complimentary hue trim color to the base color. It is highly suggested the complete building color palette be limited to three colors for field and trim selections. Two adjacent buildings may use the same color palette only if the field and trim colors are reversed on each of the buildings. No sandblasting or abrasive cleaning methods (including high-pressure washes) shall be used on facades. Final review of selected color, restoration procedures, fixtures, and applications shall be coordinated on a building-by-building analysis through individual design review of visual concepts. The DRC shall make these determinations based on these standards, taking in consideration the style of the building, the nature and marketing of the applying business, the Main Street guidelines, the secretary of the interior's guidelines for renovation, section 93-2-7 et seq. of the zoning ordinance, and the standards for historic preservation.
- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ✓ Enfronting upper and lowers facades shall be differentiated. Potential ways to achieve this include windows, belt courses, cornice lines or similar architectural details. This is intended to prevent buildings in which individual floors cannot be identified from the building exterior; it should not be interpreted to limit architectural expression.
- ✓ Blank, windowless walls are prohibited along enfronting facades, except where a building enfronts multiple streets. In the latter case, it was not historically uncommon for buildings (especially commercial or mixed-use ones) to orient towards the more intensely developed street. As such, along the first story of enfronting mixed-use and commercial facades this requirement may be waived by the building official along streets that are predominantly residential in character when:
 - The first 20 feet of said facade meets the above requirements, and
 - The area beyond the first 20 feet is treated with architectural detailing, such as pilasters, false windows, or similar features.
- ✗ Enfronting upper-story windows are encouraged to be equally sized, vertically oriented, equally spaced and arranged in a grid pattern.
- ⊙ Foundations shall be constructed as a distinct building element that contrast with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in full-depth brick, natural stone, or cast stone.
- ⊙ Vending machines, video or other outdoor merchandise displays, mechanical/electrical games, amusement rides, telephones, ice machines, freestanding automated teller machines excluding automated teller machines attached to buildings or integrated into buildings by canopies, and shopping carts shall be placed within the structure of a building and shall be out of view from the public right-of-way.
- ⊙ Safety pylons, bollards, and trash receptacles in the supplemental area or along an enfronting facade shall be permitted based upon design compatibility with the main facade and neighboring comparable facilities.

NOTES:

- **Fiber-cement siding may not exceed 20% of the total enfronting façade area. While the areas of building façade materials have not been provided, it appears fiber-cement siding constitutes more than 20% of the total façade area for all structures, which is not compliant and will require a design exception.**
- **The enfronting windows proposed for buildings 13-18 are not all equally sized, equally spaced, or arranged in a grid as is encouraged.**

(h) Door and window standards.

- ✗ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ✗ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ⊙ First-story doors or windows operating on sliders are only permitted when they open directly onto a required sidewalk or supplemental zone.
- ✎ Building numbers, at least six inches in height, shall be located above or beside the street-facing pedestrian entrance.
- ⊙ Window panes serving commercial uses shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade.
- ✎ Where window lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids between glass are prohibited.
- ⊙ Where used, window shutters shall match one-half the width of the window opening.
- ✗ Enfronting windows shall be vertically shaped with a height greater than width, including display windows but not transoms.
- ⊙ Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- ⊙ Painted window or door glass is prohibited.
- ⊙ All enfronting "storefront and awning" treatments identified in Figure 3, and all enfronting facades along Atlanta Avenue, North Central Avenue, South Central Avenue, Virginia Avenue, Dogwood Drive (except within subarea C), and Sylvan Road shall provide a storefront consisting of:

A nonglass base or knee wall beginning at grade and extending not more than 24 inches above the sidewalk.

A glass display window beginning at the top of the bulkhead or knee wall, to a height not less than ten feet and not more than 12 feet above the adjacent required sidewalk. Such glass shall provide views into display windows having a minimum depth of two and one-half feet and that are accessible from the building interior.

A main entry door remaining unlocked during normal business hours, and having a surface area that is a minimum of 70 percent glass.

A glass transom located above the glass display window having a minimum height of 18 inches and a maximum height of 36 inches.

A minimum of 75 percent of the length of the enfronted portion of the build-to line shall be provided in glass, including glass doors and display windows.

No linear distance of more than ten feet without intervening glass display windows or glass doors.

First-story drop ceilings recessed a minimum of 18 inches from the display window opening.

- ⊙ Awnings projecting from buildings, serving as an entry canopy and/or providing identification to the business, are allowed, provided that:

Awnings shall be at least five feet deep as measured from the building's front facade.

Awnings serving as an entry canopy shall match adjacent business awnings in depth and height.

Valance width and height must align horizontally.

Frame construction on awnings should be square aluminum tubes. Thin, one-and-one-half-inch-diameter round aluminum tube frames are not permitted. It is suggested that Steel Stitch™ brand be used.

Valance on awnings should always be loose as valances should not be rigidly framed.

Approved awnings may be externally lighted with light fixtures in keeping with the style of the building, as approved by the DRC.

Light fixtures in awnings may light the ground surface or storefront below, however, light fixtures may not be visible from the public right-of-way.

Internally, back lit awnings, where the lights actually illuminate the awning fabric, are prohibited.

Signs on awning must meet all requirements of the sign ordinance.

- NOTES:
- **Building numbers are shown on renderings but not on elevations.**
 - **The entrances for buildings 14-17 do not face, are not visible from, are not accessible from, and are not connected by a walkway to the adjacent public sidewalk, which is not compliant with the architectural design standards or with A-D overlay zoning. The applicant is seeking a Variance from the Board of Appeals for the latter.**
 - **Not all enfronting windows for buildings 13 and 18 are vertically shaped with a height greater than width, which is not compliant.**
 - **The applicant should ensure no GBGs will be utilized.**

RECOMMENDATIONS

Upon review of the information provided by the Applicant, the following items have been found to be missing or deficient and should be addressed by the Applicant and the Design Review Committee:

1. While the buildings and supplemental area treatments appear compliant, setbacks have not been provided for all buildings. Properties in U-V have no minimum setback and a maximum setback of 15' from the clear area of the sidewalk. **Setbacks must be compliant and shown on the drawings.**
2. First story floor to ceiling height must be 12'. Buildings 13-18 have a first story floor to ceiling height of 10'-6", which is not compliant. The first story floor to ceiling heights have not been provided for the other buildings. **All first story floor to ceiling heights must be at least 12' and be provided on plans.**
3. Townhomes must have first story occupiable space for 10' of depth along the enfronting façade. **Buildings 13-18 have entrances on the garage level that have no occupiable space, which is not compliant.**
4. Street trees must be planted a maximum of 40' on center in the landscape area of the sidewalk. Street trees are proposed along King Arnold but the spacing has not been provided. No street trees have been proposed along Estelle and North Fulton, which is not compliant. **The applicant must plant the required street trees and show required spacing on plans.** This is also required by U-V zoning.
5. Fences, walls, or hedges are encouraged by the architectural design standards and are required by U-V zoning along the sidewalks adjacent to the alley. **The applicant must add required fences, walls, or hedges to the plans.**
6. **Mechanical utility features should be shown on the plans.** They must be screened from view and may be located on rooftops.
7. **The project must include streetlights.**
8. Two-way driveways for townhomes may have a maximum width of 15'. At the request of the fire marshal, **the proposed alley is 24' wide, which is not compliant and will require a design exception.**
9. **The driveway for building 1 appears to be separated from the adjacent sidewalk by less than 10' of landscaped area, which is not compliant and will require a design exception.**
10. Fiber-cement siding may not exceed 20% of the total enfronting façade area. While the areas of building façade materials have not been provided, it appears fiber-cement siding constitutes more than 20% of

the total façade area of all buildings. **The applicant will need to reduce the use of fiber-cement siding to below 20% of the total enfronting façade area or receive a design exception.**

11. The enfronting windows proposed for buildings 13-18 are not all equally sized, equally spaced, or arranged in a grid as is encouraged.
12. Building numbers are shown on renderings but not on elevations. **The plans should be revised to show building numbers on the elevations.**
13. The entrances for buildings 14-17 do not face, are not visible from, are not accessible from, and are not connected by a walkway to the adjacent public sidewalk, which is not compliant with the architectural design standards or with A-D overlay zoning. The applicant is seeking a Variance from the Board of Appeals for the latter. Regardless of the outcome, **the applicant will need to revise the plans to have all buildings front on public streets or receive a design exception.**
14. **Not all enfronting windows for buildings 13 and 18 are vertically shaped with a height greater than width, which is not compliant.**
15. **The applicant should ensure no GBGs will be utilized.**

Once these items are addressed to the satisfaction of staff and the Design Review Committee, the application can be approved contingent on the Applicant obtaining the required Variances from the Board of Appeals.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: 08/20/2019

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Miller Lowry Developments Contact Number: [REDACTED]

Applicants Address: [REDACTED]

E-Mail Address: [REDACTED] Zoning Classification: UV

Address of Proposed Work: 591 King Arnold Street, City of Hapeville, GA 30354

Parcel ID# (INFORMATION MUST BE PROVIDED): 14 009500040383

Property Owner: Joe L. Daniely Contact Number: n/a

Project Description (including occupancy type):

New development consisting of 18 Townhomes

requesting 1 variance (increase the guest parking from 0 to 2 spaces)

Contractors Name: TBD Contact Number: n/a

Contact Person: Miller Lowry Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

Applicants Signature

Date

8/21/19

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building
☐ Addition to Existing Residential Structure ☐ Accessory Structure
☒ Site Plan, Grading & Landscaping ☒ New Single Family Residential Construction
☐ Other

Total Square Footage of proposed New Construction: ~30,000 SF

Total Square Footage of existing building: ~2,000SF

Estimated Cost of Construction: ~2.7 million

List/Describe Building Materials on the exterior of the **existing** structure: _____

Masonry and wood

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

Combination of masonry and hardi

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

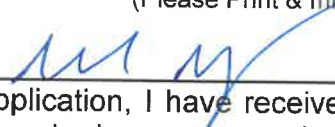
A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I  swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- ml Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST
- ml Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- ml Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- ml Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- ml Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- ml Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- ml Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

MILLER LOWRY

Printed Name

ml
Signature

8/21/19
Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

SITE NOTES:

THE SITE CONTAINS: 0.993 ACRES / 43241 SF
TOTAL DISTURBED AREA: 0.90 ACRES

SITE ADDRESS: PROPERTY ENJOINED BY ESTELLE STREET, KING ARNOLD STREET AND NORTH FULTON AVENUE, FULTON COUNTY, GA 30354

ZONING: U-V URBAN VILLAGE DISTRICT

BOUNDARY SURVEY INFORMATION TAKEN FROM SURVEY PERFORMED BY DELTA 1 LAND SURVEYING, LLC, DATED 5 OF MARCH, 2019.

A PORTION OF THIS SITE IS LOCATED WITHIN A FLOOD ZONE [A, AE, SHADED ZONE X] AS DEFINED BY FIRM PANEL NUMBER 13121C0366 F DATED SEPTEMBER 18, 2013, FOR FULTON COUNTY AND INCORPORATED AREAS.

THERE ARE NO WATERS OF THE STATE OF GEORGIA OR WETLANDS WITHIN 200 FEET OF THE SITE. ALL APPROPRIATE STATE WATER BUFFERS ARE SHOWN ON THE SITE PLANS. THERE ARE NO PROPOSED IMPACTS TO ANY STATE WATER BUFFERS.

TO THE BEST OF OUR KNOWLEDGE, NO CEMETERIES, ARCHITECTURAL, OR ARCHEOLOGICAL LANDMARKS EXIST ON SITE. IN THE EVENT THAT THESE LANDMARKS ARE DISCOVERED DURING CONSTRUCTION, THE ENGINEER MUST BE CONTACTED IMMEDIATELY FOR REVIEW AND AMENDING THE CONSTRUCTION PLANS

BUILDING FOUNDATION & LAYOUT SHALL BE COORDINATED USING ARCHITECTURAL DRAWINGS. ARCHITECTURAL DRAWINGS TAKE PRECEDENCE OVER CIVIL DRAWINGS CONCERNING FOUNDATIONS AND ALIGNMENT WITH EXISTING STRUCTURES OR SURVEY.

THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THAT HE MAY DISCOVER IN THESE PLANS.

CONTRACTOR TO PROVIDE ALL NECESSARY BARRICADES, GUARDS, LIGHTS, AND OTHER INSTALLATIONS REQUIRED TO PROTECT PERSONS AND PROPERTY DURING THE ENTIRE CONSTRUCTION PROCESS.

SITE DATA:

TOTAL NUMBER OF PROPOSED UNITS:

TOWNHOME UNITS: 18

ZONING:U-V: URBAN VILLAGE

VARIANCES REQUESTED:

1. GUEST PARKING FROM 0 SPACES TO 2 SPACES

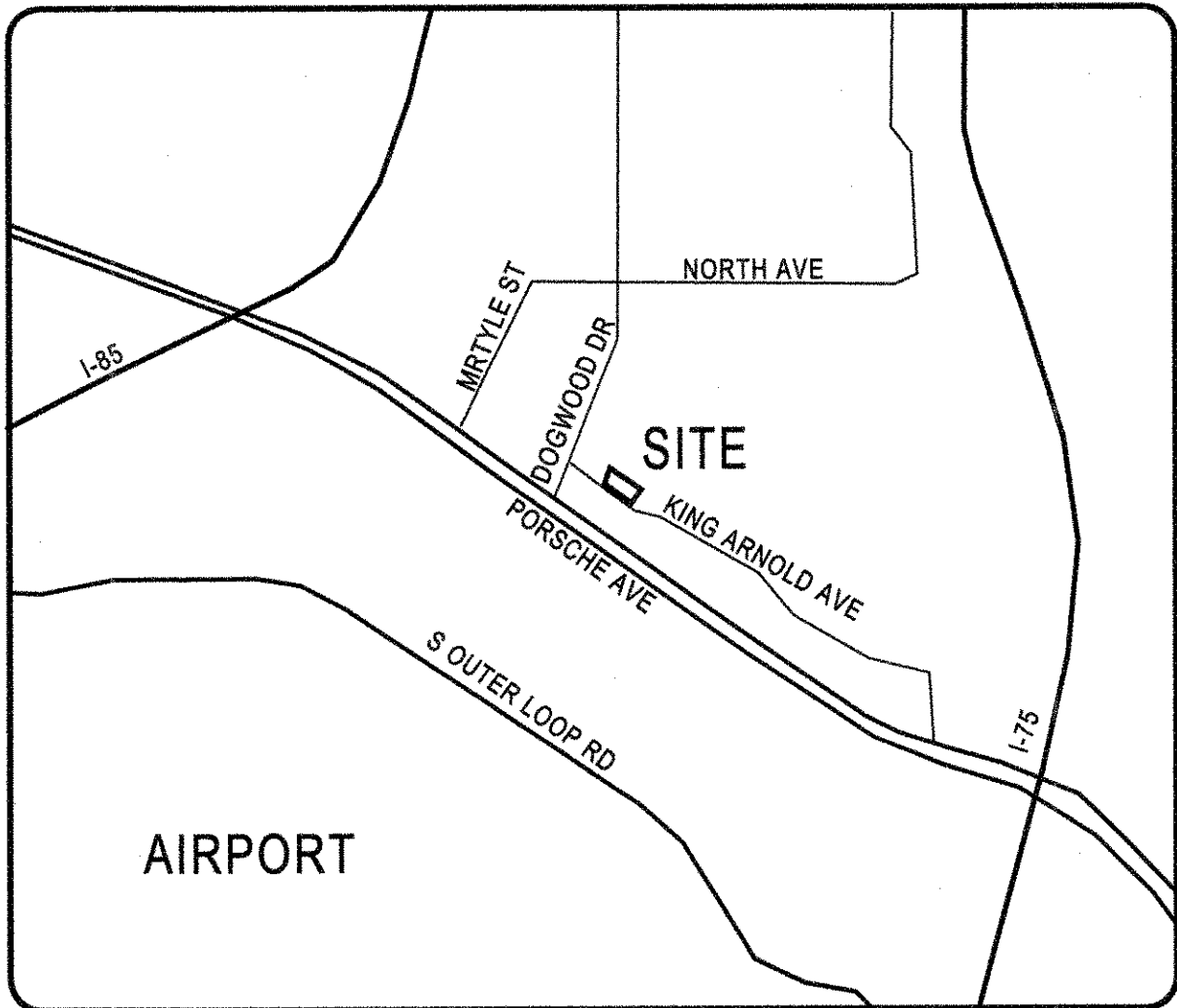
24 HOUR EMERGENCY CONTACT: MILLER LOWRY 770-289-9179

CONSTRUCTION DOCUMENTS FOR:

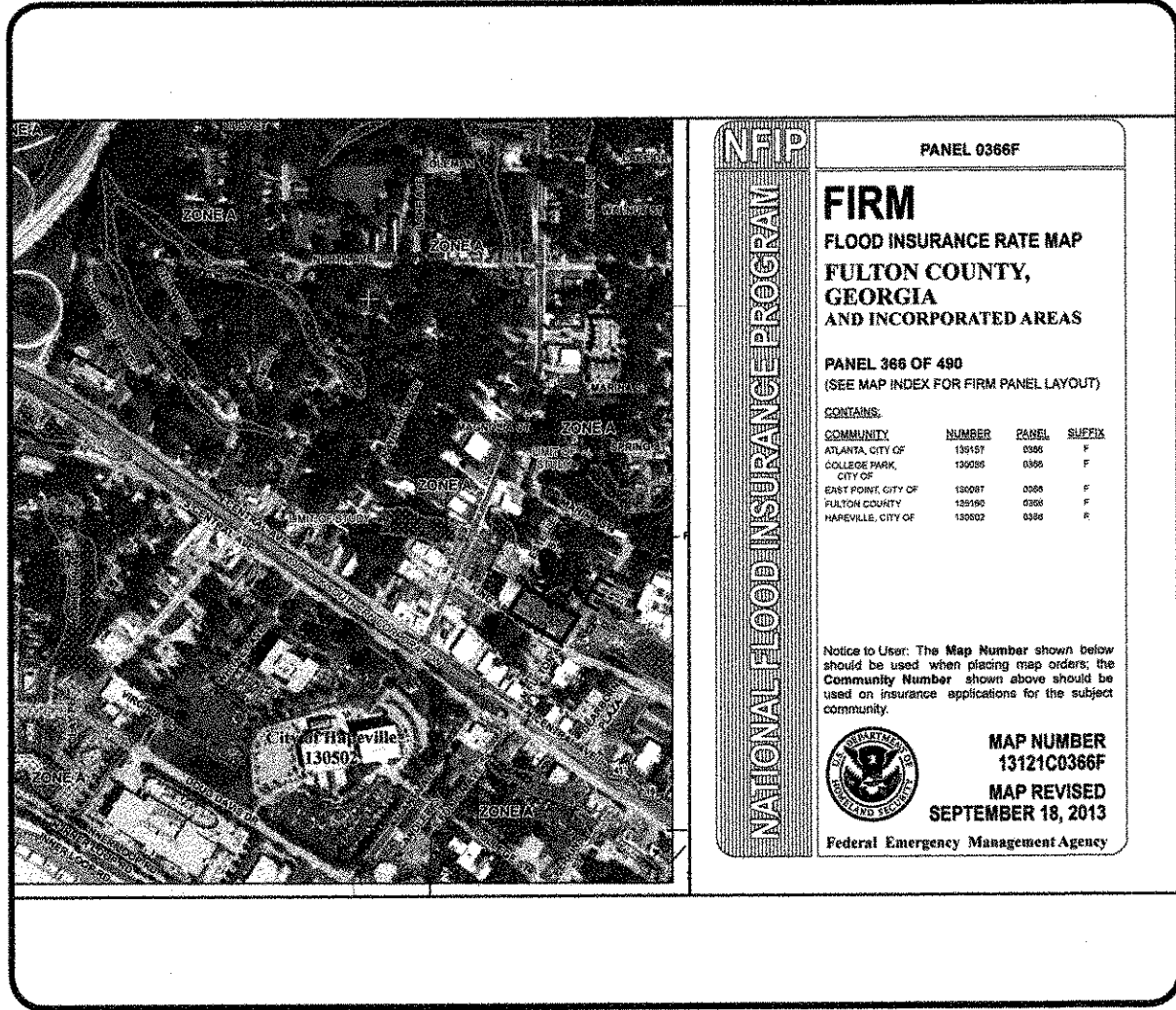
KING ARNOLD TOWNHOMES

LAND LOT 89 & 127 DISTRICT 14

CITY OF HAPEVILLE, FULTON COUNTY, GEORGIA 30350



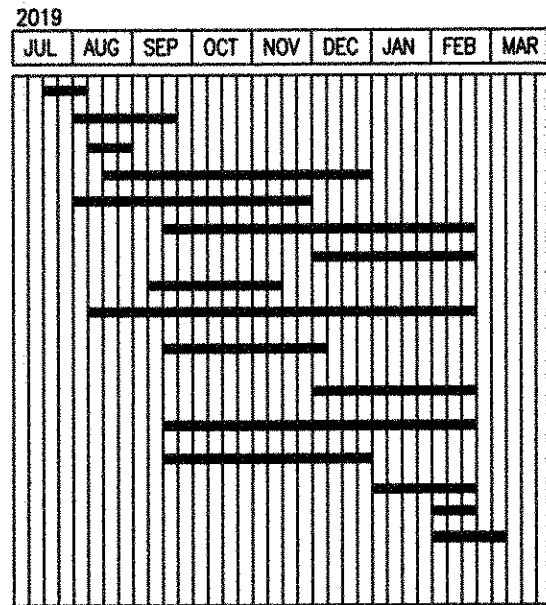
Location Map
NTS



FEMA Map

Construction Activity Schedule

- A) INITIAL EROSION CONTROL & TREE SAVE BMP'S INSTALLATION
B) INTERMEDIATE EROSION CONTROL BMP'S
C) FINAL PHASE E&SC BMP'S
D) MAINTENANCE OF E&SC PRACTICES
E) DEMOLITION
F) INSTALLATION/REMOVAL OF TEMPORARY SEDIMENT BASINS
G) CLEARING AND GRUBBING
H) GRADING
I) STORM AND SANITARY SEWER INSTALLATION
J) PAVING
K) BUILDING CONSTRUCTION
L) TEMPORARY GRASSING @ 14 DAY INTERVALS
M) PERMANENT GRASSING @ 30 DAY INTERVALS
N) REMOVAL OF TEMPORARY BMP'S
O) FINAL CLEAN-UP



ANTICIPATED START DATE: 7-17-19 ANTICIPATED COMPLETION DATE: 3-5-19

CONSTRUCTION NARRATIVE:

THE PROPOSED PLANS CALL FOR THE CONSTRUCTION OF 18 TOWNHOUSE UNITS AND ACCOMPANYING INFRASTRUCTURE. ALL PHASED EROSION CONTROL BMP'S ARE TO REMAIN IN PLACE UNTIL THE SITE IS 100% STABILIZED.

OWNER:

MILLER LOWRY DEVELOPMENTS, LLC
2964 PEACHTREE ROAD NW
SUITE 540
HAPEVILLE, GA 30305

ENGINEER:

CRESCENT VIEW ENGINEERING
211 FRASIER STREET, NE
MARIETTA, GEORGIA 30060

UTILITY CONTACTS:

TELEPHONE:
ELECTRIC:
WATER & SEWER
GAS:

AT&T
GEORGIA POWER COMPANY
CITY OF HAPEVILLE
ATLANTA GAS LIGHT COMPANY

800-225-5288
888-655-5888
404-669-2100
877-427-4321

SHEET LIST TABLE

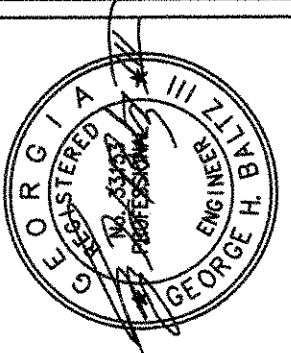
SHEET NO.	SHEET TITLE
CV	COVER SHEET
S	SURVEY
D-1	DEMOLITION PLAN
C-1	SITE PLAN
C1.1	DRIVEWAY PLAN AND PROFILE
C-2	GRADING AND DRAINAGE PLAN
C-2.1	STORMWATER MANAGEMENT PLAN
C-3	UTILITY PLAN
C-3.1	UTILITY NOTES + FIRE FLOW TESTS
C-4	EROSION CONTROL PLAN
C-4.1	ES&PC - DETAILS
C-5	CONSTRUCTION DETAILS
C-5.1	CONSTRUCTION DETAILS
C-5.2	CONSTRUCTION DETAILS
C-5.3	CONSTRUCTION DETAILS
C-5.4	CONSTRUCTION DETAILS

Prepared By:
CRESCENT VIEW
ENGINEERING, LLC:
211 Frasier Street SE
Marietta, GA 30060
678-324-8410
www.crescentvieweng.com

Prepared For:
Miller Lowry Developments, LLC
2964 Peachtree Road NW Suite 540
HAPEVILLE, GA 30305

Cover Sheet

DATE	7-8-19
SCALE	AS SHOWN
DRAWN	A. R.
CHECKED	G. H. B.



Construction Plan Set For:
King Arnold Townhomes
Land Lots 85 & 98, 14th District
City of Hapeville, Fulton County, Georgia

CVE PI # 18-403

Sheet No.

CV

CLERK'S OFFICE: RECORDING INFORMATION ONLY

ADDRESS:
591 KING ARNOLD STREET
HAPEVILLE, GA 30354

THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON LOCATION OF MARKINGS PROVIDED BY:

UTILISURVEY, LLC
1227 NORTH PEACHTREE PKWY., SUITE 178
PEACHTREE CITY, GA 30289
PHONE: 404-312-8912

THE UNDERGROUND UTILITIES (EXCEPT THE LOCATION OF EXISTING DRAINAGE, SEWER AND IRRIGATION UTILITIES AS WELL AS UNDERGROUND STORAGE TANKS) WERE LOCATED BY UTILISURVEY, LLC, UTILIZING RADIO FREQUENCY TECHNIQUE. THIS TECHNIQUE IS CAPABLE OF LOCATING METALLIC UTILITIES AND TRACER WIRES. ANY NON-METALLIC UTILITIES (WITHOUT TRACER WIRE) ARE NOT LOCATED.

THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. UNDERGROUND UTILITIES NOT OBSERVED OR LOCATED UTILIZING THIS TECHNIQUE MAY EXIST ON THIS SITE BUT NOT BE SHOWN, AND MAY BE FOUND UPON EXCAVATION. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

INFORMATION REGARDING MATERIAL AND SIZE OF UTILITIES IS BASED ON RECORDS ACQUIRED FROM THE UTILITY OWNERS.

UNDERGROUND UTILITY LEGEND
— GAS — = GAS LINE
— UGT — = UNDERGROUND TELEPHONE
— P — = UNDERGROUND POWER
— L — = UNDERGROUND POWER FOR LIGHT POLES
— COM — = UNDERGROUND COMMUNICATION
— SS — = SANITARY SEWER
— W — = WATER LINE

CONTRACTOR SHALL HAVE UNDERGROUND UTILITIES RE-MARKED PRIOR TO ANY EARTH DISTURBING ACTIVITIES.

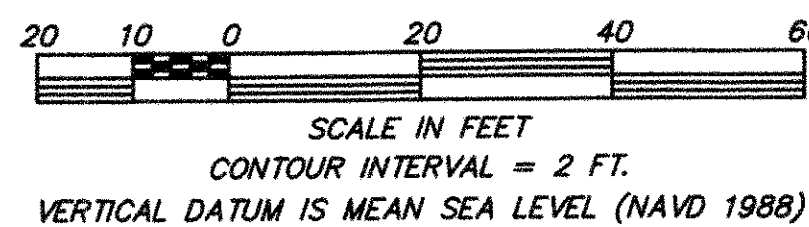
ABBREVIATIONS ~	
ABL = ABELIA	HYD = HYDRANGEA
AUC = AUCUBA	ICV = IRRIGATION CONTROL VALVE
AHY = AMERICAN HOLLY	IMP = IMPATIENS
AZ = AZALEA	IPF = IRON PIV FOUND
BB = BARBERRY	JAS = JASMINE
BE = BEECH	JHY = JAPANESE HOLLY
BEG = BEGONIA	JM = JAPANESE MAPLE
BHJ = BURFORD HOLLY	JUN = JUNIPER
BIR = BIRCH	LIR = LIRIOPE
BP = BRADFORD PEAR	LL = LAWN LIMITS
BW = BOXWOOD	MAG = MAGNOLIA
CAL = CALADIUM	MAR = MARLE
CAM = CAMELLIA	NAN = NANDINA
CE = COTONEASTER	OGH = OREGON GRAPE HOLLY
CD = CEDAR	OLL = OTTOLUYKEN LAUREL
CHY = CHERRY	P = PINE
CH = CHINESE HOLLY	PHO = PHOTINIA
CHN = CHESTNUT	POP = POPLAR
CHO = CHESTNUT OAK	RHO = RHODODENDRON
CJ = CRYPTOMERIA JAPONICA	RO = RED OAK
CL = CHERRY LAUREL	RT = RED TIP
CO = CLEAN OUT	SG = SWEET GUM
CM = GRAPE MYRTLE	SP = SPRUCE
DO = DWARF GARDENIA	SPG = SPIGOT
DS = DOWNSPOUT	SPK = SPRINKLER
DW = DOGWOOD	SW = SWEETWOOD
EL = ELAEAGNUS	UDS = UNDERGROUND DOWNSPOUT
EM = ELECTRIC METER	UNK = UNKNOWN
ET = EXTERIOR THRESHOLD	VIN = VINCA
FF = FINISH FLOOR	VLR = VARIEGATED LIRIOPE
FOR = FORSYTHIA	VP = VARIEGATED PRIVET
GE = GOLDEN ELIYMIUS	VW = VENT WELL
GLF = GROUND LIGHT FIXTURE	WAO = WATER OAK
GM = GAS METER	WLO = WILLOW OAK
HB = HACKBERRY	WLO = WILLOW
HEN = HEMLOCK	WM = WATER METER
HIC = HICKORY	WO = WHITE OAK
HL = HELLER HOLLY	WP = WHITE PINE
HDS = HOSTA	WW = WINDOW WELL
HL = HOLLY	YI = YARD INLET

LEGEND

•	IPF	= 1/2" REBAR FND.
•	IPS	= 1/2" REBAR SET
•	R.W.	= RIGHT OF WAY
•	SSE	= SANITARY SEWER EASEMENT
•	DE	= DRAINAGE EASEMENT
•	L.L.L.	= LAND LOT LINE
•	C.L.	= CENTERLINE
•	CT	= CRIMP TOP PIPE
•	OT	= OPEN TOP PIPE
•	CMP	= CORRUGATED METAL PIPE
•	RCP	= REINFORCED CONCRETE PIPE
•	DI	= DROP INLET
•	JB	= JUNCTION BOX
•	MH	= MANHOLE
•	CB	= CATCH BASIN
•	BM	= BENCHMARK
•	PP	= POWER POLE
•	FH	= FIRE HYDRANT
•	CMF	= CONCRETE MONUMENT FND.
•	B.C.	= BACK OF CURB
•	E.P.	= EDGE OF PAVEMENT
•	FEN	= FENCE
•	O.H.	= OVERHEAD ELEC. SERVICE LINE
•	B.L.	= BUILDING LINE
•	U.G.	= UNDERGROUND POWER LINE
•	TX	= TRANSFORMER

BOUNDARY & TOPOGRAPHIC SURVEY FOR MILLER LOWRY DEVELOPMENTS, LLC

LOCATED IN LAND LOTS 95 & 98
14th DISTRICT, CITY OF HAPEVILLE
FULTON COUNTY, GEORGIA
FEBRUARY 18, 2019 1"=20'



GENERAL NOTES~

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS AN ANGULAR ERROR OF 15 SECONDS PER ANGLE POINT AND A PRECISION RATIO OF 1 IN 133,433. IT HAS BEEN ADJUSTED USING THE COMPASS RULE.

EQUIPMENT USED TO OBTAIN THESE MEASUREMENTS WAS A SOKKIA SET-530R.

THE DATA SHOWN ON THIS PLAT HAS A CLOSURE PRECISION RATIO OF 1 IN 424,000.

ALL I.P.'s ARE 1/2" REBARS, UNLESS OTHERWISE INDICATED.

BEARINGS ARE CALCULATED FROM ANGLES TURNED FROM A SINGLE GRID BASELINE.

ACCORDING TO THE CURRENT "F.I.A. OFFICIAL FLOOD HAZARD MAP", COMMUNITY PANEL NO. 13121C 0386 F, DATED SEPTEMBER 18, 2013, PORTIONS OF THIS PROPERTY ARE IN AN AREA HAVING SPECIAL FLOOD HAZARDS. (ZONE A)

ALL MATTERS OF TITLE ARE EXCEPTED.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH. THERE MAY BE EASEMENTS OR OTHER ENCUMBRANCES NOT SHOWN.

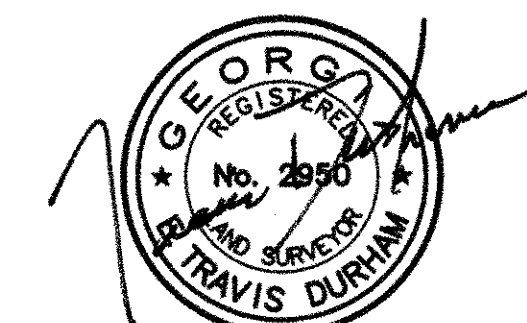
THE SURVEY AND PLAT SHOWN HEREON IS NOT INTENDED FOR USE OR RELIANCE BY ANY PARTIES OR ENTITIES NOT SPECIFICALLY LISTED IN THE TITLE. UNAUTHORIZED THIRD PARTIES SHALL INDEMNIFY AND HOLD DELTA 1 LAND SURVEYING, LLC HARMLESS AGAINST ANY AND ALL LIABILITY FOR ANY LOSS ARISING OUT OF, OR RELATED TO, RELIANCE BY ANY THIRD PARTY ON ANY WORK PERFORMED THEREUNDER, OR THE CONTENTS OF THE SURVEY.

REFERENCE: DB 51405, PG. 565

THIS PROPERTY IS CURRENTLY ZONED U-V (URBAN VILLAGE) PER THE CITY OF HAPEVILLE ZONING MAP.

AREA = 43,241 SQ. FT.
0.993 ACRE

AREA OUTSIDE THE APPROX. 100 YR. FLOOD PLAIN = 20,702 SQ. FT. or 0.48 AC. ±



THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION. AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND, FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-87.

Travis Durham 3-5-19
E. TRAVIS DURHAM, GA. RLS No. 2890

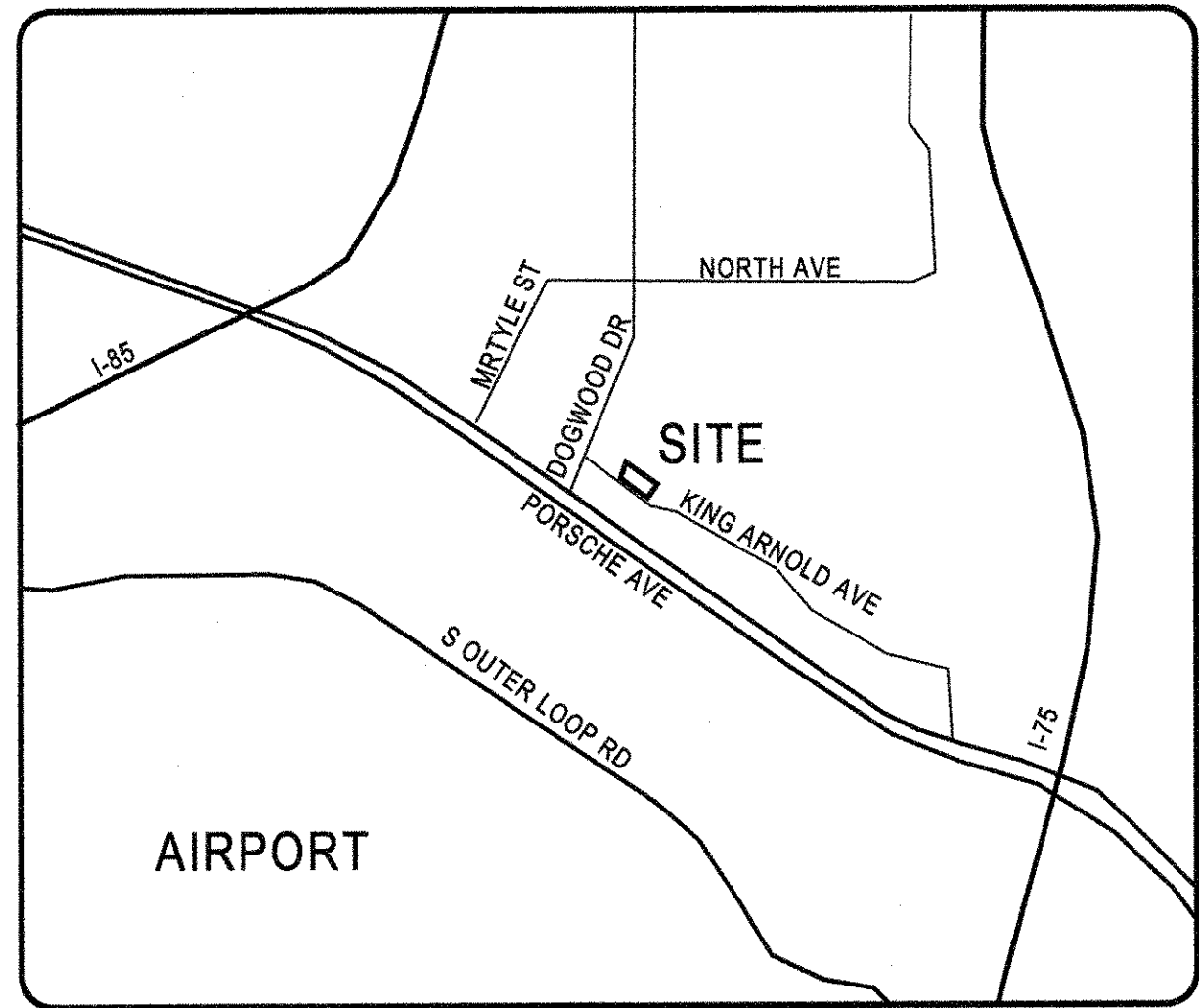
JOB # 19-017 DRAWN BY: TD FIELD CREW: CM,GM
FIELD DATE: 2-18-19 PLAT PREPARED: 2-28-19

DELTA 1
LAND SURVEYING, LLC
361 WESTCHESTER WAY
CANTON, GEORGIA 30115
PHONE: (770) 597-3533
(FIRM LICENSE No. LSF 001041)

1. THE APPROXIMATE LOCATION OF KNOWN UNDERGROUND UTILITIES HAVE BEEN SHOWN AS PROVIDED BY THE SURVEY. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY, LOCATE AND PROTECT ALL UTILITIES ON THE SITE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COORDINATING DEMOLITION, RELOCATION AND NEW UTILITY SERVICE WITH THE APPROPRIATE UTILITY. CONTRACTOR SHALL HIRE THEIR OWN UTILITY LOCATOR TO IDENTIFY ALL EXISTING UTILITIES WITHIN THE PROPOSED CONSTRUCTION AREA. ALL EXISTING SANITARY SEWER CONNECTIONS TO BE IDENTIFIED AND CONNECTED TO NEW SANITARY SEWER LINES.
2. CONTRACTOR SHALL IMMEDIATELY CONTACT OWNERS REPRESENTATIVE AND ENGINEER IF ANY DISCREPANCIES OR CONFLICTS ARE ENCOUNTERED.
3. ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, STANDARDS OR CODES. ALL NECESSARY LICENSES OR PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY STATED BY OWNER.
4. ALL CONSTRUCTION MUST CONFORM TO APPROPRIATE UTILITIES AND CITY STANDARDS.
5. CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC. CONTRACTOR SHALL MAINTAIN THESE TRAFFIC CONTROL AND SAFETY METHODS THROUGHOUT CONSTRUCTION OF THIS PROJECT.
6. BEFORE STARTING WORK CONTRACTOR SHALL MAKE SUCH EXPLORATIONS AND PROBES AS NECESSARY TO ASCERTAIN ANY ACTIVE UTILITY LINES AND MAKE SURE THESE UTILITIES CAN BE BROKEN OR CHANGED WITHOUT ANY DANGER OR DISRUPTION TO ANY NECESSARY SERVICE.
7. FOR ALL ITEMS NOTED TO BE REMOVED - REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALL UNDERGROUND ELEMENTS AS WELL INCLUDING BUT NOT NECESSARILY LIMITED TO: FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, OLD PIPE, ETC.
8. BACKFILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK TO MEET THE REQUIREMENTS AND INSTRUCTIONS OF THE PROJECT GEOTECHNICAL ENGINEER. DEMOLITION AND SITE PLANS HAVE BEEN PREPARED TO IDENTIFY MAJOR DEMOLITION ITEMS. CONTRACTOR TO PERFORM SITE VISIT PRIOR TO PRICING TO IDENTIFY ALL DEMOLITION ITEMS AS WELL AS IDENTIFYING ITEMS TO SALVAGE FOR OWNER.
10. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES & ITEMS TO REMAIN.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION ACTIVITIES DAMAGE TO EXISTING STRUCTURE DURING CONSTRUCTION.
12. CONTRACTOR SHALL COORDINATE WITH OWNER/OWNER REPRESENTATIVE ALL PHASES OF CONSTRUCTION AND UTILITY CONSTRUCTION TO MAKE SURE ACCESS, HOURS OF OPERATION, AND UTILITY INTERRUPTION DO NOT INTERFERE WITH OWNER'S NEEDS.
13. LIMITS OF DEMOLITION OF CURB AND GUTTER, CONCRETE SIDEWALKS, SHALL BE TO THE NEAREST CONSTRUCTION JOINT. REPAIR WORK SHALL ALSO BE TO THE NEAREST JOINT.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND/OR REMOVAL OF ALL ITEMS IN THE AREA OF NEW CONSTRUCTION.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF ALL ITEMS AND CONSTRUCTION DEBRIS IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES.
16. CONTRACTOR SHALL COORDINATE A MEETING ON SITE WITH THE OWNER/OWNER REPRESENTATIVE TO REVIEW ALL ELEMENTS OF DEMOLITION AND IDENTIFY ALL ITEMS TO BE SALVAGED.
17. CONTRACTOR SHALL REPAIR AT HIS/HER EXPENSE, DAMAGE TO ANY NEW OR EXISTING SITE FEATURES CAUSED BY CONSTRUCTION ACTIVITIES.
18. ALL EXISTING UTILITIES LOCATED UNDER PROPOSED BUILDING FOUNDATIONS ARE TO BE RE-ROUTED AROUND & AWAY FROM NEW BUILDING FOOTPRINT.
19. T.B.R = TO BE REMOVED

[illegible]

D-1



Location Map
N.T.S.

SITE NOTES:

THE SITE CONTAINS: 0.993 ACRES / 43241 SF
TOTAL DISTURBED AREA: 0.90 ACRES

SITE ADDRESS: PROPERTY ENJOINED BY ESTELLE STREET, KING ARNOLD STREET AND NORTH FULTON AVENUE, FULTON COUNTY, GA 30354

ZONING: U-V URBAN VILLAGE DISTRICT

BOUNDARY SURVEY INFORMATION TAKEN FROM SURVEY PERFORMED BY DELTA 1 LAND SURVEYING, LLC, DATED 5 OF MARCH, 2019.

A PORTION OF THIS SITE IS LOCATED WITHIN A FLOOD ZONE [A, AE, SHADED ZONE X] AS DEFINED BY FIRM PANEL NUMBER 13121C0366 F DATED SEPTEMBER 18, 2013, FOR FULTON COUNTY AND INCORPORATED AREAS.

THERE ARE NO WATERS OF THE STATE OF GEORGIA OR WETLANDS WITHIN 200 FEET OF THE SITE. ALL APPROPRIATE STATE WATER BUFFERS ARE SHOWN ON THE SITE PLANS. THERE ARE NO PROPOSED IMPACTS TO ANY STATE WATER BUFFERS.

TO THE BEST OF OUR KNOWLEDGE, NO CEMETERIES, ARCHITECTURAL, OR ARCHEOLOGICAL LANDMARKS EXIST ON SITE. IN THE EVENT THAT THESE LANDMARKS ARE DISCOVERED DURING CONSTRUCTION, THE ENGINEER MUST BE CONTACTED IMMEDIATELY FOR REVIEW AND AMENDING THE CONSTRUCTION PLANS

BUILDING FOUNDATION & LAYOUT SHALL BE COORDINATED USING ARCHITECTURAL DRAWINGS. ARCHITECTURAL DRAWINGS TAKE PRECEDENCE OVER CIVIL DRAWINGS CONCERNING FOUNDATIONS AND ALIGNMENT WITH EXISTING STRUCTURES OR SURVEY.

THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THAT HE MAY DISCOVER IN THESE PLANS.

CONTRACTOR TO PROVIDE ALL NECESSARY BARRICADES, GUARDS, LIGHTS, AND OTHER INSTALLATIONS REQUIRED TO PROTECT PERSONS AND PROPERTY DURING THE ENTIRE CONSTRUCTION PROCESS.

SITE DATA:

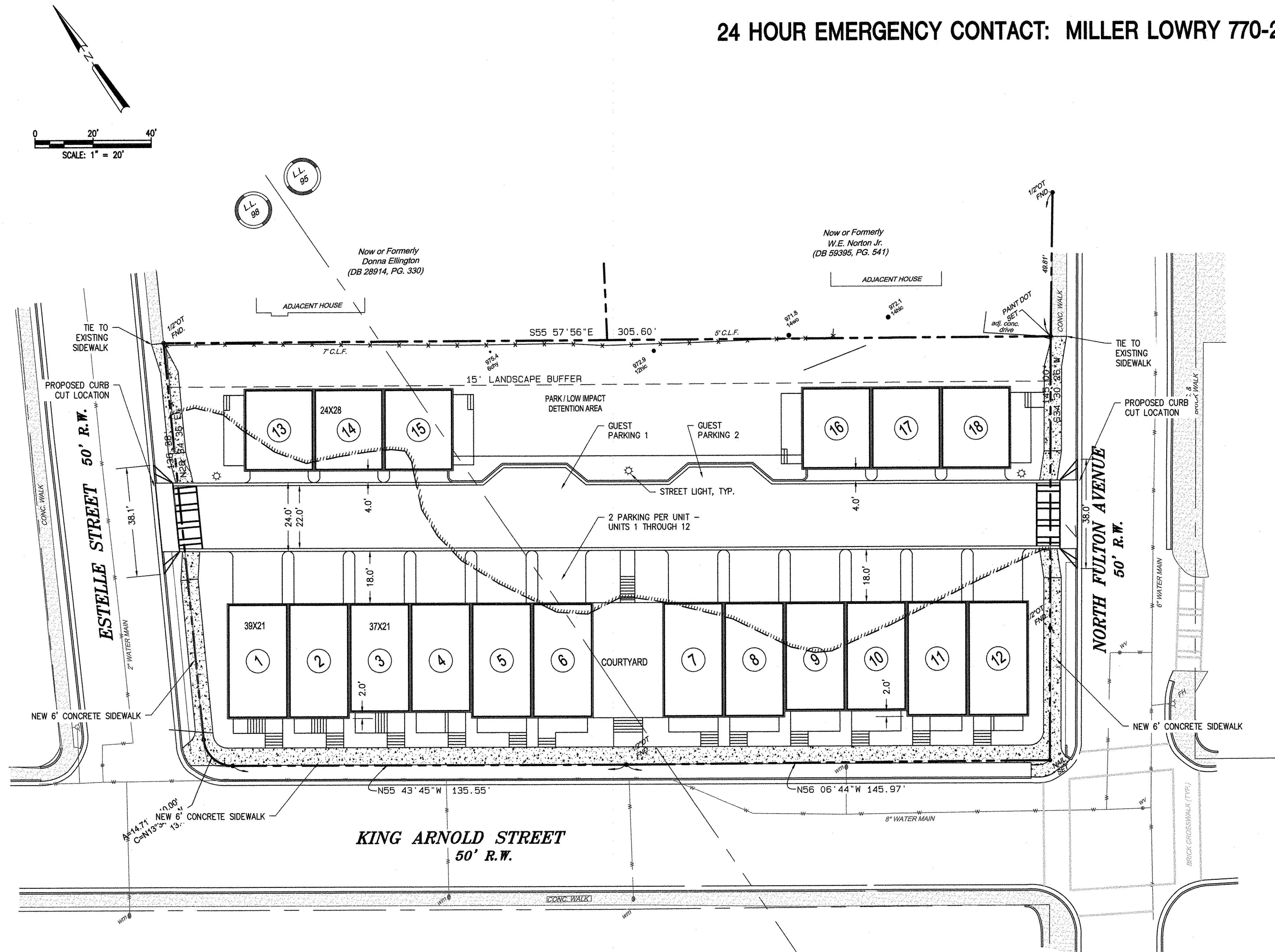
TOTAL NUMBER OF PROPOSED UNITS:

TOWNHOME UNITS: 18

ZONING:U-V: URBAN VILLAGE

VARIANCES REQUESTED:

1. GUEST PARKING FROM 0 SPACES TO 2 SPACES



ZONING DIALOG BOX - U-V (URBAN VILLAGE DISTRICT)

CATAGORY	REQUIREMENT	PROVIDED
PERMITTED USES	SINGLE FAMILY ATTACHED DWELLING, COMMERCIAL/RETAIL	SINGLE FAMILY ATTACHED DWELLING
LOT FRONTAGE	20' (MIN) FRONTAGE	LOT FRONTAGE PROVIDED = 560'
STREET FRONTAGE SETBACK	5' PLANT ZONE / 6' SIDEWALK CLAR ZONE / 5' SUPPLEMENTAL ZONE	5' PLANT ZONE / 6' SIDEWALK CLAR ZONE / 5' SUPPLEMENTAL ZONE
REAR YARDS	0' FT	0' FT
DISTANCE BETWEEN BUILDINGS	20' MIN DISTANCE BETWEEN BUILDINGS, PLUS 4 ADDITIONAL FEET FOR EVERY STORY (OR FRACTION THEREOF), THAT EXCEEDS 2 STORIES	PROVIDED DISTANCE BETWEEN BUILDINGS: - BETWEEN UNITS 6 AND 7 = 24.0'
HEIGHT REGULATIONS	2.5 STORIES, OR 35' IN HEIGHT	PROVIDED HEIGHT NOT TO EXCEED 2.5 STORIES, OR 35' IN HEIGHT
RESIDENTIAL BUFFER	15' LANDSCAPED BUFFER BORDERING RESIDENTIAL ZONING	15' LANDSCAPED BUFFER PROVIDED.
PARKING RESIDENTIAL -	2 SPACES REQUIRED/ PER UNIT	2 SPACES PROVIDED / PER UNIT

APPLICANT / DEVELOPER

MILLER LOWRY DEVELOPMENTS, LLC
2964 PEACHTREE ROAD NW
SUITE 540
HAPEVILLE, GA 30305

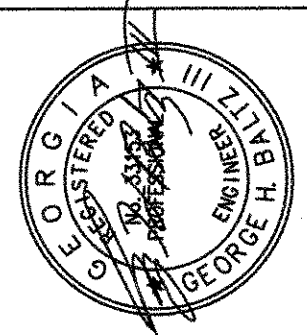
24 HOUR EMERGENCY CONTACT: MILLER LOWRY 770-289-9179

Prepared By:
**CRESCENT VIEW
ENGINEERING, LLC:**
211 Fraser Street SE
Marietta, GA 30060
678-324-8410
www.crescentvieweng.com

Prepared For:
Miller Lowry Developments, LLC
2964 Peachtree Road NW Suite 540
HAPEVILLE, GA 30305

Site Plan

DATE	SCALE	AS SHOWN	REVISIONS
7-8-19	A.R.		
CHECKED	G.H.B.		

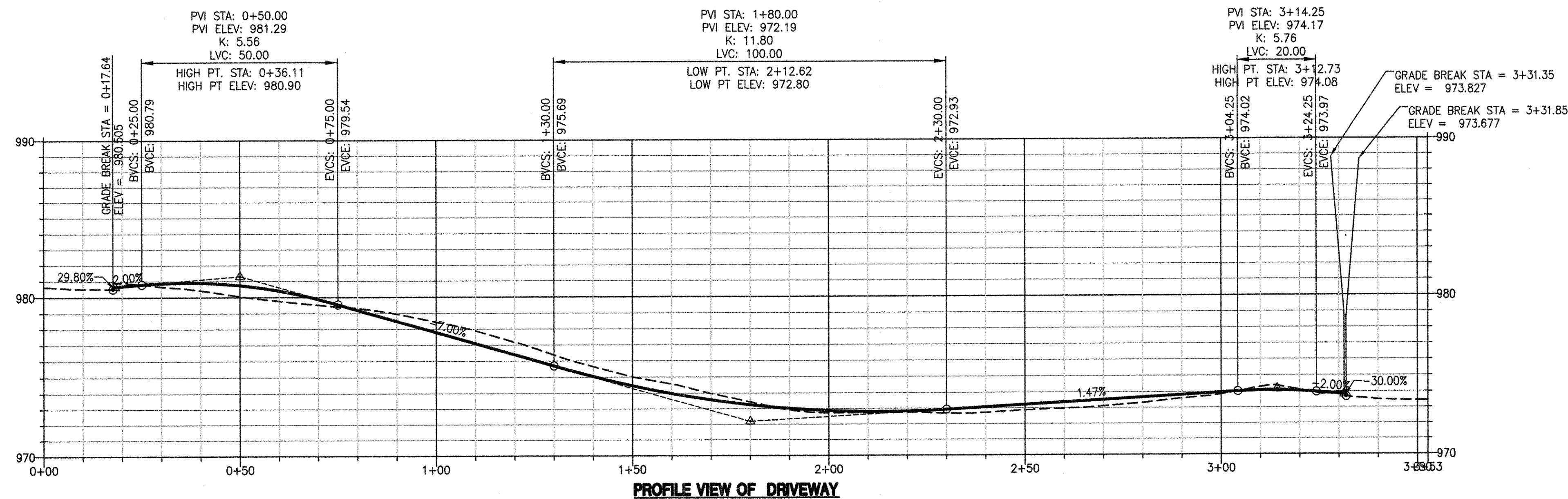
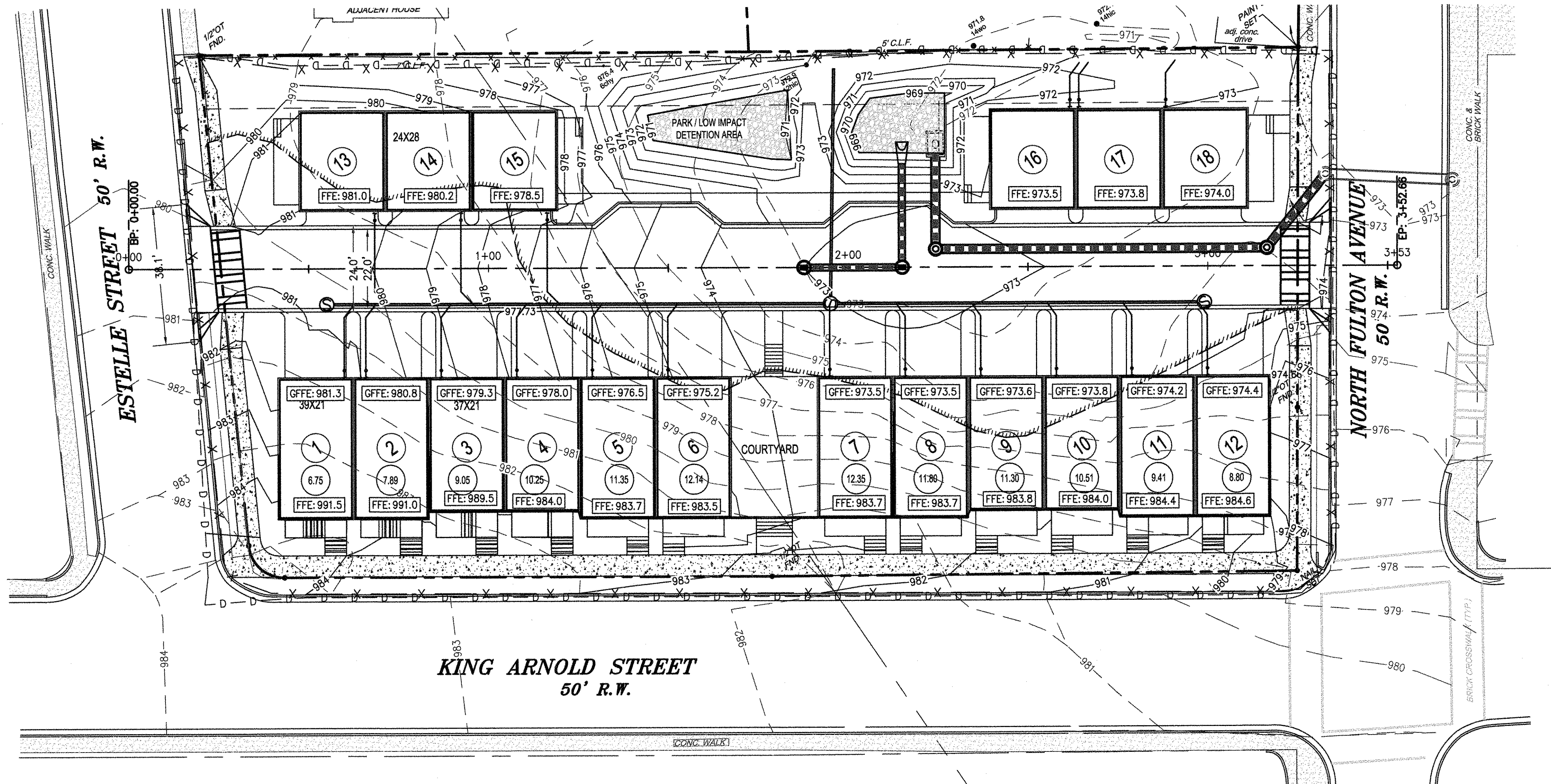
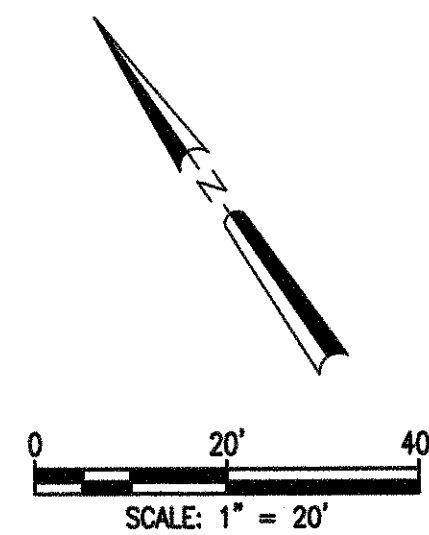


Construction Plan Set For:
King Arnold Townhomes
Land Lots 95 & 98, 14th District
City of Hapeville, Fulton County, Georgia

CVE PI # 18-403

Sheet No.

C-1

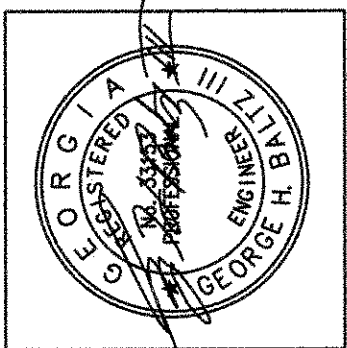


Prepared By:
**CRESCENT VIEW
ENGINEERING, LLC.**
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Marietta, GA 30060
678-324-6410
www.crescentvieweng.com

Prepared For:
Miller Lowry Developments, LLC
2984 Peachtree Road NW Suite 540
HAPEVILLE, GA 30056

Driveway Plan and Profile

DATE	SCALE	DRAWN	CHECKED	REVISIONS	
				A.R.	G.H.B.
7-8-19	AS SHOWN				

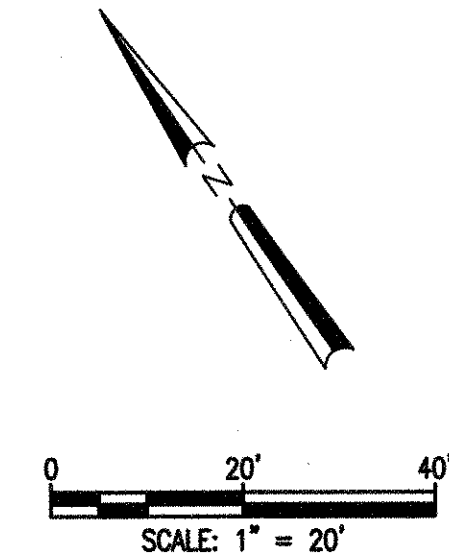
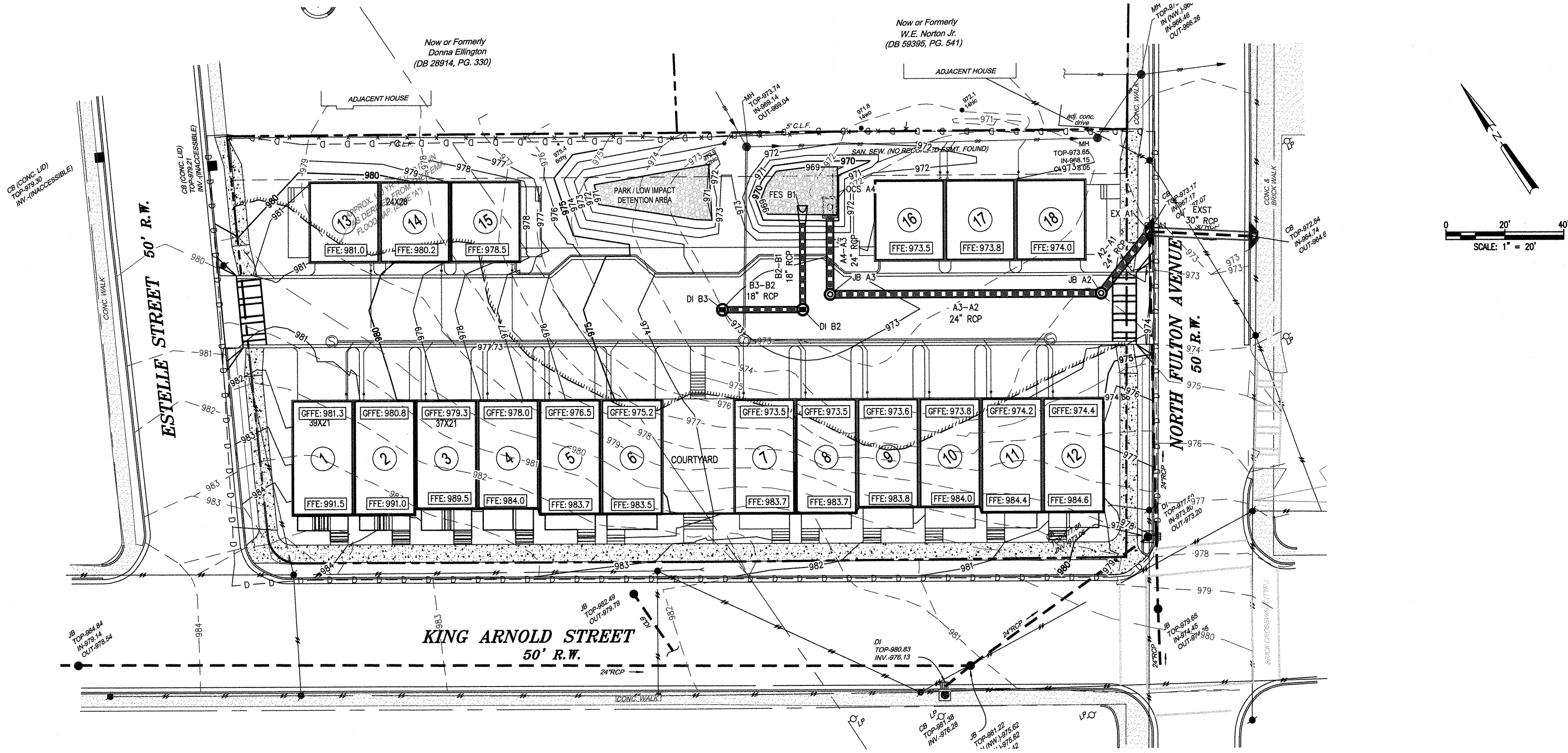


Construction Plan Set For:
King Arnold Townhomes
Land Lots 95 & 98, 14th District
City of Hapeville, Fulton County, Georgia

CVE PI # 18-403

Sheet No.
C-1.1

24 HOUR EMERGENCY CONTACT: MILLER LOWRY 770-289-9179



TOTAL SITE ACRES = 0.993 ACRES
TOTAL DISTURBED AREA = 1.089 ACRES

RETAINING WALL TO BE DESIGNED BY
STRUCTURAL ENGINEER

SEE SHEET C-3.1 FOR GRADING NOTES

EXISTING LEGEND

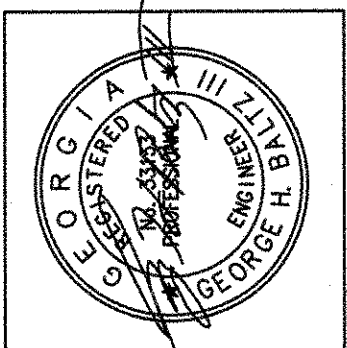
- 1150--- EXISTING CONTOUR
- - - - - PROPERTY LINE
- - - - - SANITARY SEWER LINE
- - - - - OVERHEAD POWER LINE
- - - - - WATER LINE
- x - FENCELINE
- SANITARY SEWER MANHOLE
- ⊕ POWER POLE WITH GUY WIRE
- ⊞ ELECTRIC BOX
- ⊞ FIRE HYDRANT

PROPOSED LEGEND

- 990— CONTOUR
- — — STORMWATER LINE
- D - D - D - LIMIT OF DISTURBANCE
- — — SANITARY SEWER PIPING
- 1.2% SURFACE DRAINAGE GRADE
- DROP INLET WITH GRATE
- ⊕ JUNCTION BOX
- CURB INLET
- ⊞ SANITARY SEWER MANHOLE

Grading and Drainage Plan

DATE	SCALE	AS SHOWN	REVISIONS
7-8-18	A.R.	A.R.	
DRAWN			
CHECKED			



Construction Plan Set For:
King Arnold Townhomes
Land Lots 95 & 98, 14th District
City of Hapeville, Fulton County, Georgia

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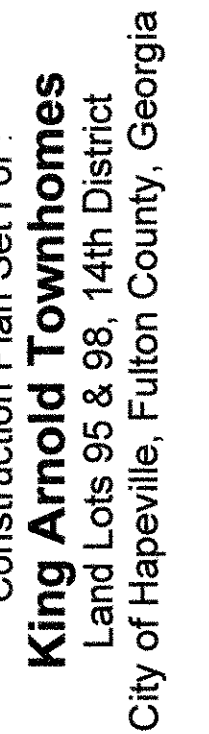
Sheet No.
C-2

Prepared For:
Miller Lowry Developments, LLC
2884 Peachtree Road NW Suite 540
Hapeville, GA 30305

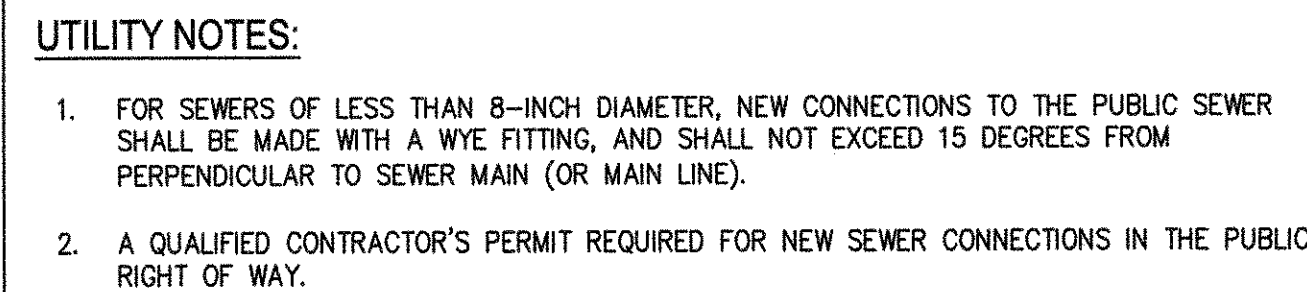
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Marietta, GA 30060
678-324-8410
www.crescentvieweng.com

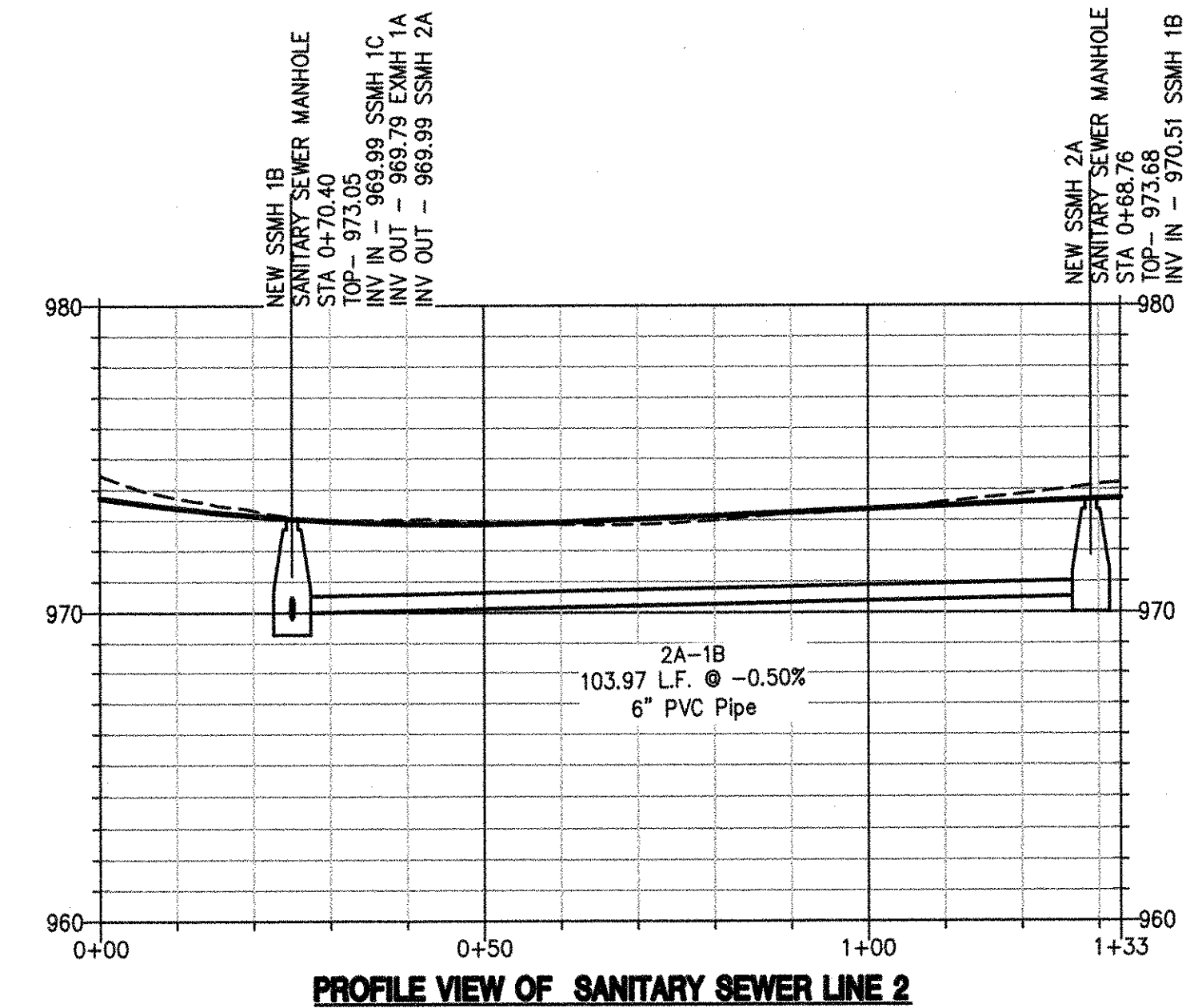
DATE	7-8-19	REVISIONS
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Sheet No.
C-3



	CONTOUR
	STORMWATER LINE
	LIMIT OF DISTURBANCE
	SANITARY SEWER PIPING
	WATER LINE
	SANITARY SEWER MANHOLE
	CLEANOUT
	WATER METER
	WATER VAULT
	TAPPING SLEEVE + REDUCER + VALVE



GRADING NOTES:

- PHASE 1 EROSION CONTROL DEVICES MUST BE INSTALLED PRIOR TO ANY CONSTRUCTION.
- SEDIMENT BASINS MUST BE CONSTRUCTED PRIOR TO ANY OTHER WORK. DETENTION & SEDIMENT BASINS MUST BE CLEANED OF ALL SILT AND SEDIMENT UPON COMPLETION AND ESTABLISHMENT OF PERMANENT VEGETATION.
- AFTER SITE CLEARING AND PREPARATION, CONTRACTOR SHALL HAVE A GEOTECHNICAL ENGINEER EVALUATE THE EXPOSED SUBGRADE. THIS EVALUATION SHOULD INCLUDE PROOF ROLLING OF SUBGRADE SOILS TO VERIFY THAT THE SUBGRADE IS OF SUFFICIENT COMPACTION AND MATERIAL FOR PLACEMENT OF FILL TO BEGIN. IF REMEDIAL WORK IS REQUIRED, CONTRACTOR MUST OBTAIN APPROVAL FROM THE OWNER BEFORE PROCEEDING.
- CONTRACTOR SHALL COORDINATE ALL EARTHWORK OPERATION WITH A GEOTECHNICAL ENGINEER. THIS ENGINEER SHALL BE RESPONSIBLE FOR MONITORING AND SUPERVISING ALL EXCAVATION AND PLACEMENT OF FILL MATERIALS FOR THE SITE. ALL FILL MUST BE TESTED FOR COMPACTION AND QUALITY DURING THE GRADING OPERATION. PLACE FILL MATERIALS ON CONTINUOUS LAYERS AND COMPACT IN ACCORDANCE WITH ASTM D698. FILL MATERIAL MUST BE CLEAN INORGANIC NATURAL SOIL. FILLS OF OVER 5' OR LOCATED IN NEW BUILDING OR PARKING AREAS MUST BE SUPERVISED BY A GEOTECHNICAL ENGINEER.

COMPACTION REQUIREMENTS USING STD PROCTOR COMPACTION TEST ASTM D698 (%=MAX. DENSITY AT OPTIMUM MOISTURE CONTENT)

UNPAVED AREAS; TOP 6 INCHES OF SUBGRADE AND SUBSEQUENT LIFTS / 90% SPT
PAVED AREAS; 95% SPT EXCEPT FOR TOP ONE FOOT WHICH WILL BE COMPACTED 98% OF SOIL'S MAX. DRY DENSITY EXTERIOR RAMPS/STEPS: 95% SPT
BUILDING, SLABS: 98% OF SOIL'S MAX. DRY DENSITY
FILL WALLS: 95% SPT
COMPACTION ZONE FOR THESE AREAS SHALL INCLUDE A BEARING PLANE OF 1:1 FOR FILL AREAS WHICH SHALL EXTEND TO APPROVED SUBGRADE. COMPACTION REQUIREMENTS UNDER CURBING IS CONSIDERED UNDER PAVED AREAS REQUIREMENTS.
- ALL GRADES SLOPE AWAY FROM BUILDING A MINIMUM OF 3" IN 10 FT. ADDITIONAL POSITIVE DRAINAGE WILL BE REQUIRED FOR BUILDINGS, WHEN BUILDINGS ARE LOCATED WITHIN 20 FEET OF AN UPWARD SLOPE.
- EXCAVATION AND TRENCHES MUST BE CUT SUFFICIENTLY WIDE TO ENABLE INSTALLATION AND ALLOW INSPECTION. ALL CONSTRUCTION AND SAFETY REGULATIONS MUST BE FOLLOWED AT ALL TIMES MEETING APPLICABLE CITY, STATE AND FEDERAL CONSTRUCTION SAFETY STANDARDS.
- DISCOVERY OF UNSUITABLE SOILS OR ROCK MUST BE IMMEDIATELY REPORTED TO THE OWNER AND ENGINEER. ALL EARTHWORK MUST NOT PROCEED AT THAT POINT UNTIL OWNER RELEASES THE CONTRACTOR TO PROCEED.
- MAXIMUM GRADED SLOPE ALLOWED 2H: 1V
- CONTRACTOR MUST HAVE GEOTECHNICAL ENGINEER OBSERVE AND APPROVE THE PROOF ROLLING OF ADDITIONAL PARKING AND DRIVE AREAS BEFORE AGGREGATE BASE COURSE IS APPLIED AND ALSO BEFORE THE ASPHALT OR CONCRETE IS APPLIED.
- PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
- CONNECT ALL DOWNSPOUTS WITH DOWNSPOUT BOOT TO ROOF DRAIN PIPING. ROOF STORM DRAIN SHALL BE A SOLID PVC SCH 40 WITH A MIN. 1' FOOT COVER. ROOF DRAIN SYSTEM SHALL BE A MIN. OF 5' AWAY FROM THE EXT. WALL AND SLOPED AT A MIN. OF 2.0% FROM ROOF DOWNSPOUTS TO THE STORM SEWER STRUCTURE. ROOF DRAINS MUST HAVE CLEANOUTS AT ALL BENDS.
- ALL SLOPES AND AREAS TO BE LANDSCAPED OR GRASSED SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED. NOTE USE OF TOPSOIL DOES NOT CHANGE FINISH GRADE CONTOURS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF UTILITIES AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS PROVIDED TO THE ENGINEER. INFORMATION SHOWN IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- CONTRACTOR SHALL FOLLOW ALL APPLICABLE SAFETY AND CONSTRUCTION PROCEDURES, ORDINANCES, CODES, AND STANDARDS.
- CONTRACTOR SHALL OBSERVE, PROTECT, AND PRESERVE ALL AREAS SHOWN TO BE PROTECTED SUCH AS TREE PROTECTED AREAS, UNDISTURBED BUFFERS, WETLANDS, STREAMS, STREAM BUFFERS, CEMETERIES, STRUCTURES TO REMAIN, ETC. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRS, DAMAGES, FINES, AND PENALTIES ASSOCIATED WITH FAILING TO PROTECT PROTECTED AREAS.
- UNDERPIN ANY ADJACENT WALL OR STRUCTURES WHICH MAY BE DAMAGED BY EXCAVATION WORK. COORDINATE UNDERPINNING WITH PROJECT STRUCTURAL ENGINEER.
- CONTRACTOR SHALL PROVIDE TEMPORARY DIVERSION DEVICES FOR OFFSITE DRAINAGE, ONSITE DRAINAGE, EXISTING STORM PIPING AND ROOF DRAINAGE AS NECESSARY TO CONTROL STORM WATER RUNOFF DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EARTHWORK AND GRADING OPERATIONS FROM GRADING, SEDIMENTATION, OR DAMAGE DURING CONSTRUCTION. REPAIR OR REPLACEMENT OF EARTHWORK SHALL BE THE CONTRACTOR'S RESPONSIBILITY AT NO ADDITIONAL COST TO THE OWNER. REMOVING AND CLEANING UP SEDIMENT ACCUMULATIONS SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
- AT THE END OF EACH DAY, AREAS FILLED THAT DAY MUST BE SEALED COMPLETELY BY COVERAGES BY ROLLING WITH A LOADED EARTH MOVING SCRAPER, DUMP TRUCK OR LARGE RUBBER Tired ROLLER.
- PROOF ROLL COMPACTED FILL SURFACES UNDER SLABS-ON-GRADE, PAVERS, AND PAVING IMMEDIATELY BEFORE THESE STRUCTURAL SURFACES ARE PLACED. THE SOILS ENGINEER SHALL WITNESS AND APPROVE ALL SUBGRADES BEFORE STRUCTURAL SURFACES ARE PLACED.
- CONTRACTOR SHALL PROVIDE ALL EXCAVATING, FILLING, BACKFILLING, IMPORTING, EXPORTING, AND GRADING REQUIRED TO BRING ENTIRE PROJECT TO THE FINAL GRADES AND ELEVATIONS SHOWN IN THE DESIGN DOCUMENTS.
- THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA STANDARD "PIPE CULVERTS" NUMBER 10300, LATEST EDITION SHALL BE USED IN DETERMINING THE CLASS OF REINFORCED CONCRETE PIPE OR GAUGE OF CORRUGATED STEEL PIPE OR TYPE 2 CORRUGATED ALUMINUM PIPE UNDER FILL AND THE METHOD OF BACKFILLING.
- FIELD JOINTS FOR CORRUGATED PIPE SHALL BE MADE WITH BANDS OF THE SAME BASE METAL AND COATING AS THE CORRUGATED PIPE. BANDS SHALL BE OF THE HUGGER TYPE, DESIGNED TO FULLY ENGAGE AT LEAST ONE ANNUAL CORRUGATION AT THE END OF EACH CORRUGATED PIPE AROUND ITS ENTIRE CIRCUMFERENCE. MINIMUM BAND WIDTH SHALL EQUAL THE CENTERLINE LENGTH OF FOUR (4) ANNUAL CORRUGATIONS. BANDS SHALL CONFORM TO CURRENT ASTM/ AASHTO INDUSTRY STANDARDS AS TO SECURING BOLTS, THEIR NUMBER AND PLACEMENT.
- CONCRETE PIPE SECTIONS MAY BE JOINED WITH BITUMINOUS PLASTIC CEMENT JOINTS, RUBBER-TYPE GASKET JOINTS, O-RING GASKET JOINTS OR PRE-FORMED PLASTIC GASKET JOINTS. IN BITUMINOUS PLASTIC CEMENT JOINTS, THE ANNUAL SPACE SHALL BE FILLED WITH JOINT MATERIAL, AND THE INSIDE OF EACH JOINT WIPED SMOOTH. RUBBER-TYPE, O-RING, AND PRE-FORMED PLASTIC GASKET JOINTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- ALL CATCH BASINS, DROP INLETS OR OTHER DRAINAGE STRUCTURES SHALL COMPLY WITH THE LATEST STANDARDS APPROVED AND PROMULGATED BY CITY OF ATLANTA AND BY THE GEORGIA DEPARTMENT OF TRANSPORTATION IN "STANDARDS SPECIFICATIONS FOR CONSTRUCTION OF ROADS AND BRIDGES", LATEST EDITION.
- ALL ORGANICS AND TOP SOIL SHALL BE REMOVED FROM THE ENTIRE FOOTPRINT OF THE BUILDING.
- FOR ASCMP STORM PIPE BENEATH PAVED SURFACES, PROVIDE #57 STONE BEDDING UP TO THE SPRING LINE.
- ALL STORMWATER INFRASTRUCTURE ON THIS SITE (OUT OF THE R/W) ARE PRIVATELY OWNED, AND ANY MAINTENANCE OR REPLACEMENT IS THE OWNER'S RESPONSIBILITY.
- ALL SITE WALLS ARE TO BE DESIGN/BUILT BY THE CONTRACTOR. THE ENGINEER OF RECORD FOR THE SITE WALLS SHALL DESIGN THE DRAINAGE SYSTEM REQUIRED TO REMOVE POTENTIAL GROUND WATER FROM BEHIND THE WALLS. NO WALL DRAINAGE SYSTEMS ARE SHOWN ON THESE DRAWINGS. SHOP DRAWINGS SHALL BE SUBMITTED TO THE OWNER FOR REVIEW OF THE PROPOSED WALL DRAINAGE SYSTEM.

UTILITY NOTES:

- ALL CONSTRUCTION TO CONFORM TO THE CITY OF HAPEVILLE SPECIFICATIONS AND IN ACCORDANCE WITH UTILITY HAVING JURISDICTION STANDARD & ORDINANCE.
- SEWER PIPE SHALL HAVE GRAVEL BEDDING.
- TRANSITION JOINTS BETWEEN SEWER PIPES OF DIFFERENT MATERIALS SHALL BE ACCOMPLISHED BY THE USE OF ADAPTERS. CONCRETE COLLARS ARE NOT ACCEPTABLE.
- SANITARY SEWER PIPE SHALL BE ASTM D3034, RATED SDR 35 WITH INTEGRAL BELL, BELL & SPIGOT TYPE JOINTS (WITH RUBBER), OR DUCTILE IRON (D.I.) PIPE (CLASS 52) WITH PUSH-ON OR MECHANICAL JOINTS UNLESS OTHERWISE NOTED.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF WATER SERVICE WITH GOVERNING JURISDICTION.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COSTS TO THE OWNER.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE, BUT IS NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- CONTRACTOR TO KEEP EXISTING UTILITIES ACTIVE UNTIL NEW LINE IS CONSTRUCTED AND SWITCHOVER OCCURS.
- THE SITE CONTRACTOR SHALL COORDINATE SERVICE ROUTING OF ALL GAS, TELEPHONE, AND ELECTRICAL LINES WITH THE APPROPRIATE UTILITY COMPANY. ALL CONSTRUCTION MUST COMPLY WITH EACH UTILITY'S STANDARDS AND SPECIFICATIONS AND NOT INTERFERE WITH TREE PLANTING SITES OR EXISTING TREES TO BE PRESERVED.
- DOMESTIC WATER SERVICE TO BE PROVIDED BY CITY OF HAPEVILLE WATER AND SEWER.
- IN NO INSTANCE SHALL A PROPOSED WATER MAIN INSTALLED AT THE SAME OR LOWER ELEVATION AS A PARALLEL SANITARY SEWER LINE IF THEIR LATERAL SEPARATION IS LESS THAN TEN(10) FEET. NO WATER MAINS MAY BE INSTALLED IN THE SAME DITCH AS A SANITARY SEWER LINE.
- MINIMUM COVER REQUIREMENTS FOR SANITARY SEWERS ARE 3' OF COVER IN NON-VEHICULAR TRAFFIC AREAS AND 6' OF COVER IN VEHICULAR TRAFFIC AREAS.
- MANHoles ARE REQUIRED FOR ALL SANITARY SEWERS >=8"DIAMETER AT THE END OF EACH SEWER; AT CHANGE IN GRADE, PIPE SIZE AND ALIGNMENT; AND AT INTERSECTING SEWERS.
 - INSIDE DROP MANHOLES ARE PERMITTED FOR DROPS UP TO 2' MAX. OUTSIDE DROP MANHOLES ARE ARE REQUIRED FOR DROPS > 2'
 - MANHOLES LOCATED INSIDE THE PROPERLY LINE, ARE REQUIRED FOR FOR PRIVATE SANITARY SEWERS OF 8" DIAMETER AND LARGER.
- FOR SEWERS LESS THAN 8", NEW CONNECTIONS TO THE PUBLIC SEWER SHALL BE MADE WITH A WFY FITTING, AND SHALL NOT EXCEED 15 DEGREES FROM PERPENDICULAR TO SEWER MAIN/MAIN LINE. FOR SEWERS >= 8" DIAMETER, NEW CONNECTIONS TO THE PUBLIC SEWER SHALL BE MADE AT A MANHOLE
- ALL PIPES SHALL BE CLASS 350 DUCTILE IRON PIPE UNLESS NOTED OTHERWISE.
- ALL SERVICES SHALL BE TYPE K COPPER UNLESS NOTED OTHERWISE.
- THRUST BLOCKS SHALL BE USED AT ALL BENDS, TEES, AND PLUGS (SEE DETAIL SHEET).
- LONG SERVICES SHALL BE 1" INSIDE 1 1/2" PVC CASING.
- COMPACTION EQUIPMENT SHALL BE USED ON WATER MAINS & SERVICES UNDER PAVEMENT.
- TRACER WIRE APPROVED BY PAULDING COUNTY WATER, SEWER & ENVIRONMENTAL SERVICES DEPARTMENT SHALL BE INSTALLED ON ALL PVC MAINS.
- ALL ELEVATIONS ARE BASED ON MEAN SEA LEVEL.
- THE OWNER WILL BE REQUIRED TO FURNISH THE WATER, SEWER & ENVIRONMENTAL SERVICES DEPARTMENT AS-BUILTS FOR ALL COMMERCIAL DEVELOPMENTS.
- THE DEVELOPER SHALL INSTALL ALL WATER SERVICES UP TO AND INCLUDING THE METER BOXES FOR ALL COMMERCIAL DEVELOPMENTS.
- WATER/SEWER DEVELOPMENT FEES WILL BE GIVEN AT FINAL PLAN APPROVAL BY THIS DEPARTMENT. NO WATER/SEWER FEES WILL BE GIVEN OVER THE PHONE OR PRIOR TO PLAN APPROVAL.
- NO PERMANENT STRUCTURES SHALL BE CONSTRUCTED WITHIN THE PERMANENT WATER OR SEWER EASEMENT.
- THE DEVELOPER SHALL NOTIFY THE WATER & SEWER SYSTEM INSPECTOR (770-445-7466) 24 HOURS PRIOR TO TAPPING THE SEWER LINE.
- SEWER PIPE SHALL HAVE GRAVEL BEDDING.
- TRANSITION JOINTS BETWEEN SEWER PIPES OF DIFFERENT MATERIALS SHALL BE ACCOMPLISHED BY THE USE OF ADAPTERS. CONCRETE COLLARS ARE NOT ACCEPTABLE.
- ALL TIE-INS TO EXISTING MANHOLES SHALL BE CORED. ALL MANHOLES REQUIRE "KOR-N-SEAL" OR EQUAL RUBBER BOOTS. EQUAL BOOTS MUST BE APPROVED BY THE WATER, SEWER & ENVIRONMENTAL SERVICES DEPARTMENT PRIOR TO USE.
- NO SEWER LINES SMALLER THAN EIGHT (8) INCHES SHALL BE TIED TO A COUNTY LINE OR MANHOLE, EXCLUDING SERVICE LATERALS.
- ALL RAILROAD AND/OR GOOT PERMITS FOR WORK IN THE RIGHT OF WAY HAVE BEEN APPLIED FOR.
- DUMPSTERS MUST BE ON REINFORCED CONCRETE PADS, SLOPED TO DRAIN. DUMPSTER PADS MUST BE CONNECTED TO A SANITARY SEWER AND MUST BE A MINIMUM OF 4" IN DIAMETER. FOR SITES IN FULTON COUNTY, FULTON COUNTY HEALTH DEPARTMENT (FCHD) DUMPSTER PERMIT IS REQUIRED AND THE FCHD CONSTRUCTION DETAILS MUST BE INCLUDED.
- PERMIT IS REQUIRED FOR NEW SEWER CONNECTIONS.
- PROVIDE COA STANDARD CLEAN-OUT ON EXISTING OR NEW SANITARY SEWER LATERAL, LOCATED JUST INSIDE THE PROPERTY LINE AND SHOW ON PLAN.
- THE MINIMUM EASEMENT REQUIRED FOR PROPOSED SANITARY SEWERS IS 20 FEET; DEEPER LINES MAY REQUIRE WIDER EASEMENTS.
- ALL SANITARY SEWERS, MANHOLES AND STRUCTURES MUST CONFORM TO COA STANDARD DETAILS, AND SUCH DETAILS MUST BE SHOWN ON PLANS.
- UTILIZE A NUMBERING/LETTERING SYSTEM TO IDENTIFY STRUCTURES ON THE PLAN AND PROFILES DRAWINGS.
- PROVIDE SANITARY SEWER PROFILE DRAWINGS FOR SANITARY SEWERS >=8" IN DIAMETER. DRAWINGS MUST INCLUDE:
 - TOP ELEVATIONS FOR ALL MANHOLES AND INVERT ELEVATION OF SEWER AT MANHOLES.
 - SLOPES FOR ALL SEWERS
 - LOCATION OF ANY UNDERGROUND UTILITIES OR OTHER FEATURES THAT MAY AFFECT CONSTRUCTION AND/OR FUTURE MAINTENANCE
 - MANHOLE AND STRUCTURE INVERTS SHALL BE DESIGNED TO PROVIDE FILL ACROSS THE MANHOLE
- A 2" DIAMETER PVC CONDUIT WILL BE USED TO ACCESS. ALL LOTS ON THE OPPOSITE SIDE OF THE STREET FROM THE WATER MAIN, EXCEPT IN CUL-DE-SACS.
- WATER MAINS, VALVES, HYDRANTS AND APPURTENANCES SHALL BE INSTALLED BEFORE THE INSTALLATION OF THE SUB-BASE COURSE OF PAVING OR ANY OTHER UTILITIES EXCEPT SANITARY SEWER LINES.
- ALL TAPS SHALL REMAIN EXPOSED AT THE MAIN UNTIL THE SYSTEM HAS BEEN SUCCESSFULLY INSPECTED, DISINFECTED AND TESTED FOR PRESSURE AS PROVIDED IN THE SUBDIVISION RULES AND REGULATIONS.
- WATER MAIN SHALL BE LAID SUCH THAT THE MINIMUM DEPTH OF COVER IS 4- FEET AND THE MAXIMUM COVER IS 5- FEET. WHEN ADDITIONAL DEPTH IS REQUIRED, THE DEPTH OF INSTALLATION AND ANY BENDS OR OFFSETS SHALL BE SHOWN ON PLANS. PROVIDE ADDITIONAL DETAILS OF ANY WATER AND SEWER OR UTILITY CROSSINGS AS NECESSARY.
- MAINS CROSSING STORM OR SANITATION SEWER SHALL BE LAID TO PROVIDE A MINIMUM 18-INCH BETWEEN BOTTOM OF 1 TOP OF SEWER. AT CROSSINGS, A FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO THAT BOTH JOINTS WILL BE AS FAR AWAY FROM SEWER AS POSSIBLE. WATER MAINS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM THE EXISTING OR PROPOSED SANITARY SEWER, STORM SEWER OR SEWER MANHOLE. THE DISTANCE SHALL BE MEASURED EDGE-TO-EDGE. IF THIS CAN'T BE ACHIEVED, THE WATER LINE MUST BE ENCASED. IN NO INSTANCE SHALL A PROPOSED WATER MAIN INSTALLED AT THE SAME OR LOWER ELEVATION AS A PARALLEL SANITARY SEWER LINES IF THEIR LATERAL SEPARATION IS LESS THAN TEN FEET. NO WATER MAINS MAY BE INSTALLED IN THE SAME DITCH AS A SANITARY SEWER LINE.
- WHERE WATER CROSSES UNDER SEWER, PROVIDE VERTICAL SEPARATION OF 18-INCHES, PROVIDE ADEQUATE SUPPORT FOR SEWERS TO PREVENT JOINT DEFLECTION, SETTLING ON & BREAKING WATER MAINS; BOTH WATER & SEWER MAIN CONSTRUCTED OF D.I.P. WATER TIGHT MATERIAL & SUBJECTED TO HYDROSTATIC TESTING.
- IF THE WATER LINE IS CROSSING ANOTHER UTILITY, A PROFILE PLAN SHOWING ELEVATIONS AND STATIONS IS REQUIRED
- EVERY WATER MAIN SHALL BE TERMINATED AT THE END OF THE LINE WITH A "DEAD MAN" ASSEMBLY.

24 HOUR EMERGENCY CONTACT: MILLER LOWRY 770-289-9179

CEC
CIVIL ENGINEERING CONSULTANTS, INC.
Civil & Environmental Engineering
June 25, 2019

Mr. Trish Bartlett
Founding Partner
Crescent View Engineering, LLC
211 Frasier Street
Marietta, GA 30060

RE: Fire Hydrant Test Results for two properties, City of Hapeville, Georgia

Dear Mr. Bartlett:

On Thursday, June 20, 2019, Civil Engineering Consultants, Inc. (CEC) performed four (4) fire hydrant flow tests and one (1) 24-hour static pressure test (Thursday through Friday) for two properties in City of Hapeville, Georgia. Hydrant #1, #2 and #3 are located close to the property on Central Avenue. Hydrant #4 and #5 are located close to the property on King Arnold Street.

Hydrant #5 was unable to be tested. Brandon Stevens with City of Hapeville mentioned that hydrant #5 has previously been tested and the results could be found from the water department.

A decreased Hydraulic Grade Line (HGL) to the lowest sustained pressure during the 24-hour static (Thursday through Friday) pressure test is used for Hydrant #1, #3 and #4 to simulate periods of high sustained demand for flows at 20 psi.

A decreased Hydraulic Grade Line (HGL) of 5 psi is used for Hydrant #2 as this hydrant is on City of Atlanta's water system.

The results of the tests for hydrant #1, #2, #3 and #4 are given in the following tables.

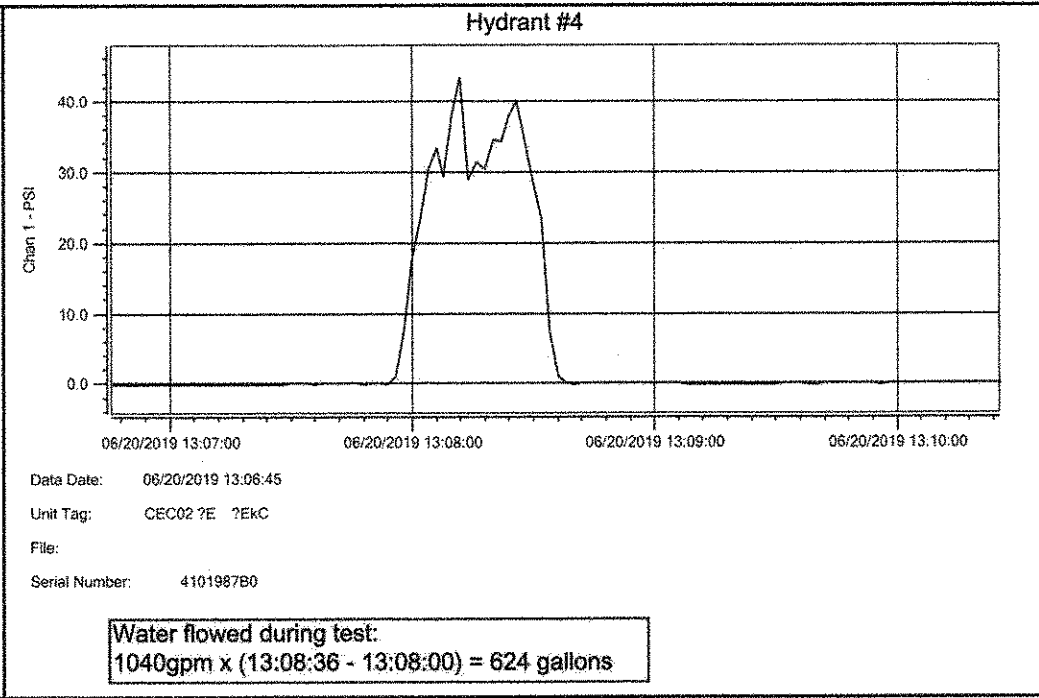
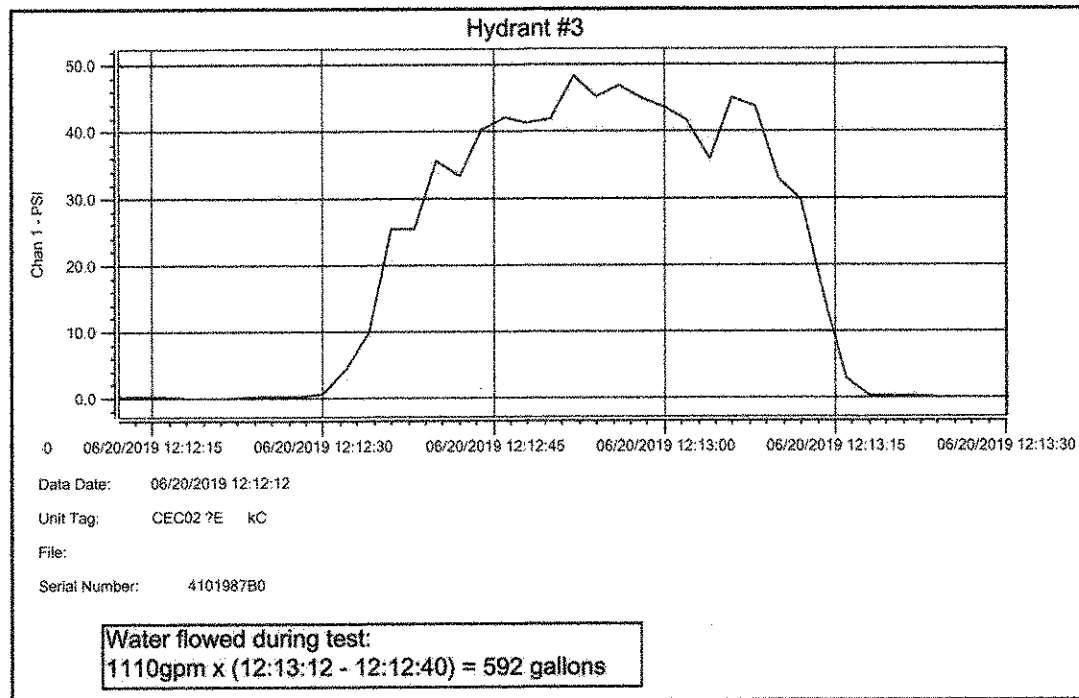
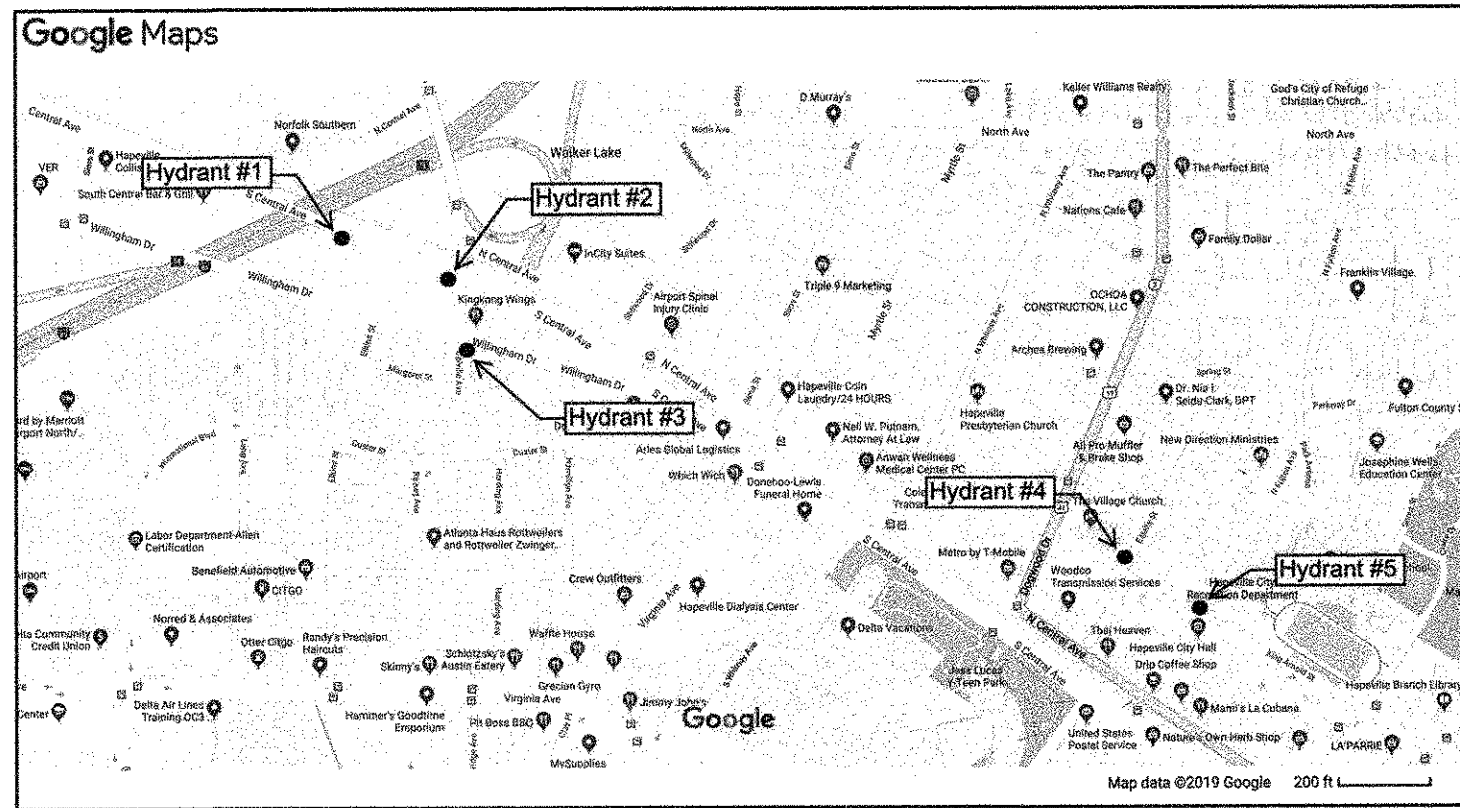
Fire Hydrant #1			
Test Made by: <u>Scott Madsen</u>	Date: <u>06/20/19</u>	Time: <u>11:40 AM</u>	
Representative of: <u>Civil Engineering Consultants, Inc.</u>	Water System Owner: <u>City of Hapeville</u>		
Witness: <u>Brandon Stevens</u>	Water Main Size: <u>N/A</u>		
Static Pressure: <u>71 psi</u>	Residual Pressure: <u>40 psi</u>		
Minimum Sustained 24-Hr Static Pressure: <u>59 psi</u>			
Flow: <u>1,060 gpm</u>	Flow at residual pressure of 20 psi: <u>1,200 gpm</u>		
Water flowed during test: <u>707 gallons</u>			

Mr. Trish Bartlett
June 25, 2019
Page 2 of 3

Fire Hydrant #2		
Test Made by: <u>Scott Madsen</u>	Date: <u>06/20/19</u>	Time: <u>12:02 PM</u>
Representative of: <u>Civil Engineering Consultants, Inc.</u>	Water System Owner: <u>City of Atlanta</u>	
Witness: <u>Brandon Stevens</u>	Water Main Size: <u>N/A</u>	
Static Pressure: <u>72 psi</u>	Residual Pressure: <u>48 psi</u>	
Flow: <u>1,160 gpm</u>	Flow at residual pressure of 20 psi: <u>1,668 gpm</u>	
Water flowed during test: <u>619 gallons</u>		

Fire Hydrant #3			
Test Made by: <u>Scott Madsen</u>	Date: <u>06/20/19</u>	Time: <u>11:40 AM</u>	
Representative of: <u>Civil Engineering Consultants, Inc.</u>	Water System Owner: <u>City of Hapeville</u>		
Witness: <u>Brandon Stevens</u>	Water Main Size: <u>N/A</u>		
Static Pressure: <u>72 psi</u>	Residual Pressure: <u>44 psi</u>		
Minimum Sustained 24-Hr Static Pressure: <u>60 psi</u>			
Flow: <u>1,110 gpm</u>	Flow at residual pressure of 20 psi: <u>1,346 gpm</u>		
Water flowed during test: <u>592 gallons</u>			

Fire Hydrant #4			
Test Made by: <u>Scott Madsen</u>	Date: <u>06/20/19</u>	Time: <u>1:08 PM</u>	
Representative of: <u>Civil Engineering Consultants, Inc.</u>	Water System Owner: <u>City of Hapeville</u>		
Witness: <u>Brandon Stevens</u>	Water Main Size: <u>N/A</u>		
Static Pressure: <u>80 psi</u>	Residual Pressure: <u>38 psi</u>		
Minimum Sustained 24-Hr Static Pressure: <u>68 psi</u>			
Flow: <u>1,040 gpm</u>	Flow at residual pressure of 20 psi: <u>1,118 gpm</u>		
Water flowed during test: <u>624 gallons</u>			



Prepared By:
**CRESCENT VIEW
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Prepared For:
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2984 Peachtree Road NW Suite 640
HAPEVILLE, GA 30305

Utility Notes + Fire Flow Tests

DATE		7-8-19		REVISIONS	
SCALE		AS SHOWN			
DRAWN		A. R.			
CHECKED		G.H.B.			



Construction Plan Set For:
King Arnold Townhomes
Land Lots 95 & 98, 14th District
City of Hapeville, Fulton County, Georgia

CVI PI # 18-403

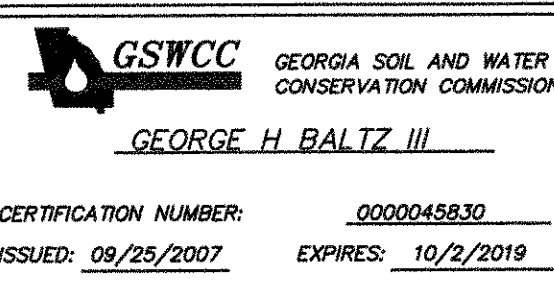
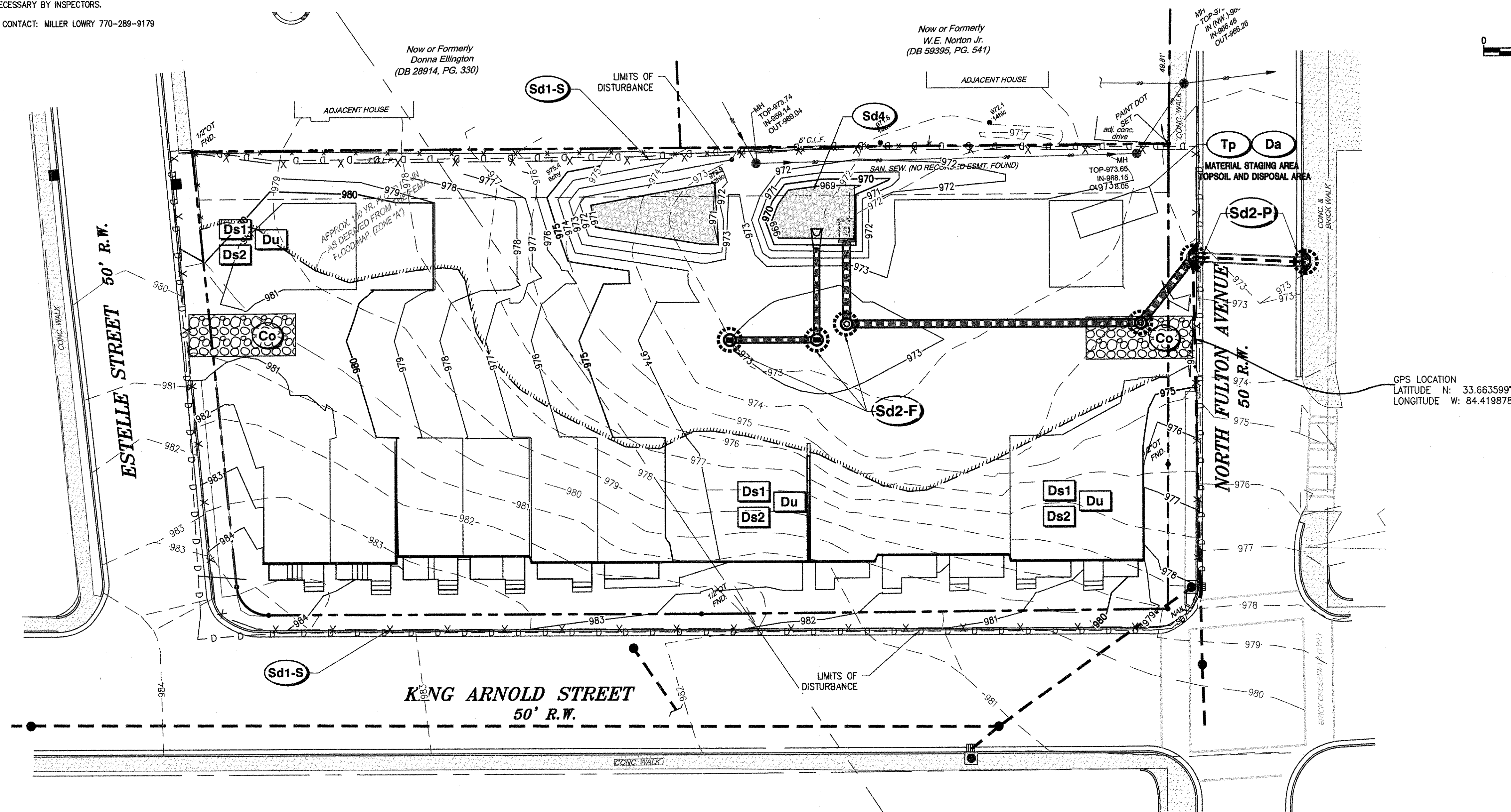
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C-3.1

1. THE CONSTRUCTION PAD SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC STREETS.
2. SILT FENCES AND HAY BALE BARRIERS SHALL BE CLEANED OR REPLACED AND MAINTAINED IN FUNCTIONAL CONDITION UNTIL PERMANENT EROSION CONTROL MEASURES ARE ESTABLISHED.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATION OF THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
4. THE CONTRACTOR SHALL CLEAN OUT ALL ACCUMULATED SILT FROM THE SEDIMENT PONDS ONCE ALL DISTURBED AREAS ARE STABILIZED WITH PERMANENT VEGETATION.
5. EROSION CONTROL DEVICES WILL BE IN PLACE BEFORE SITE DISTURBANCE AND WILL BE PERIODICALLY INSPECTED AND REPAIRED OR RESTORED AS NEEDED TO FUNCTION PROPERLY UNTIL PERMANENT MEASURES ARE ESTABLISHED AND PROJECT IS COMPLETE, I.E.: CONSTRUCTION EXITS AND SILT FENCES SHALL BE RETOPPED OR CLEANED AS SILT REDUCES THEIR EFFECTIVENESS.
6. ANY ADDITIONAL CONSTRUCTION OTHER THAN SHOWN ON THIS PLAN WILL REQUIRE SEPARATE AND ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AND APPROVAL.
7. TEMPORARY VEGETATION AND/OR HEAVY MULCH WILL BE USED TO STABILIZE AREAS. IN NO CASE SHALL A SITE BE LEFT BARE FOR MORE THAN 14 DAYS.
8. ALL DISTURBED AREAS WILL BE PERMANENTLY LANDSCAPED AND GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT.
9. ADDITIONAL MEASURES MAY BE REQUIRED TO CONTROL EROSION AS DETERMINED NECESSARY BY INSPECTORS.
10. PERSON RESPONSIBLE FOR EROSION CONTROL MEASURES IS: 24 HOUR EMERGENCY CONTACT: MILLER LOWRY 770-289-9179
11. CUT AND FILL SLOPES NOT TO EXCEED 2H:1V.
12. SEDIMENTATION & EROSION CONTROL MEASURES TO BE INSPECTED DAILY.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING. EROSION CONTROL AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

TOTAL SITE ACRES = 0.993 ACRES
TOTAL DISTURBED AREA = 1.089 ACRES



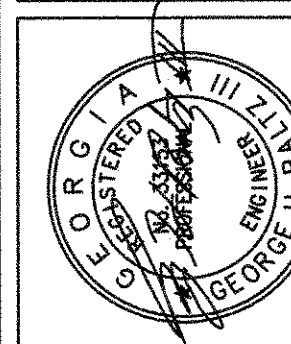
THERE ARE NO WATERS OF THE STATE THAT EXIST ONSITE. THERE ARE NO STATE WATERS THAT EXIST WITHIN 200 FEET OF THE SITE. ALL APPROPRIATE BUFFERS ARE SHOWN ON THE PLANS

NO PORTION OF THIS SITE IS LOCATED WITHIN A FLOOD ZONE [A, AE, SHADED ZONE X]
AS DEFINED BY FIRM PANEL NUMBER 13121C0366 F DATED SEPTEMBER 18, 2013, FOR
FULTON COUNTY AND INCORPORATED AREAS.

Prepared For:
Miller Lowry Developments, LLC

Erosion Control Plan

DATE	7-8-19	REVISIONS	
SCALE	AS SHOWN		
DRAWN	A. R.		



Construction Plan Set For:
King Arnold Townhomes
 Land Lots 95 & 98, 14th District
 City of Hapeville, Fulton County, Georgia

CVE PI #	18-403
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Sheet No.

C-4

APPLICATION OF MULCH

DRY STRAW OR HAY APPLIED TO DEPTH OF 2 - 4 INCHES
WOOD CHIPS, BARK, SANDUST APPLIED TO DEPTH OF 2 - 3 INCHES

Ds1

PLANTS, PLANTING RATES, & PLANTING DATES FOR TEMPORARY COVER OR COMPANION CROPS									
SPECIES	BROADCAST RATES 2/-PLS 3/ PER ACRE SO. FL.	PLANTING DATES BY RESOURCE AREA 4/2 DOTTED LINES INDICATE PERMISSIBLE BUT MARGINAL DATES	REMARKS	SPECIES	BROADCAST RATES 2/-PLS 3/ PER ACRE SO. FL.	PLANTING DATES BY RESOURCE AREA 4/2 DOTTED LINES INDICATE PERMISSIBLE BUT MARGINAL DATES	REMARKS	SPECIES	BROADCAST RATES 2/-PLS 3/ PER ACRE SO. FL.
BARLEY (HORDEUM VULGARE)	3 bu. 3.3 lb. (144 lb.)	M-L C	14,000 SEED PER POUND. WINTERHARDY, USE ON PRODUCTIVE SOILS.	MILLET (PENISTETUM GLAUCUM)	50 lbs. 1.1 lb.	M-L C	10,000 SEED PER POUND. QUICK DENSE COVER. MAY BECH 6 FEET IN HEIGHT. NOT RECOMMENDED FOR MIXTURES.	BERMUDA SPRISS (CYNODON DACTYLON)	40 cu. ft. 0.9 cu. ft. OR 500 PLS 3/3'
ALONE				ALONE				ALONE	
IN MIXTURES	1/2 bu. 0.6 lb. (24 lb.)			IN MIXTURES				IN MIXTURES	
LESPEDEZA ANNUAL (LESPEDEZA STRATA)	40 lbs. 0.9 lb.	M-L C	200,000 SEED PER POUND. MAY WINTERHARDY FOR SEVERAL YEARS. USE INOCULANT EL.	RYE (SECALE CEREALE)	3 bu. 3.9 lb. (168 lb.)	M-L C	18,000 SEED PER POUND. QUICK COVER. DROUGHT TOLERANT AND WINTERHARDY.	ESPECUE, TALL (FESTUCA ARUNDINACEA)	50 lbs. 1.1 lb.
ALONE				ALONE				ALONE	
IN MIXTURES	10 lbs. 0.2 lb.			IN MIXTURES				IN MIXTURES	
LOWGROSS, WEEPING (ERAGROSTIS CURVULA)	4 lbs. 0.1 lb.	M-L C	1,500,000 SEED PER POUND. MAY LAST FOR SEVERAL YEARS. MIX WITH SERICEA LESPEDEZA.	BERMUDA, COMMON (CYNODON DACTYLON)	10 lbs. 0.2 lb.	M-L C	1,787,000 SEED PER POUND. QUICK COVER. LOW GROWING & SOD FORMING. FULL SUN. GOOD FOR ATHLETIC FIELDS.	ALONE	
ALONE				ALONE				WITH OTHER PERENNIALS	
IN MIXTURES	2 lbs. 0.05 lb.			IN MIXTURES				WITH OTHER PERENNIALS	
MILLET, BROWN TOP (Panicum PASCUICULUM)	40 lbs. 0.9 lb.	M-L C	12,000 SEED PER POUND. QUICK DENSE COVER. WILL PROVIDE TOO MUCH COMPETITION IN MIXTURES IF SEED AT HIGH RATES.	BERMUDA, COMMON (CYNODON DACTYLON)	10 lbs. 0.2 lb.	M-L C	1,787,000 SEED PER POUND. QUICK COVER. LOW GROWING & SOD FORMING. FULL SUN. GOOD FOR ATHLETIC FIELDS.	ALONE	
ALONE				ALONE				WITH OTHER PERENNIALS	
IN MIXTURES	10 lbs. 0.2 lb.			IN MIXTURES				WITH OTHER PERENNIALS	

TEMPORARY GRASSING

NOT TO SCALE

Ds2

TOP OF SPECIES	YEAR	ANALYSIS OF EQUIVALENT N-P-K	RATE	TOP DRESSING RATE
1. COOL SEASON GRASSES	FIRST MAINTENANCE	8-12-12	1500 lb./ac.	10-100 lb./ac. 1/2
2. COOL SEASON GRASSES AND LEGUMES	FIRST MAINTENANCE	8-12-12	1500 lb./ac.	0-50 lb./ac. 1/
3. GRASS COVERS	FIRST MAINTENANCE	8-12-12	1500 lb./ac.	0-50 lb./ac. 1/
4. PINE SEEDLING	FIRST MAINTENANCE	8-12-12	1500 lb./ac.	0-50 lb./ac. 1/
5. SHRUB LESPEDEZA	FIRST MAINTENANCE	8-12-12	1500 lb./ac.	0-50 lb./ac. 1/
6. TEMPORARY COVER CROPS SEEDS ALONE	FIRST MAINTENANCE	8-12-12	1500 lb./ac.	0-50 lb./ac. 1/
7. WARM SEASON GRASSES	FIRST MAINTENANCE	8-12-12	1500 lb./ac.	0-50 lb./ac. 1/
8. WARM SEASON GRASSES AND LEGUMES	FIRST MAINTENANCE	8-12-12	1500 lb./ac.	0-50 lb./ac. 1/

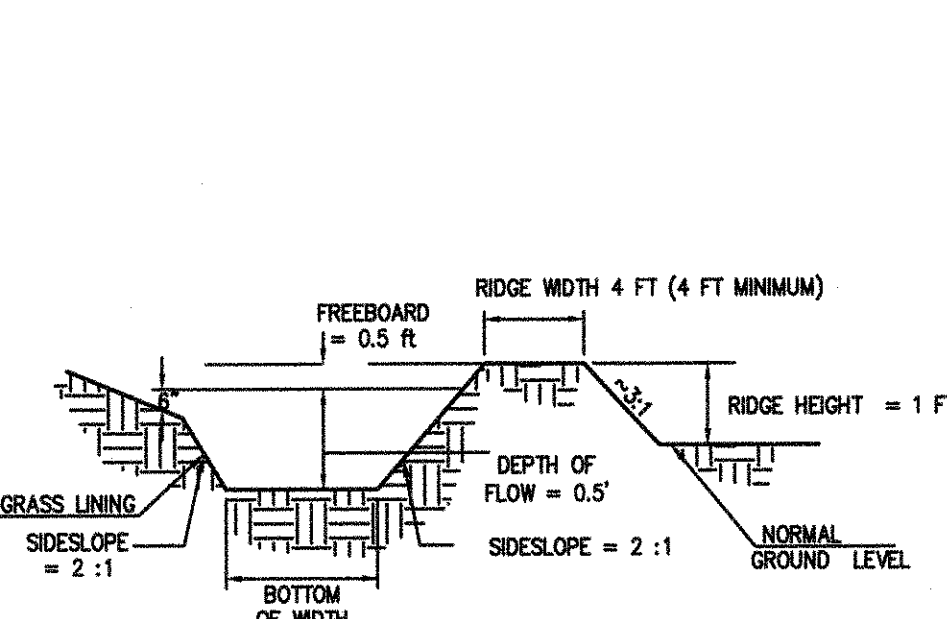
- 1) APPLY IN SPRING FOLLOWING SEEDING.
- 2) APPLY IN SPLIT APPLICATIONS WHEN HIGH RATES ARE USED.
- 3) APPLY IN 3 SPLIT APPLICATIONS.
- 4) APPLY WHEN PLANTS ARE PRUNED.
- 5) APPLY TO GRASS SPECIES ONLY.
- 6) APPLY WHEN PLANTS GROW TO A HEIGHT OF 2 TO 4 INCHES.

LIME APPLICATION REQUIREMENT - 2 TONS/ACRE
50% PASS THROUGH 10 - MESH SIEVE
25% PASS THROUGH 25 - MESH SIEVE

FERTILIZERS

NOT TO SCALE

DI #1 - Q10 = 1.99 cfs, V10 = 2.2 fps, W = 1 ft, D = 0.5 ft



MAINTENANCE OF THIS EROSION CONTROL PRACTICE TO COMPLY WITH PRACTICES FOUND IN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA MOST CURRENT EDITION

DIVERSION

NOT TO SCALE

DI

DUST CONTROL ON DISTURBED AREAS

SITE MUST BE CONTROLLED TO PREVENT SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADS, AND DEMOLITION AREAS. CONTRACTOR SHALL UTILIZE ADDITIONAL MEASURES TO CONTROL DUST AS REQUIRED -
TEMPORARY METHODS: Ds1-MULCHING, Ds2-TACKERS AND BINDERS, Ds3-TEMPORARY SEEDING, SPRAY ON ADHESIVES, IRRIGATION
PERMANENT METHODS: Ds3-PERMANENT VEGETATION, Ds4-SODDING

Du

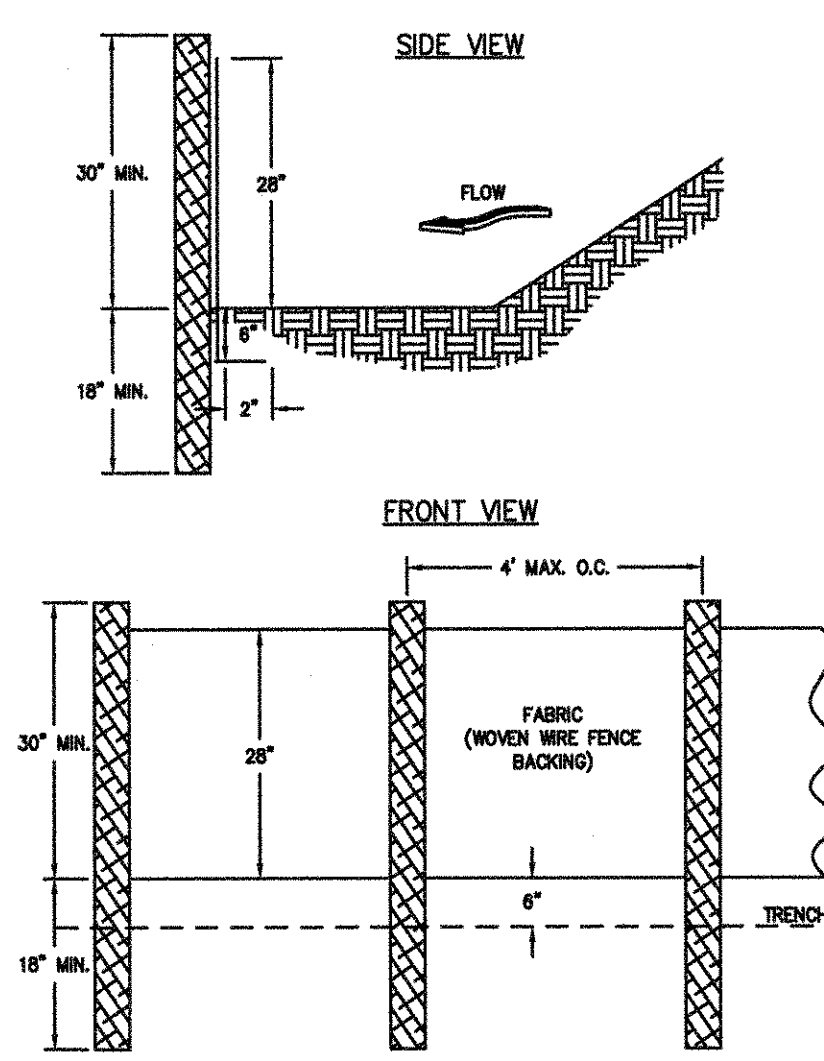
PLANTS, PLANTING RATES, & PLANTING DATES FOR PERMANENT COVER									
SPECIES	BROADCAST RATES 2/-PLS 3/ PER ACRE SO. FL.	PLANTING DATES BY RESOURCE AREA 4/2 DOTTED LINES INDICATE PERMISSIBLE BUT MARGINAL DATES	REMARKS	SPECIES	BROADCAST RATES 2/-PLS 3/ PER ACRE SO. FL.	PLANTING DATES BY RESOURCE AREA 4/2 DOTTED LINES INDICATE PERMISSIBLE BUT MARGINAL DATES	REMARKS	SPECIES	BROADCAST RATES 2/-PLS 3/ PER ACRE SO. FL.
BAHIA, PENSACOLA (PASPALUM NOTATUM)	60 lbs. 1.4 lb.	M-L C	108,000 SEED PER POUND. LOW GROWING SOD FORMING. SLOW TO ESTABLISH. PLANT W/ A COMPANION CROP. WILL SPREAD INTO BERMUDA PASTURES & LAWNS. MICROCLIMATIC, COMMON. OR TIFT 44	BERMUDA SPRISS (CYNODON DACTYLON)	40 cu. ft. 0.9 cu. ft. OR 500 PLS 3/3'	M-L C	A CUBIC FOOT CONTAINS APPROXIMATELY 650 SPRIGS. A BUSHEL CONTAINS 1.25 CUBIC FEET OR APPROXIMATELY 800 SPRIGS.	ESPECUE, TALL (FESTUCA ARUNDINACEA)	50 lbs. 1.1 lb.
ALONE OR WITH TEMPORARY COVER				ALONE				ALONE	
IN MIXTURES	30 lbs. 0.7 lb.			IN MIXTURES				IN MIXTURES	
BAHIA, WILMINGTON (PASPALUM NOTATUM)	60 lbs. 1.4 lb.	M-L C	108,000 SEED PER POUND. LOW GROWING SOD FORMING. SLOW TO ESTABLISH. PLANT W/ A COMPANION CROP. WILL SPREAD INTO BERMUDA PASTURES & LAWNS. MICROCLIMATIC, COMMON. OR TIFT 44	BERMUDA, COMMON (CYNODON DACTYLON)	10 lbs. 0.2 lb.	M-L C	1,787,000 SEED PER POUND. QUICK COVER. LOW GROWING & SOD FORMING. FULL SUN. GOOD FOR ATHLETIC FIELDS.	ALONE	
ALONE OR WITH TEMPORARY COVER				ALONE				WITH OTHER PERENNIALS	
IN MIXTURES	30 lbs. 0.7 lb.			IN MIXTURES				WITH OTHER PERENNIALS	
BERMUDA, COMMON (CYNODON DACTYLON)	10 lbs. 0.2 lb.	M-L C	1,787,000 SEED PER POUND. QUICK COVER. LOW GROWING & SOD FORMING. FULL SUN. GOOD FOR ATHLETIC FIELDS.	BERMUDA, COMMON (CYNODON DACTYLON)	10 lbs. 0.2 lb.	M-L C	1,787,000 SEED PER POUND. QUICK COVER. LOW GROWING & SOD FORMING. FULL SUN. GOOD FOR ATHLETIC FIELDS.	ALONE	
ALONE				ALONE				WITH OTHER PERENNIALS	
WITH TEMPORARY COVER				WITH TEMPORARY COVER				WITH OTHER PERENNIALS	
WITH OTHER PERENNIALS				WITH OTHER PERENNIALS				WITH OTHER PERENNIALS	

PERMANENT GRASSING

NOT TO SCALE

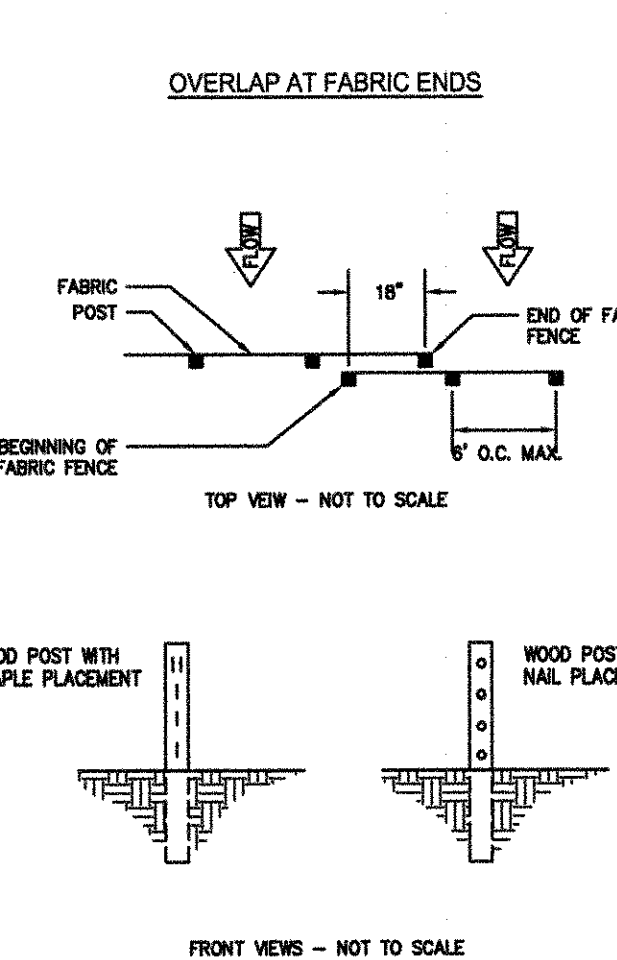
Ds3

SILT FENCE - TYPE SENSITIVE



1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
2. HEIGHT (H) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

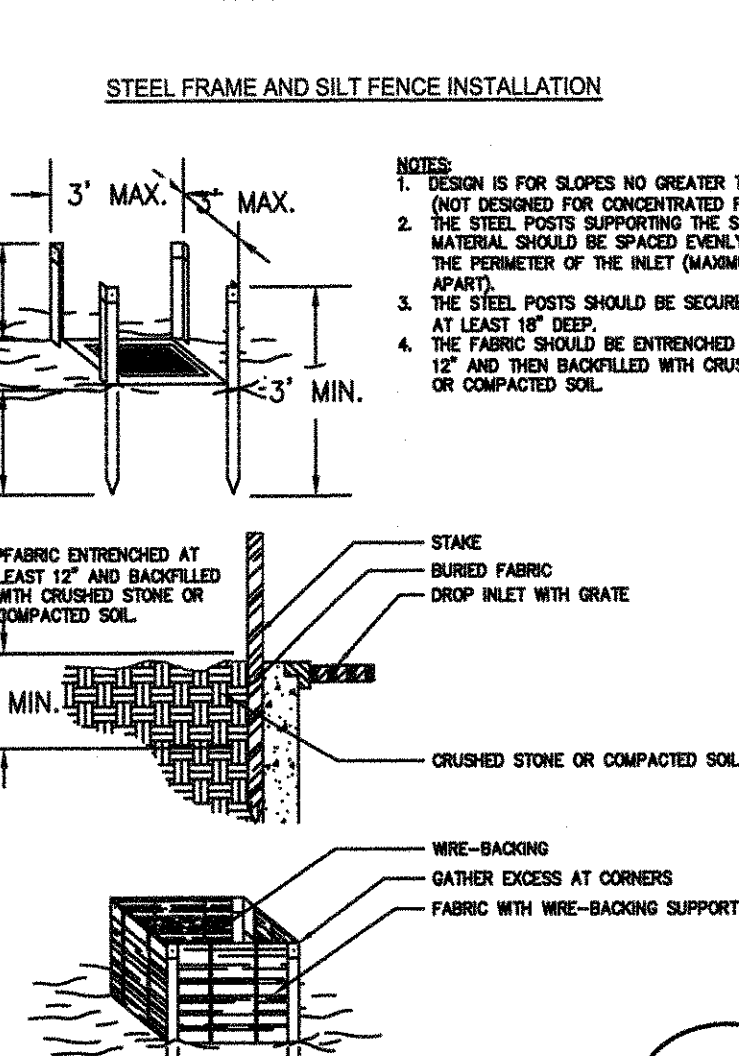
FASTENERS FOR SILT FENCES



1. THE FABRIC AND WIRE SHOULD BE SECURELY FASTENED TO POSTS AND FABRIC ENDS MUST BE OVERLAPPED A MINIMUM OF 18" OR WIPPED TOGETHER AROUND A POST TO PROVIDE A CONTINUOUS FABRIC BARRIER AROUND THE INLET.

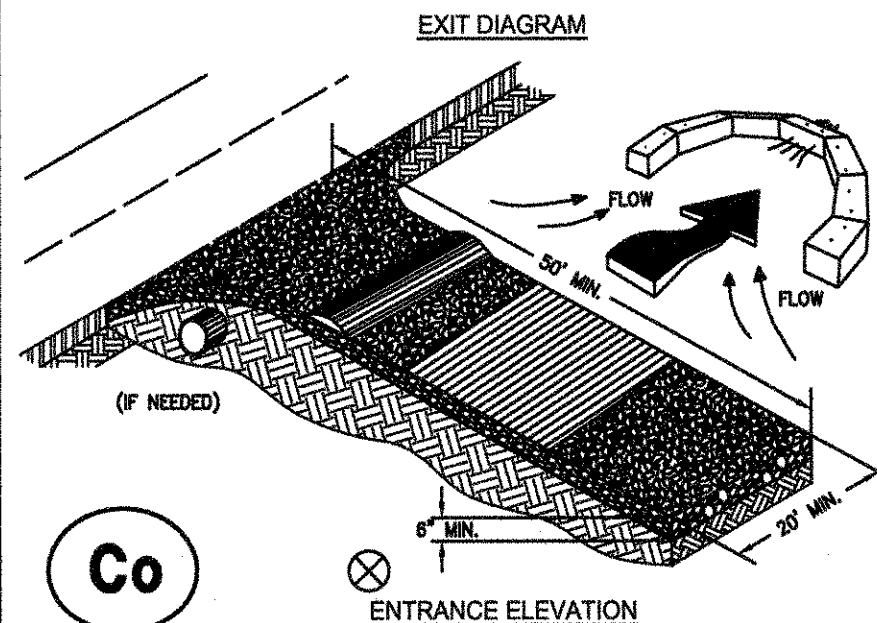
Sd1-S

FABRIC AND SUPPORTING FRAME FOR INLET PROTECTION



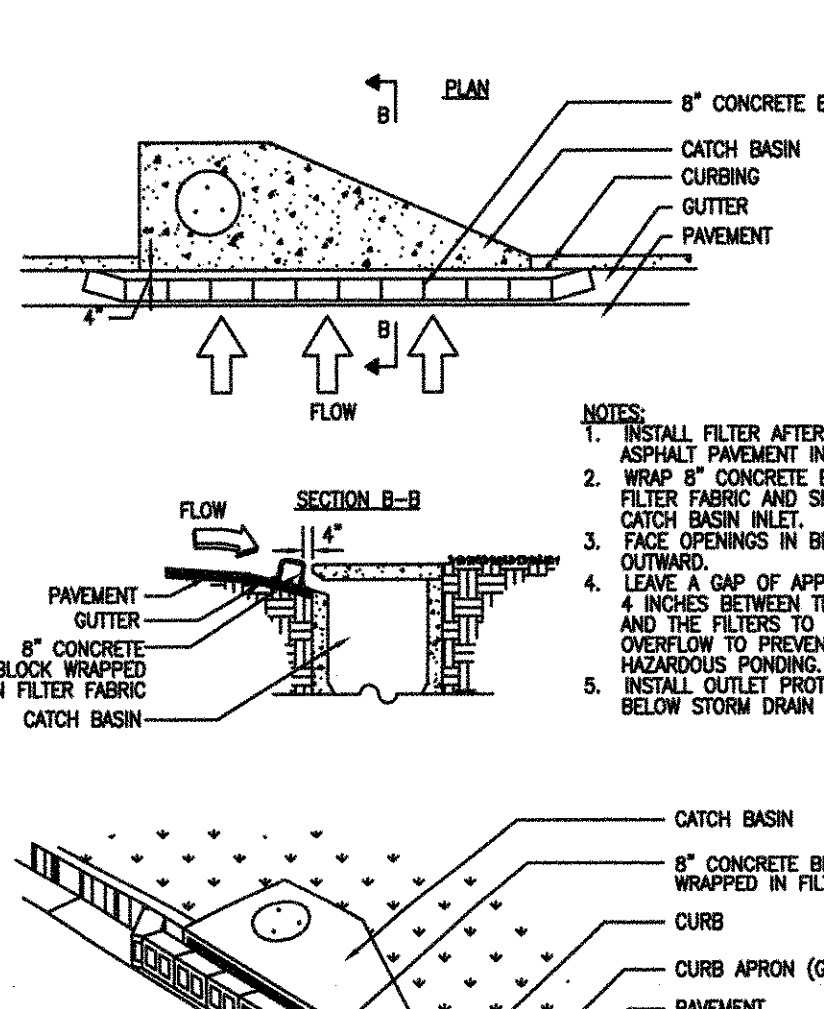
Sd2-F

CRUSHED STONE CONSTRUCTION EXIT



1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 20'.
7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (CONVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
9. WASHINGS AND/OR THE WASHINGS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHING DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

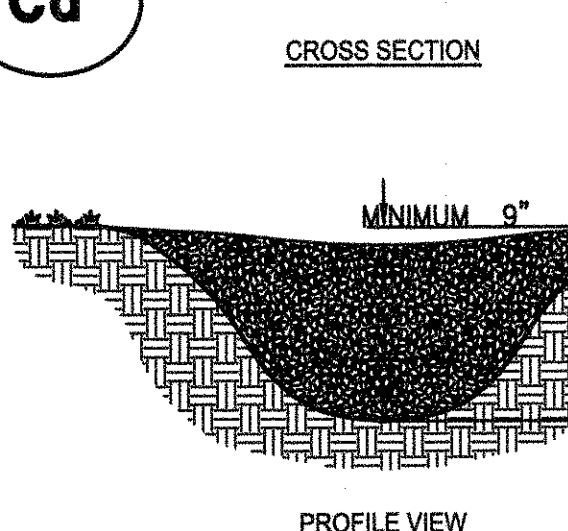
CURB INLET FILTER "PIGS IN BLANKET"



1. INSTALL FILTER AFTER ANY ASPHALT PAVEMENT INSTALLATION.
2. WRAP 6" CONCRETE BLOCKS IN FILTER FABRIC AND SPAN ACROSS CATCH BASIN INLET.
3. FACE OPENINGS IN BLOCKS OUTWARD.
4. LEAVE A GAP OF APPROXIMATELY 4 INCHES BETWEEN THE CURB AND THE FILTERS TO ALLOW FOR OVERFLOW TO PREVENT HAZARDOUS PONDING.
5. INSTALL OUTLET PROTECTION BELOW STORM DRAIN OUTLETS.

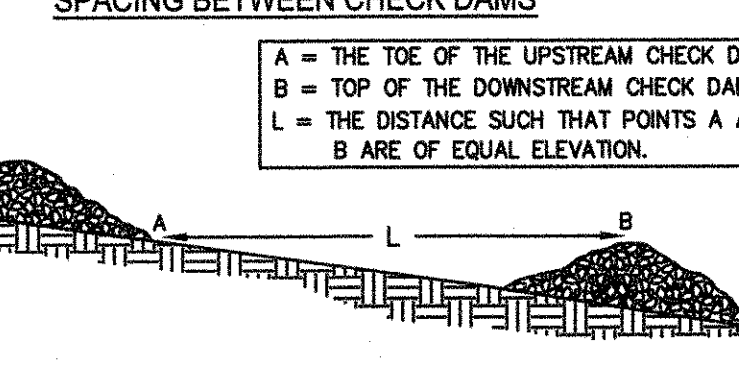
Sd2-P

STONE CHECK DAM



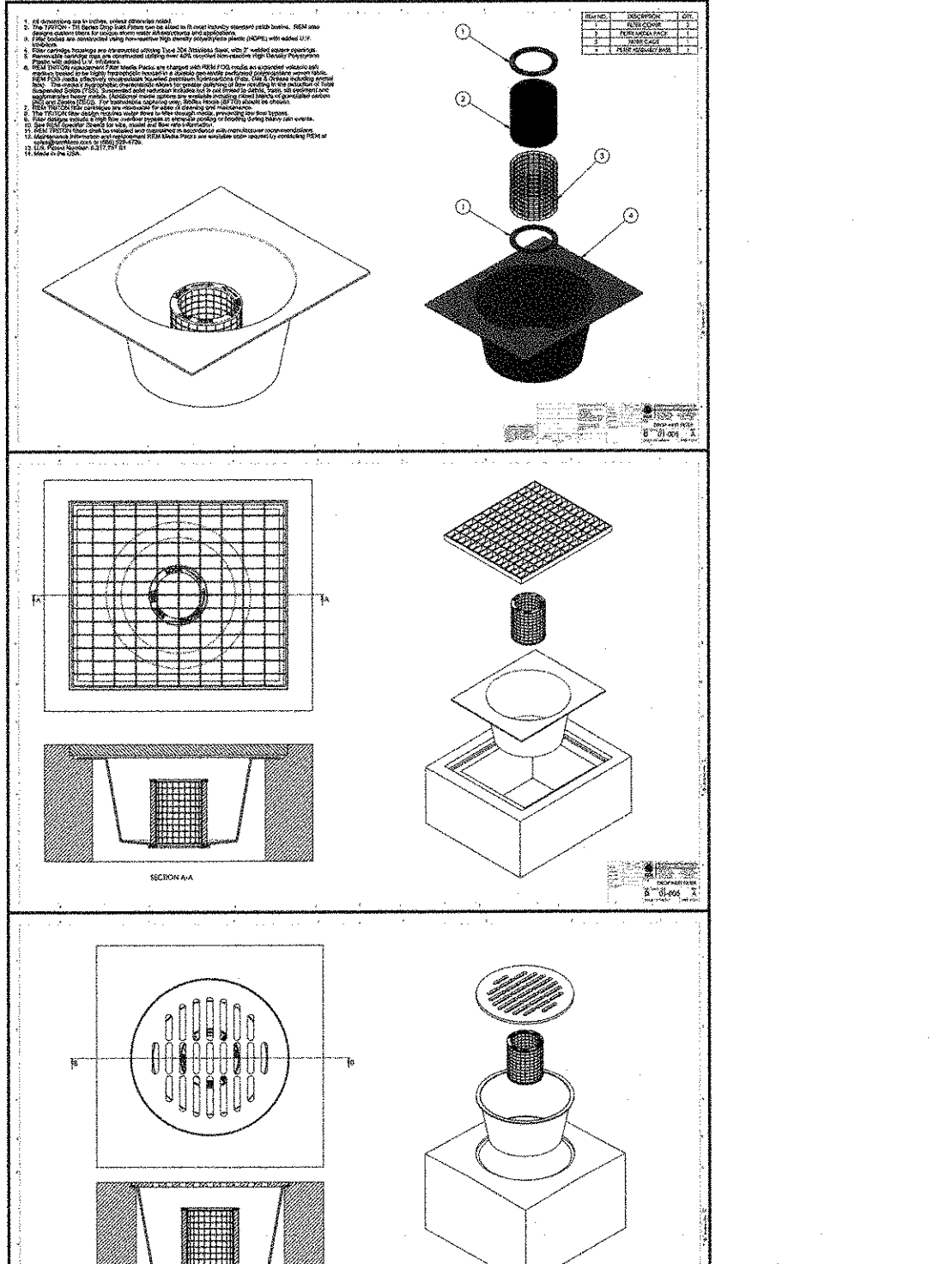
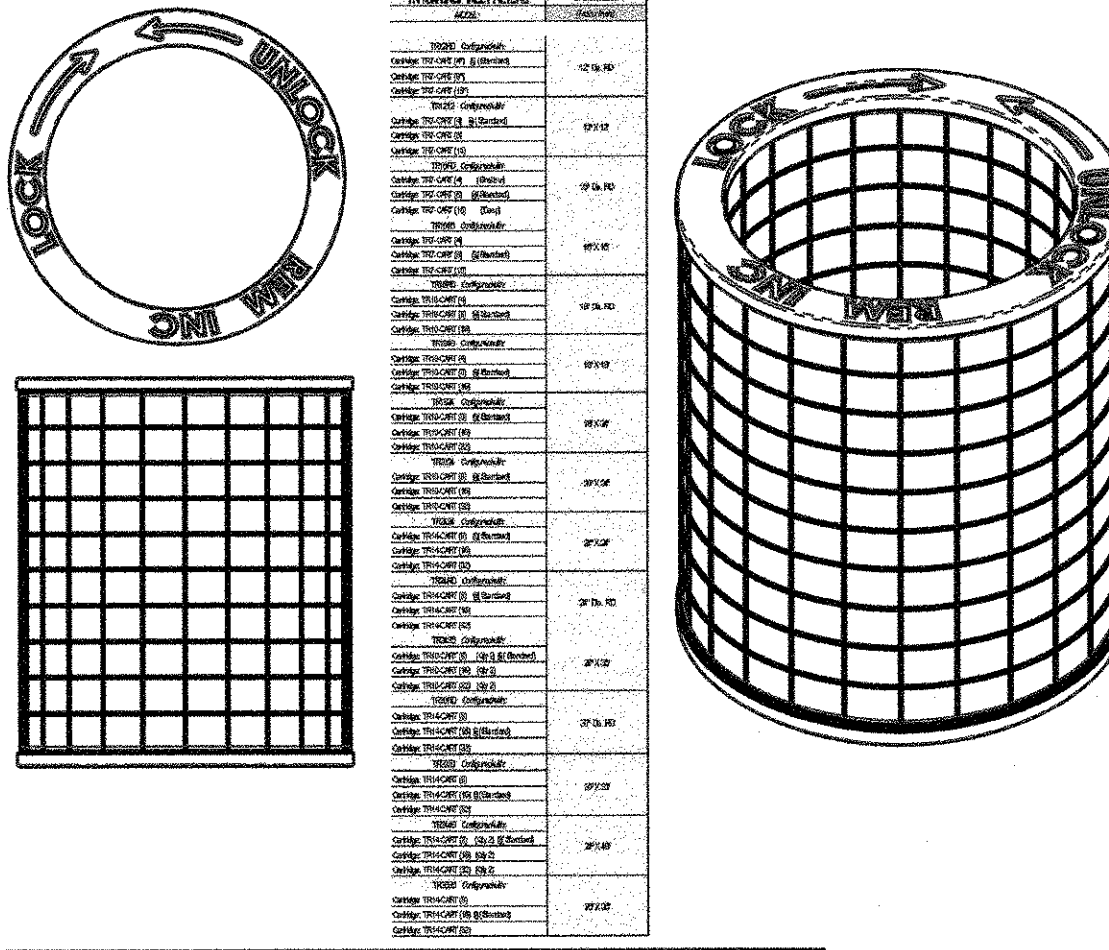
1. CHECK DAMS ARE TO BE USED ONLY IN SMALL OPEN CHANNELS (THEY ARE NOT TO BE USED IN LIVE STREAMS).
2. THE DRAINAGE AREA FOR STONE CHECK DAMS SHALL NOT EXCEED TWO ACRES.
3. THE CENTER OF THE CHECK DAM MUST BE AT LEAST 9 INCHES LOWER THAN THE OUTER EDGES.
4. THE DAM HEIGHT SHOULD BE A MAXIMUM OF 2 FEET FROM CENTER TO RIM EDGE.
5. THE SIDE SLOPES OF THE CHECK DAM SHALL NOT EXCEED A 2:1 SLOPE.
6. GEOTEXTILE SHALL BE USED TO PREVENT THE MITIGATION OF SUBGRADE SOIL PARTICLES INTO THE STONES (REFER TO ASHITO M288-96, SECTION 7.3, TABLE 3).

SPACING BETWEEN CHECK DAMS



1. 0'S IN THE CHANNEL/DITCH THAT THE CHECKDAM IS BEING USED IN: _____
2. ABOVE 2.0 0'S: YES _____ NO _____
3. IF YES, LIST BMPs BEING USED IN CONJUNCTION WITH CHECK DAMS: _____

SEE LIST ABOVE FOR FLOW RATES AND ADDITIONAL BMPs PROVIDED



TRITON INLET TRAP SYSTEM

C-42

Prepared By:
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www.crescentvieweng.com

Prepared For:
Miller Lowry Developments, LLC
2964 Peachtree Road NW Suite 540
Hapeville, Ga 30356

ES&PC - Details

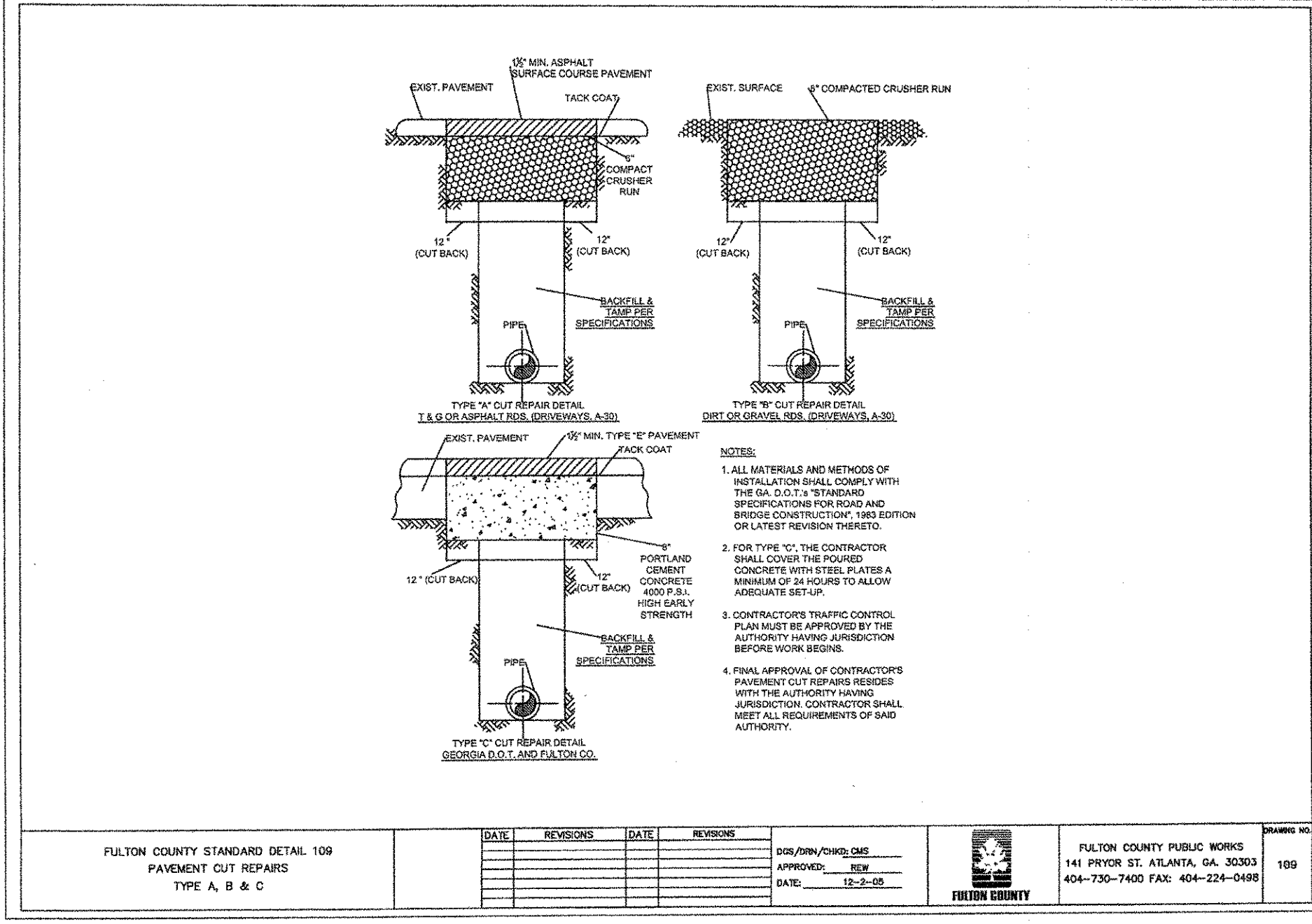
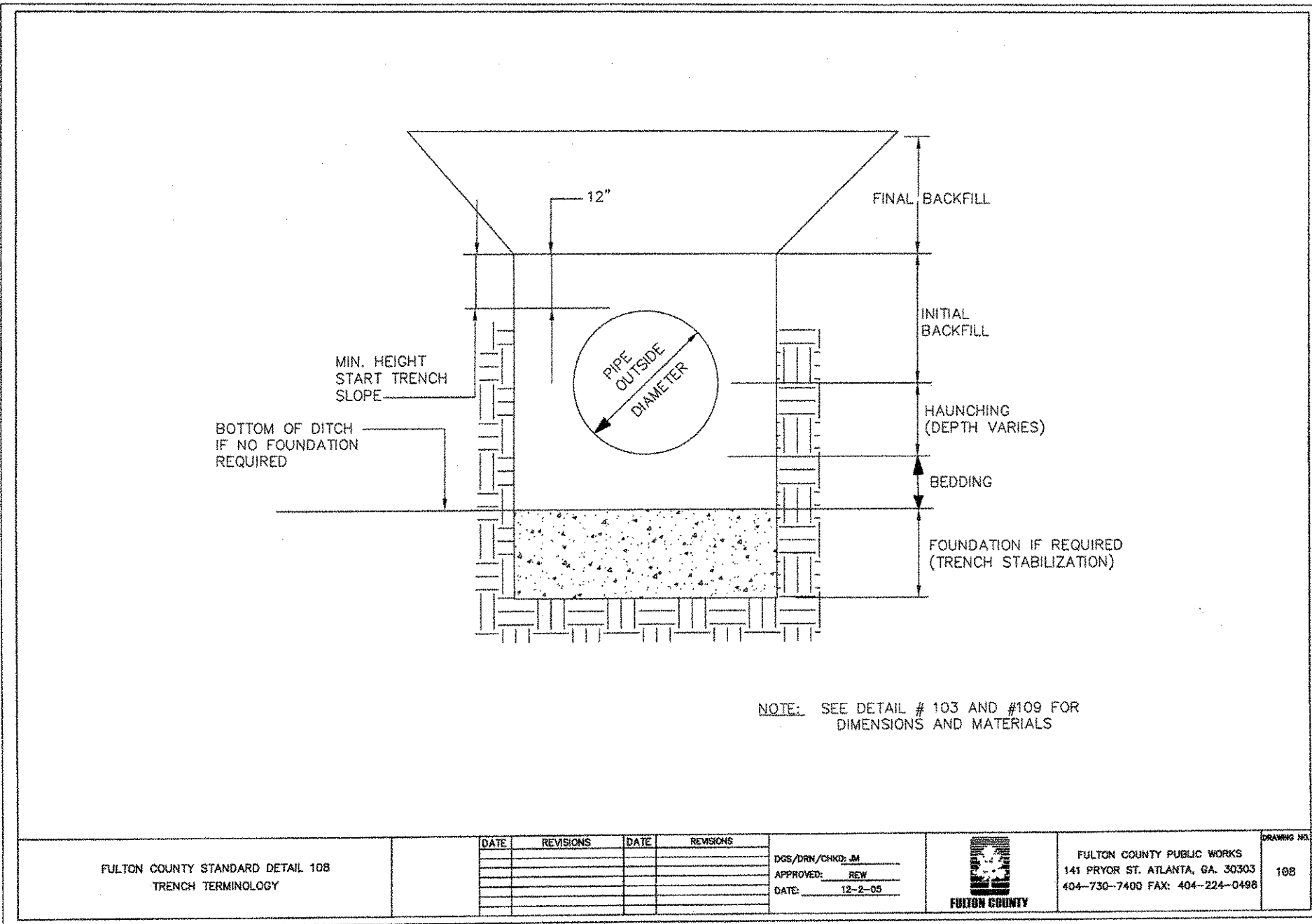
DATE: 7-9-19
SCALE: AS SHOWN
DRAWN: A.R.
CHECKED: G.H.B.

Construction Plan Set For:
King Arnold Townhomes
Land Lots 95 & 96, 14th District
City of Hapeville, Fulton County, Georgia

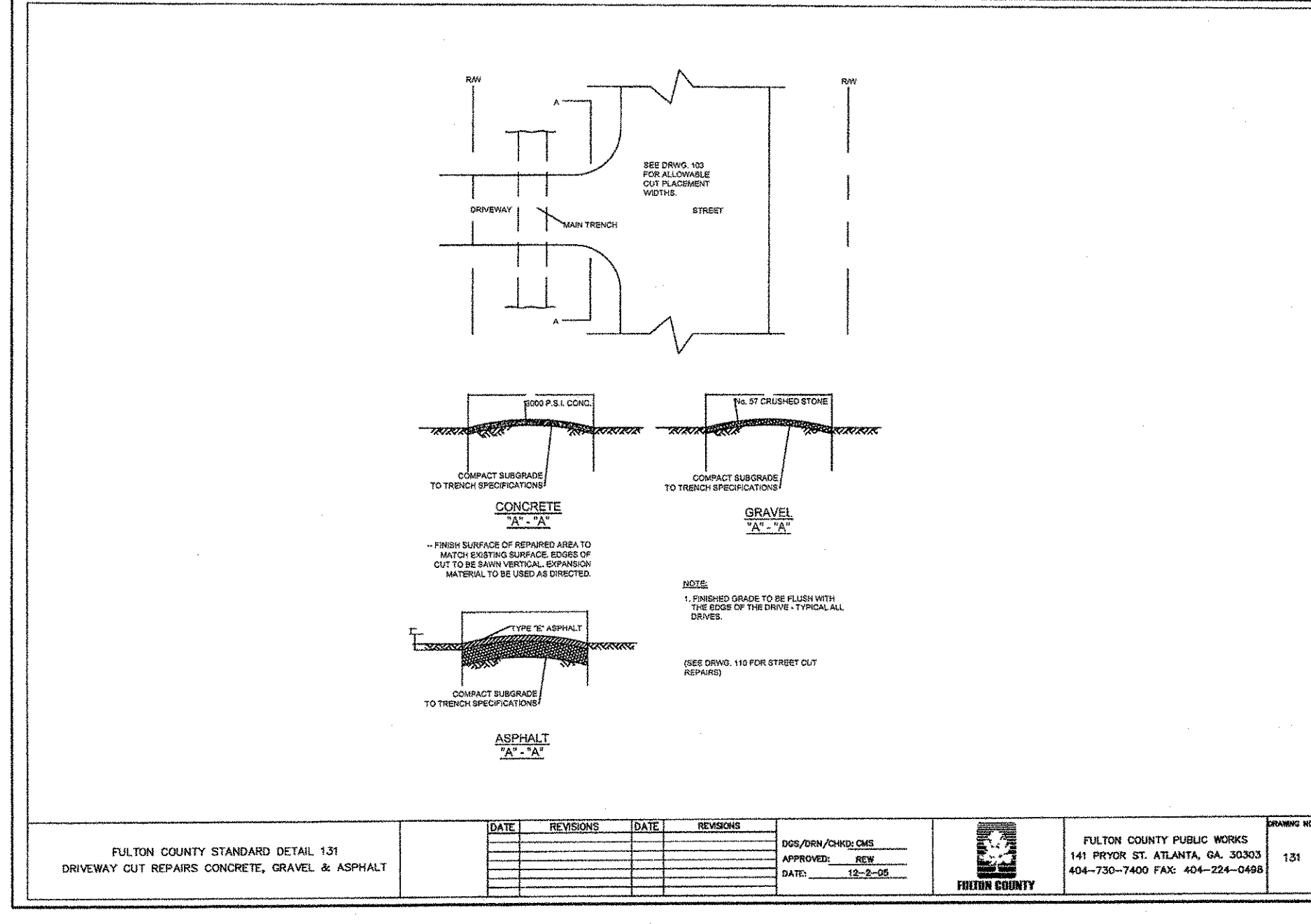
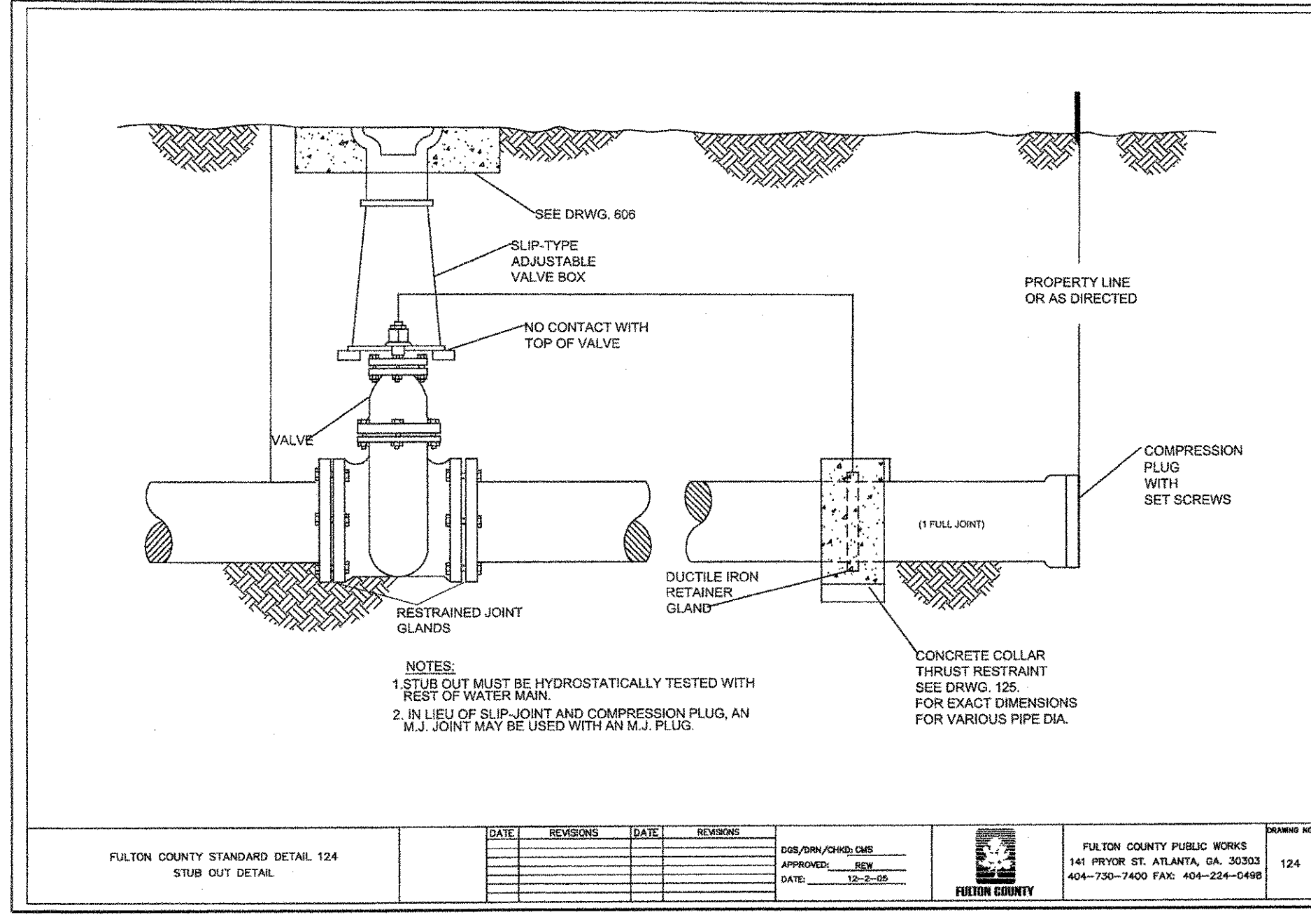
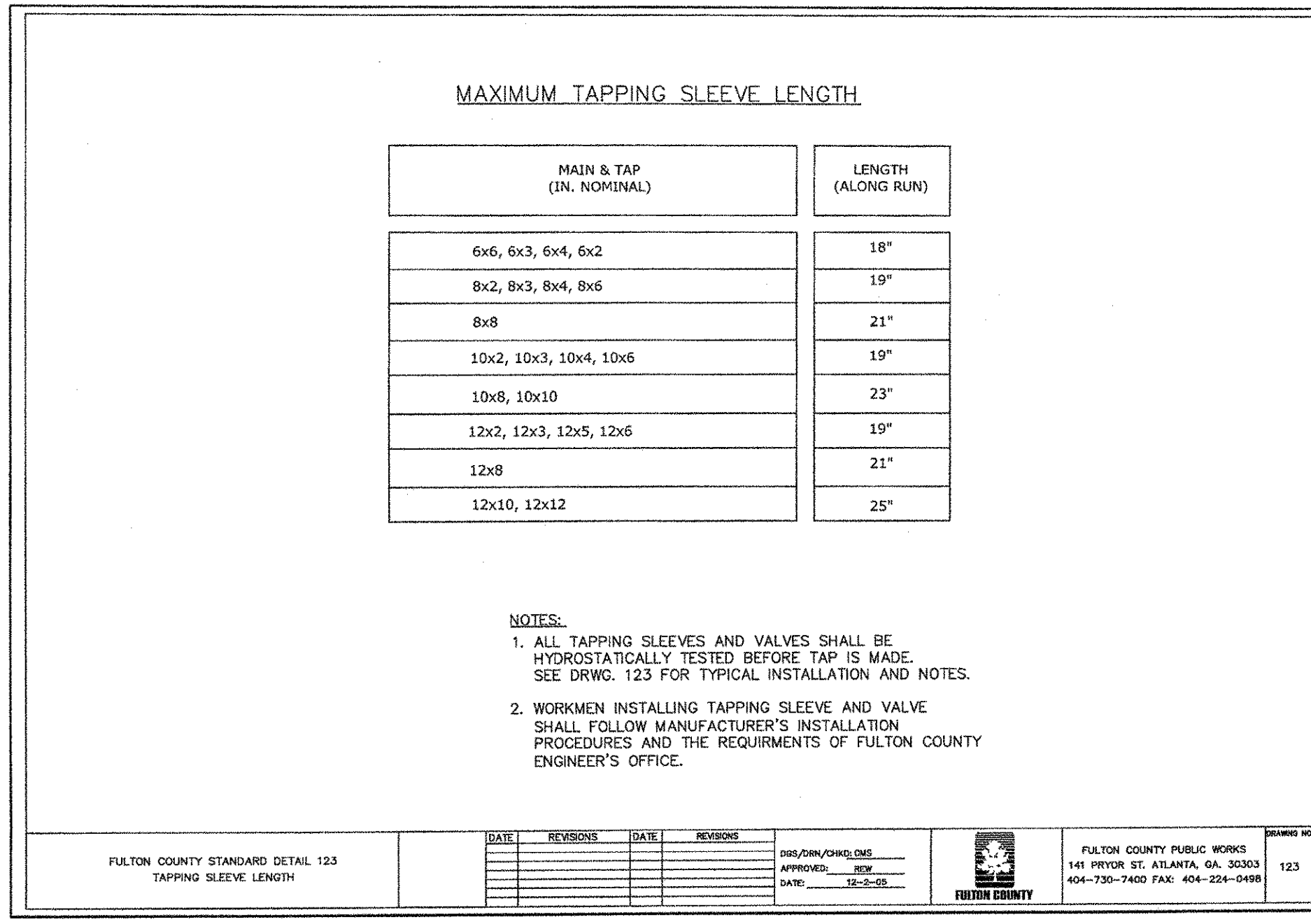
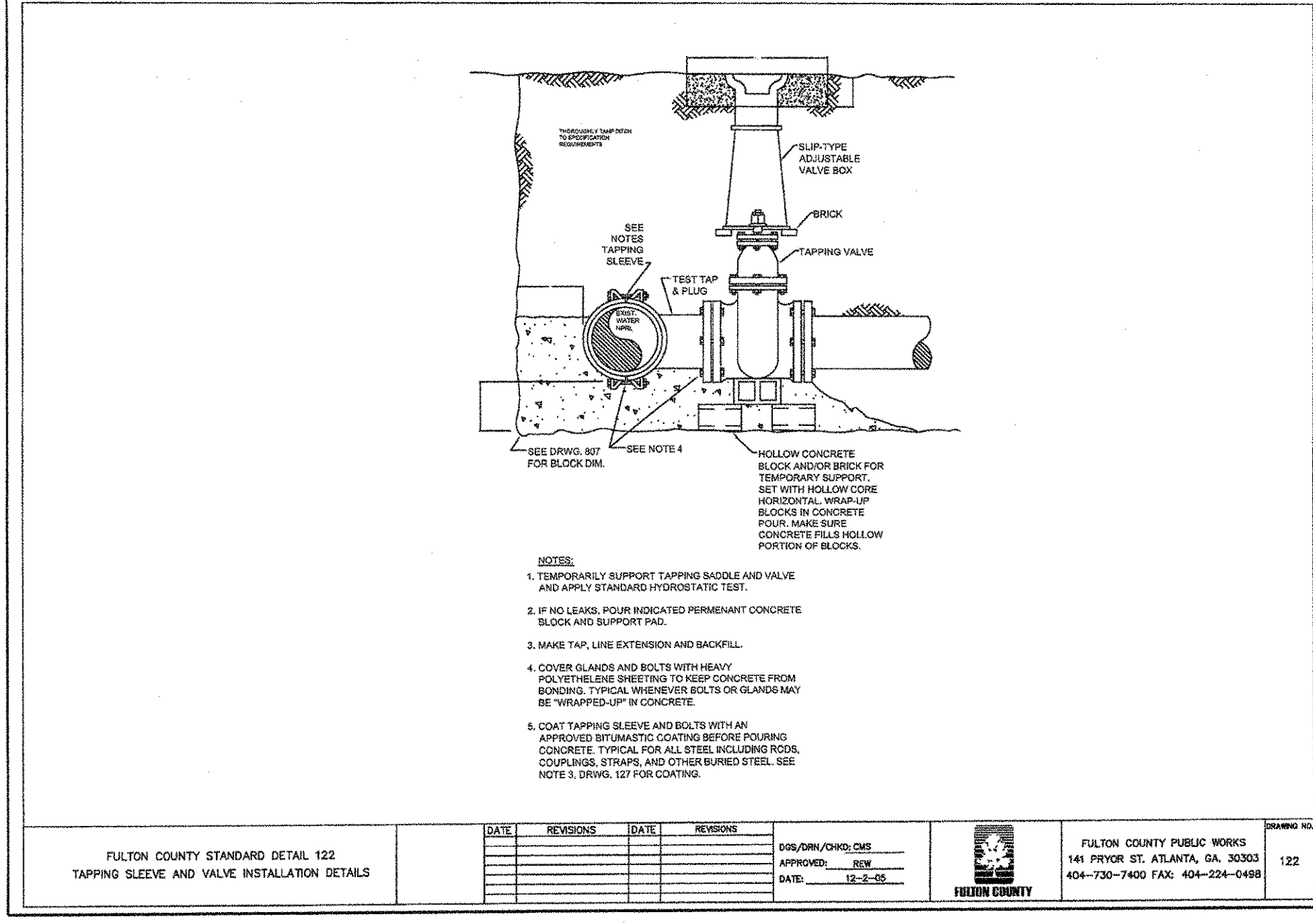
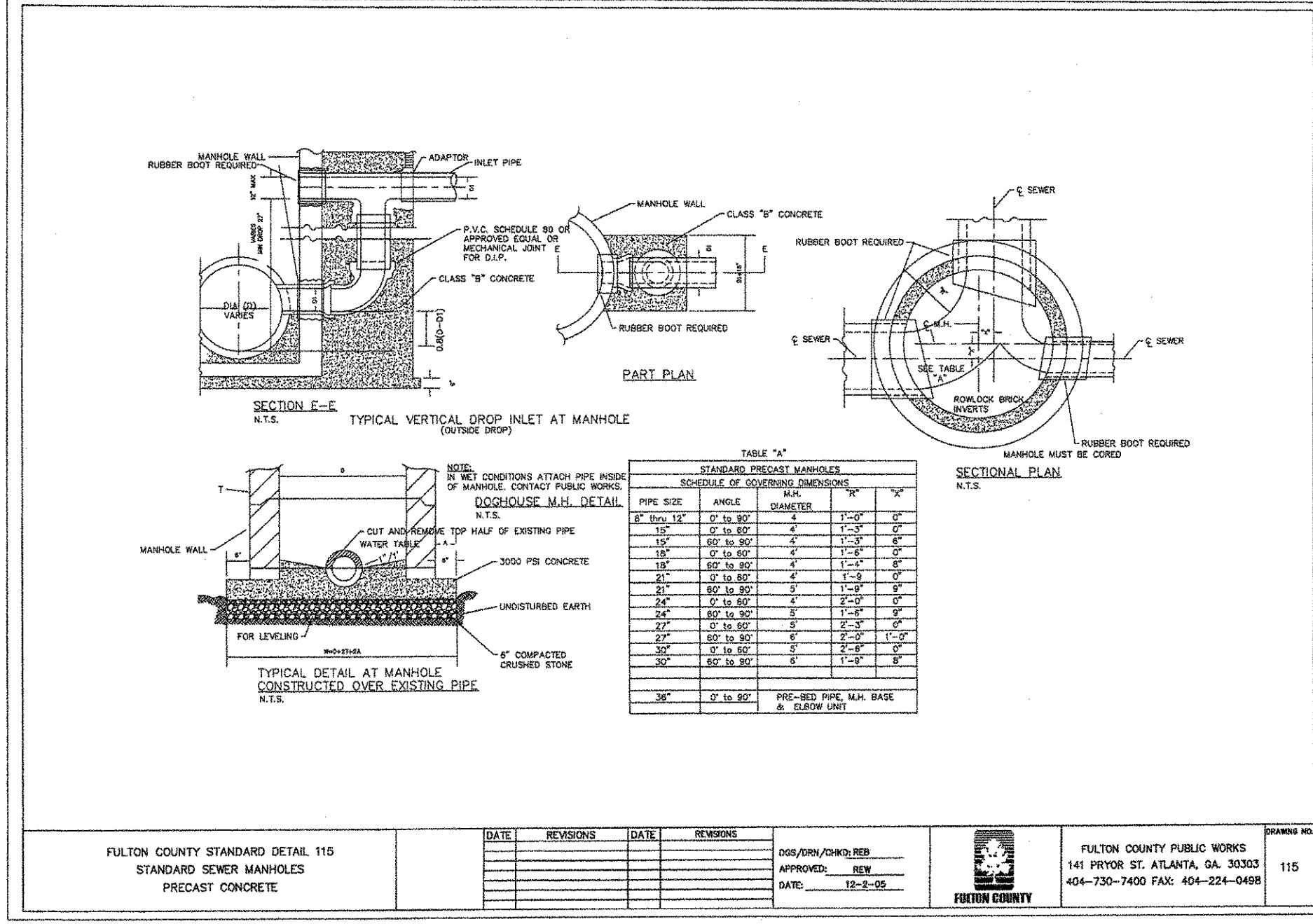
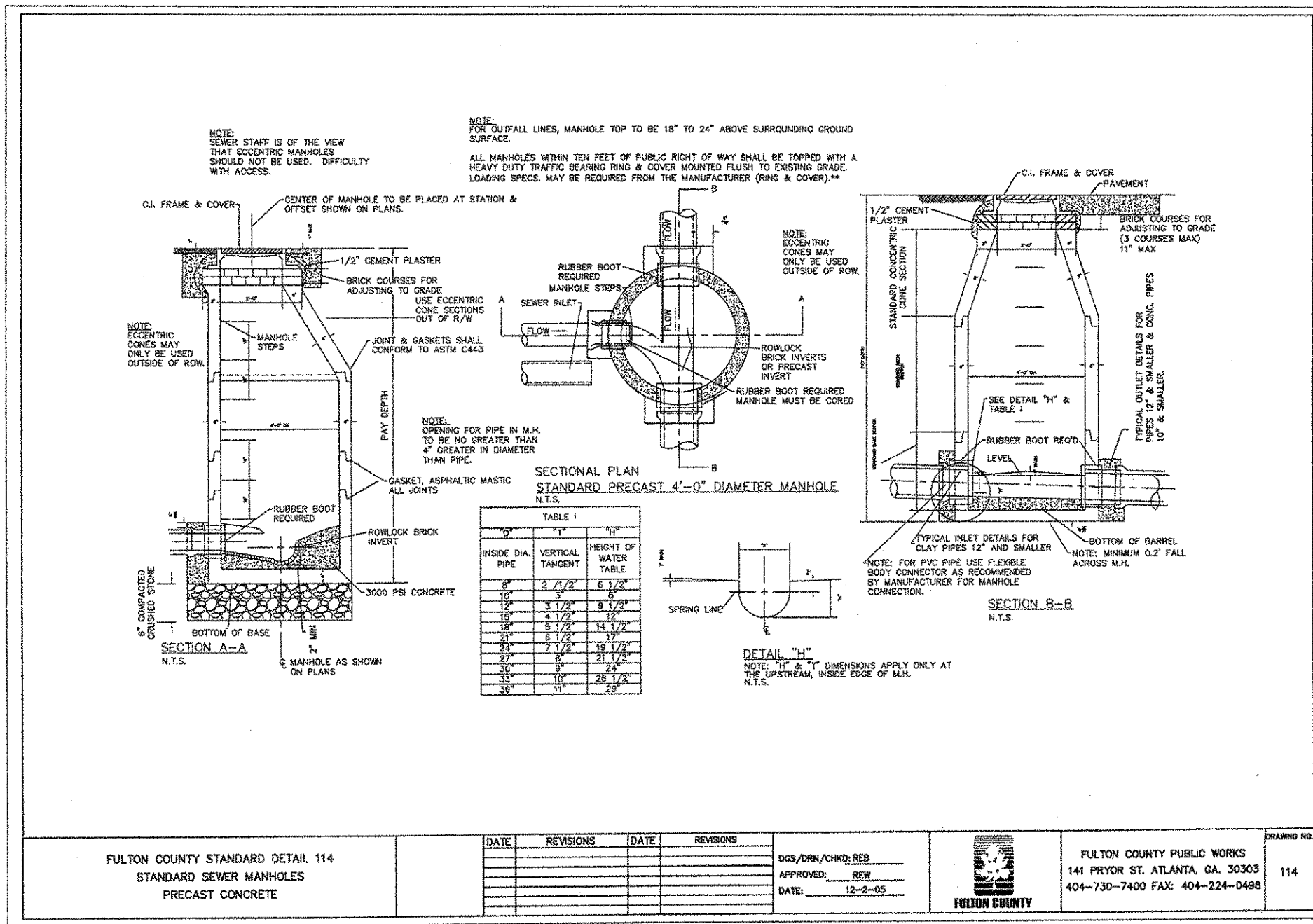
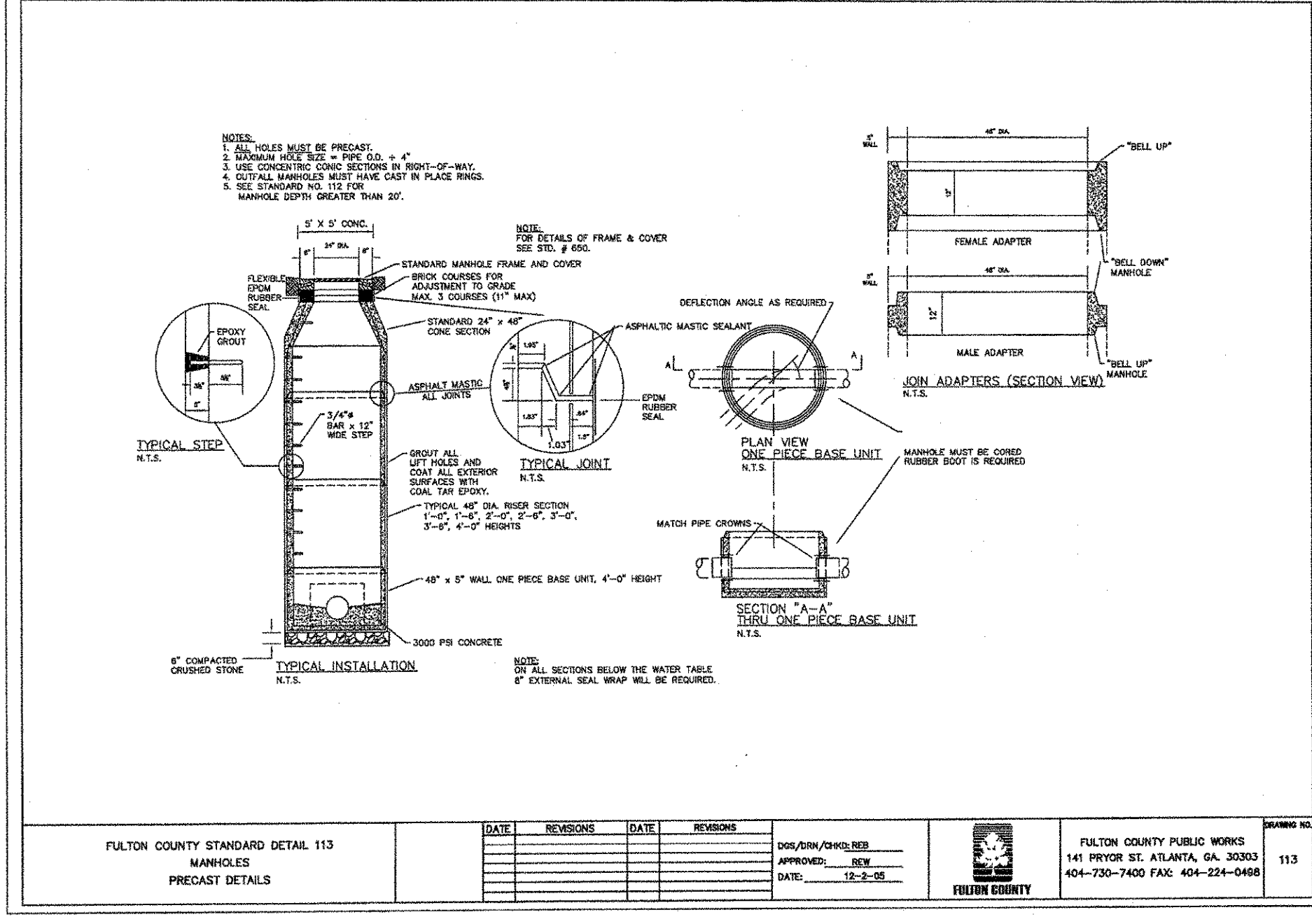
CVE PI # 18-403

Sheet No.

C-4.1



24 HOUR EMERGENCY CONTACT: MILLER LOWRY 770-289-9179



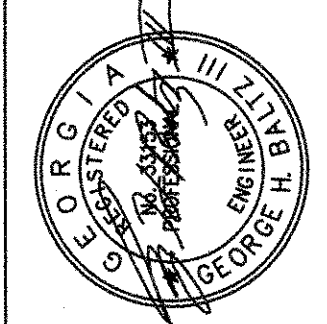
Prepared By:
**CRESCENT VIEW
ENGINEERING, LLC**
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Prepared For:
Miller Lowry Developments, LLC
2984 Peachtree Road NW Suite 540
Hapeville, Ga 30305

Construction Details
Fulton County Details

DATE	SCALE	AS SHOWN	REVISIONS
7-9-19			

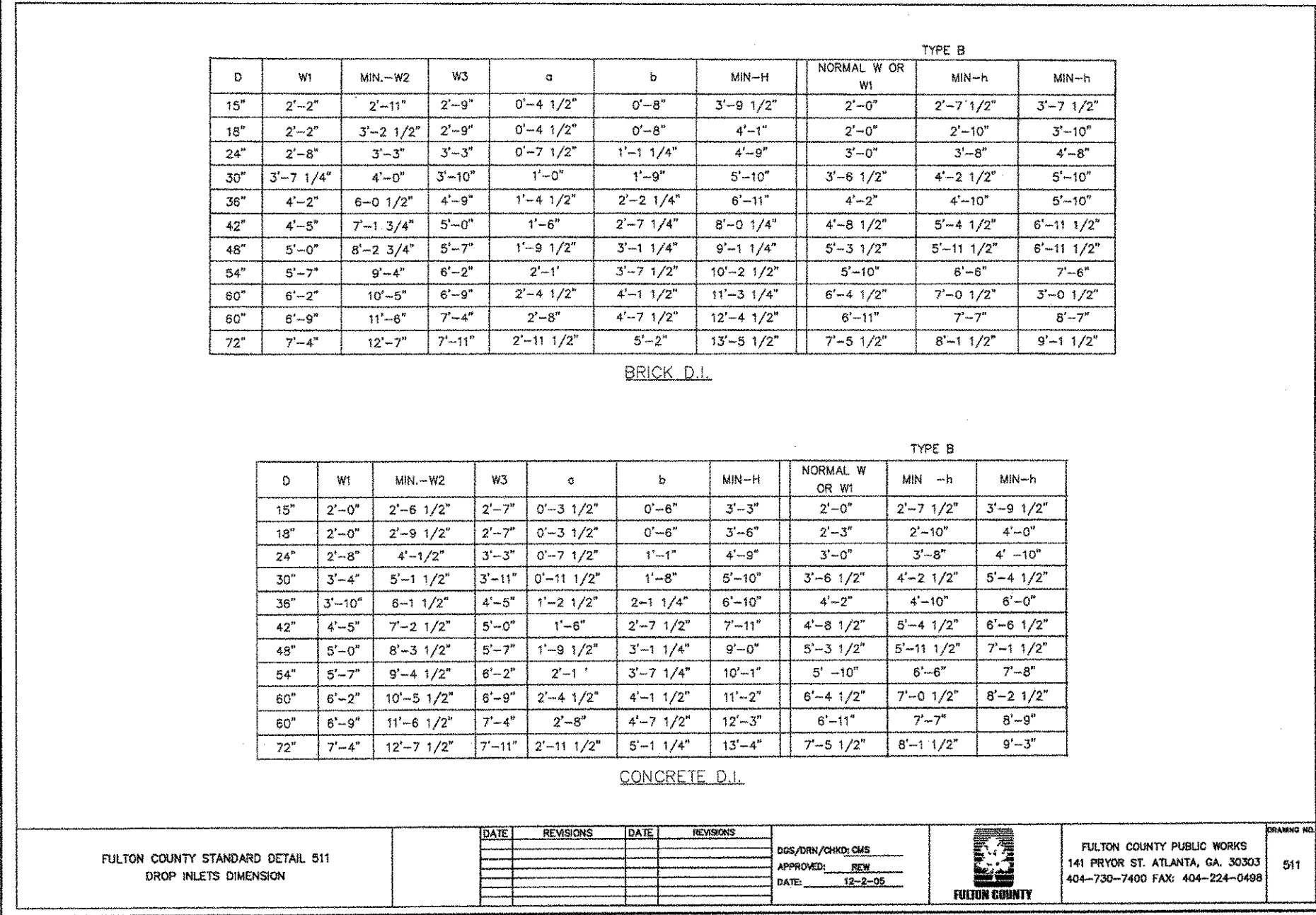
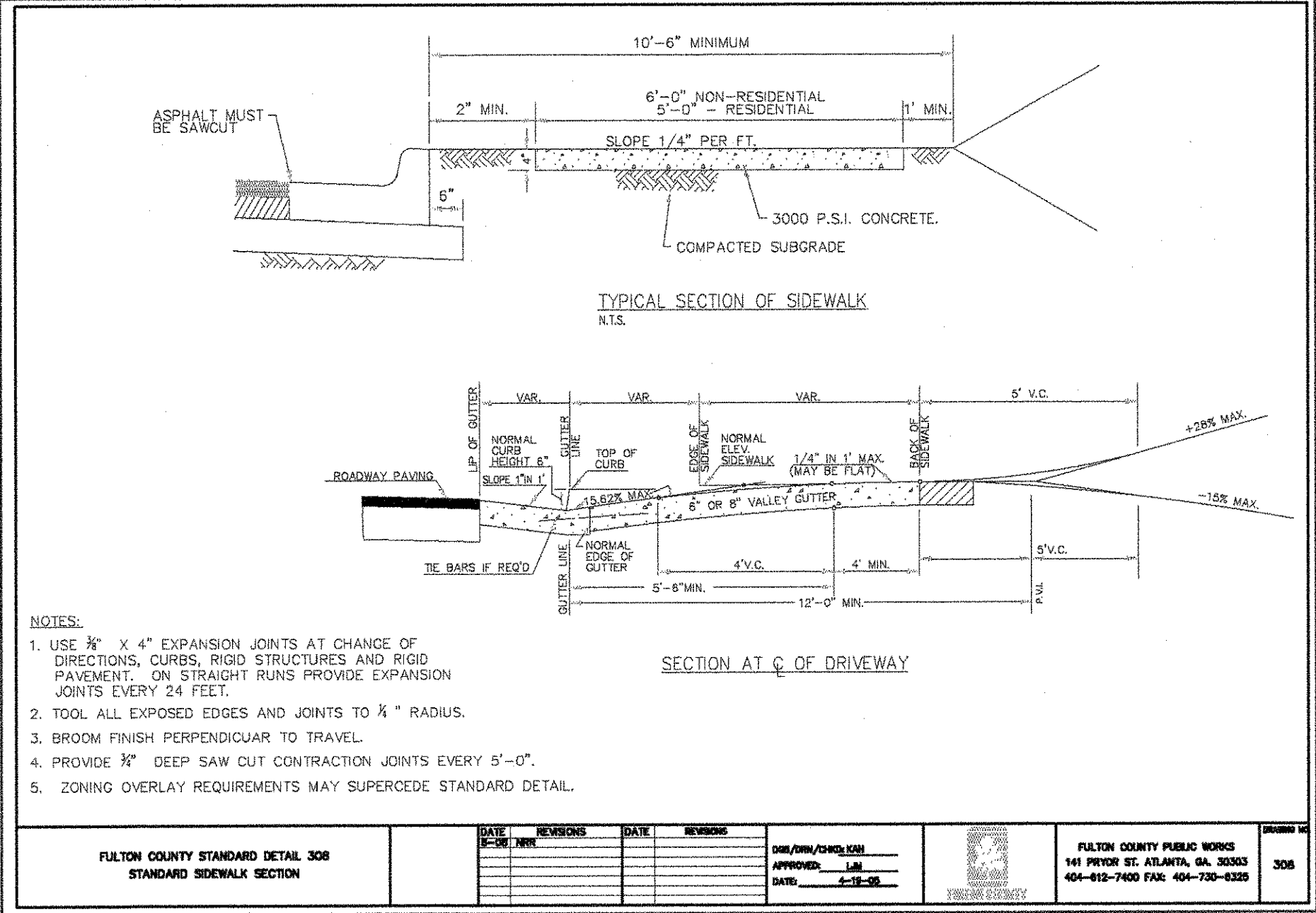
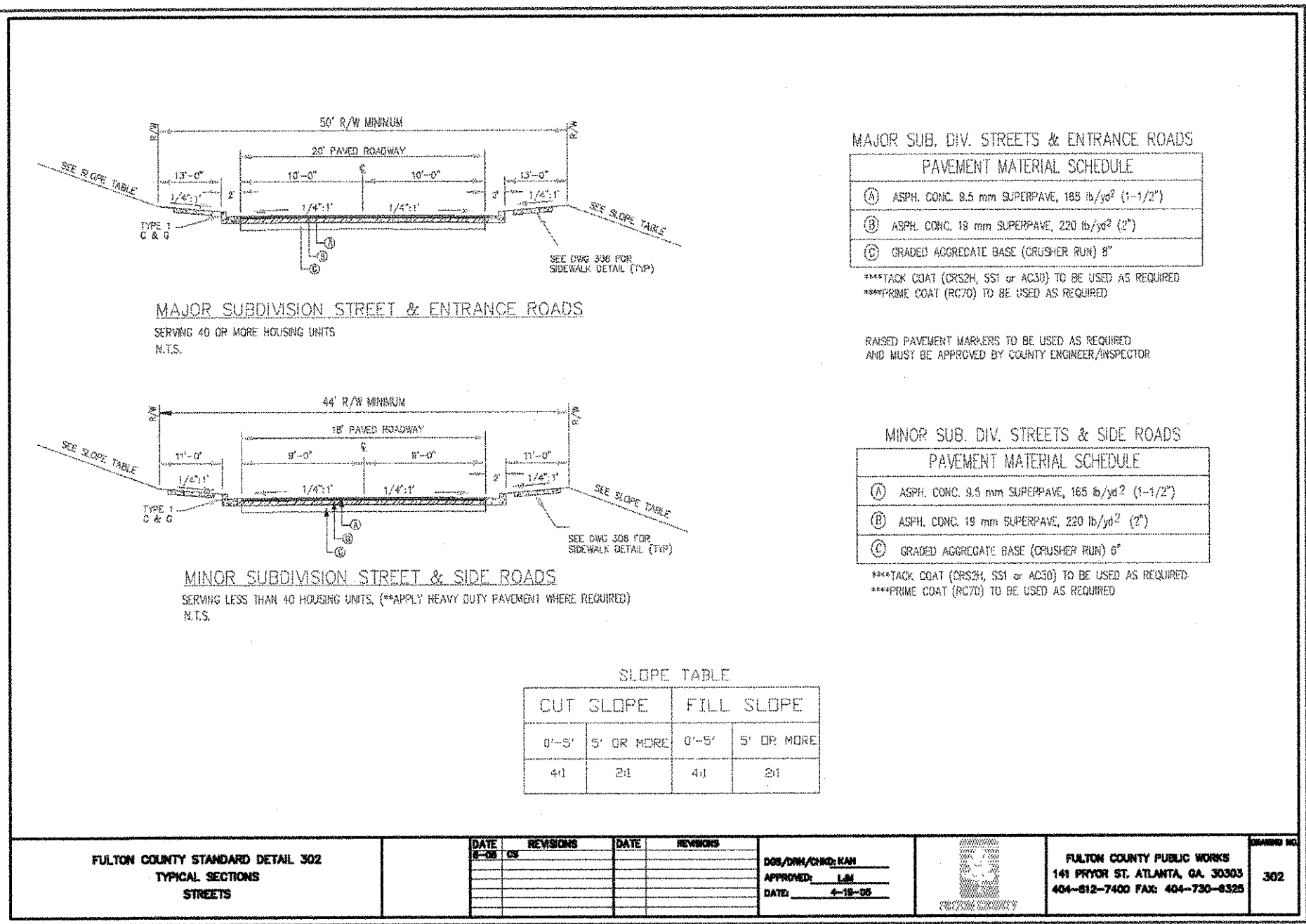
CHECKED: **G.H.B.**

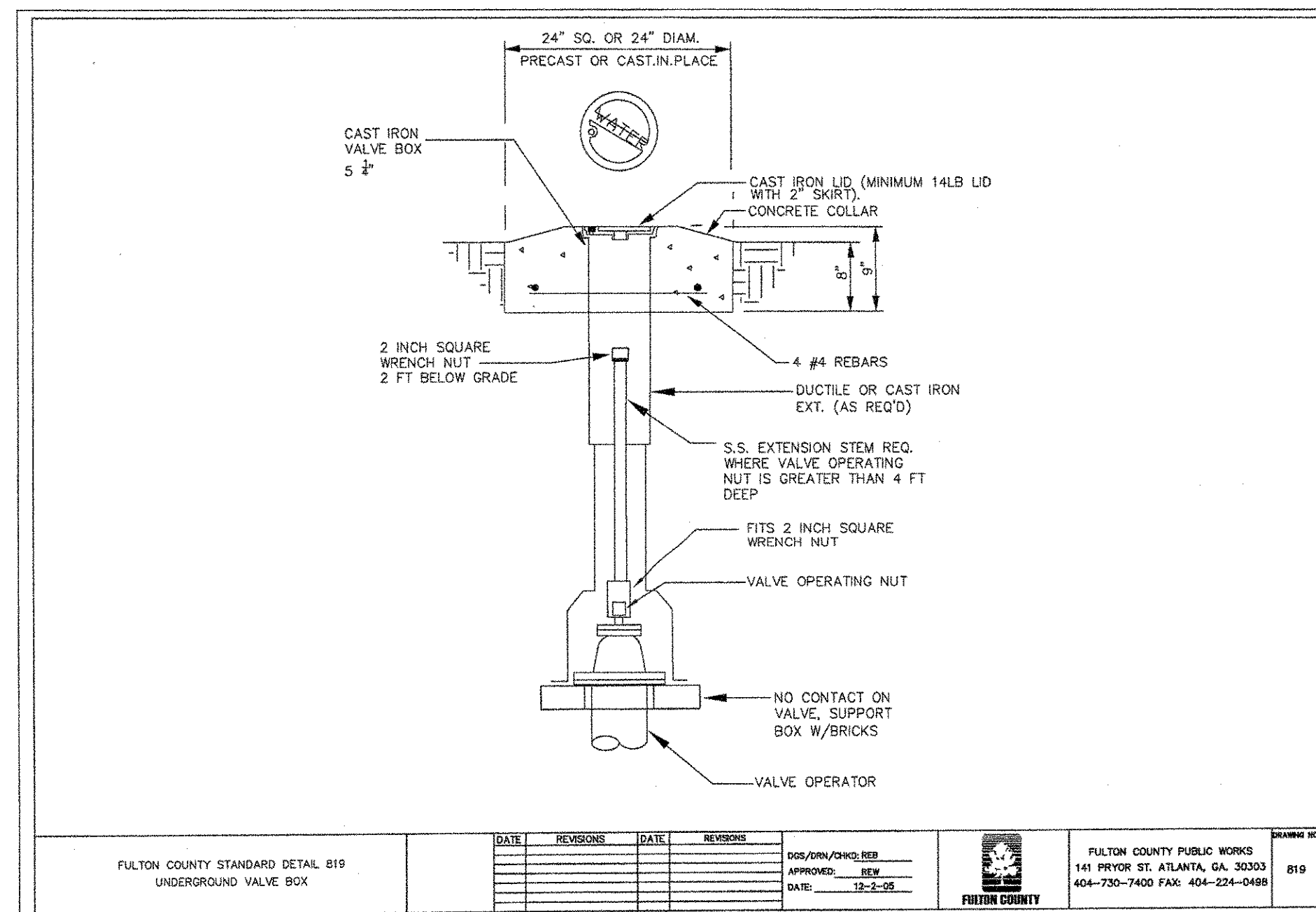
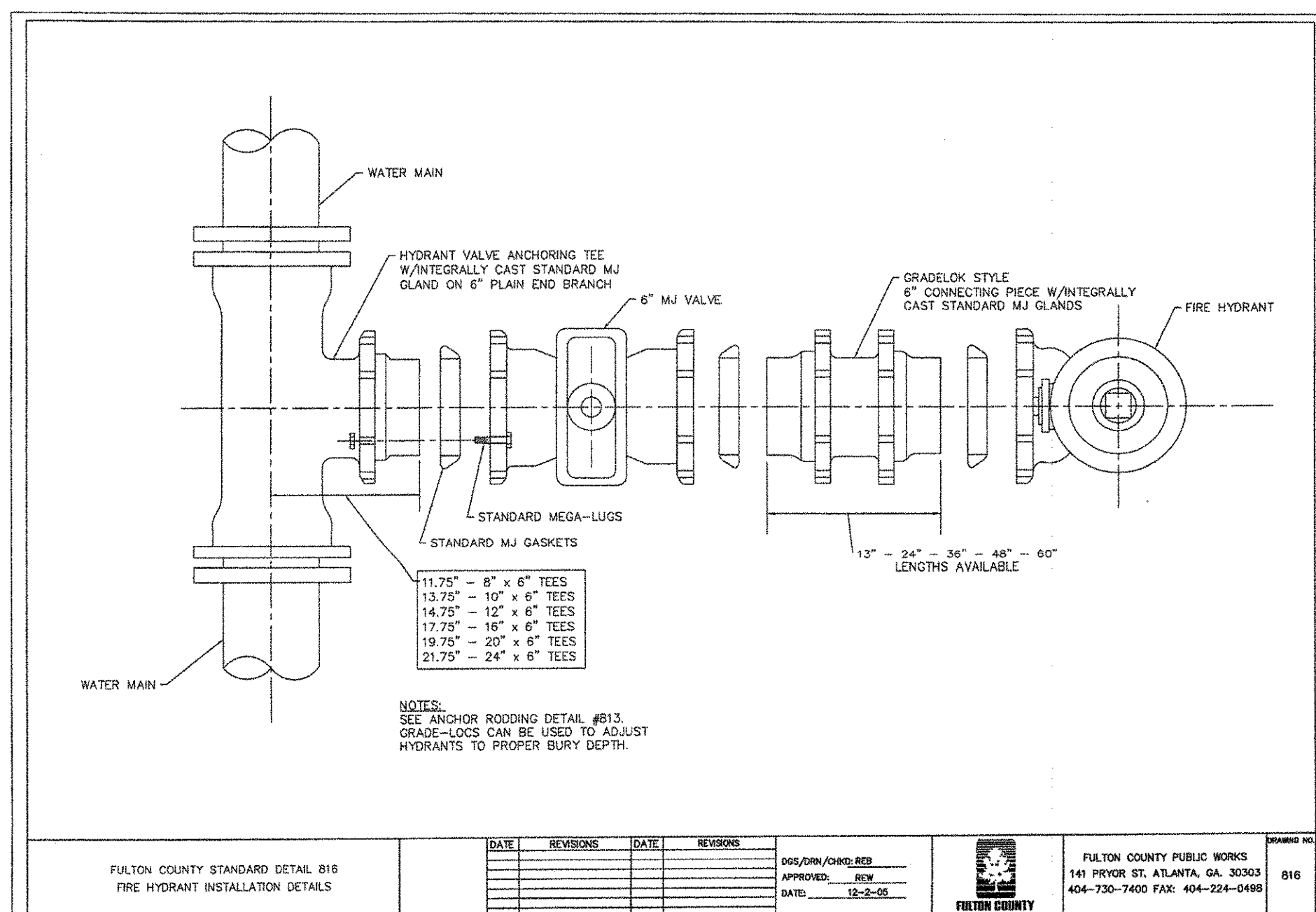
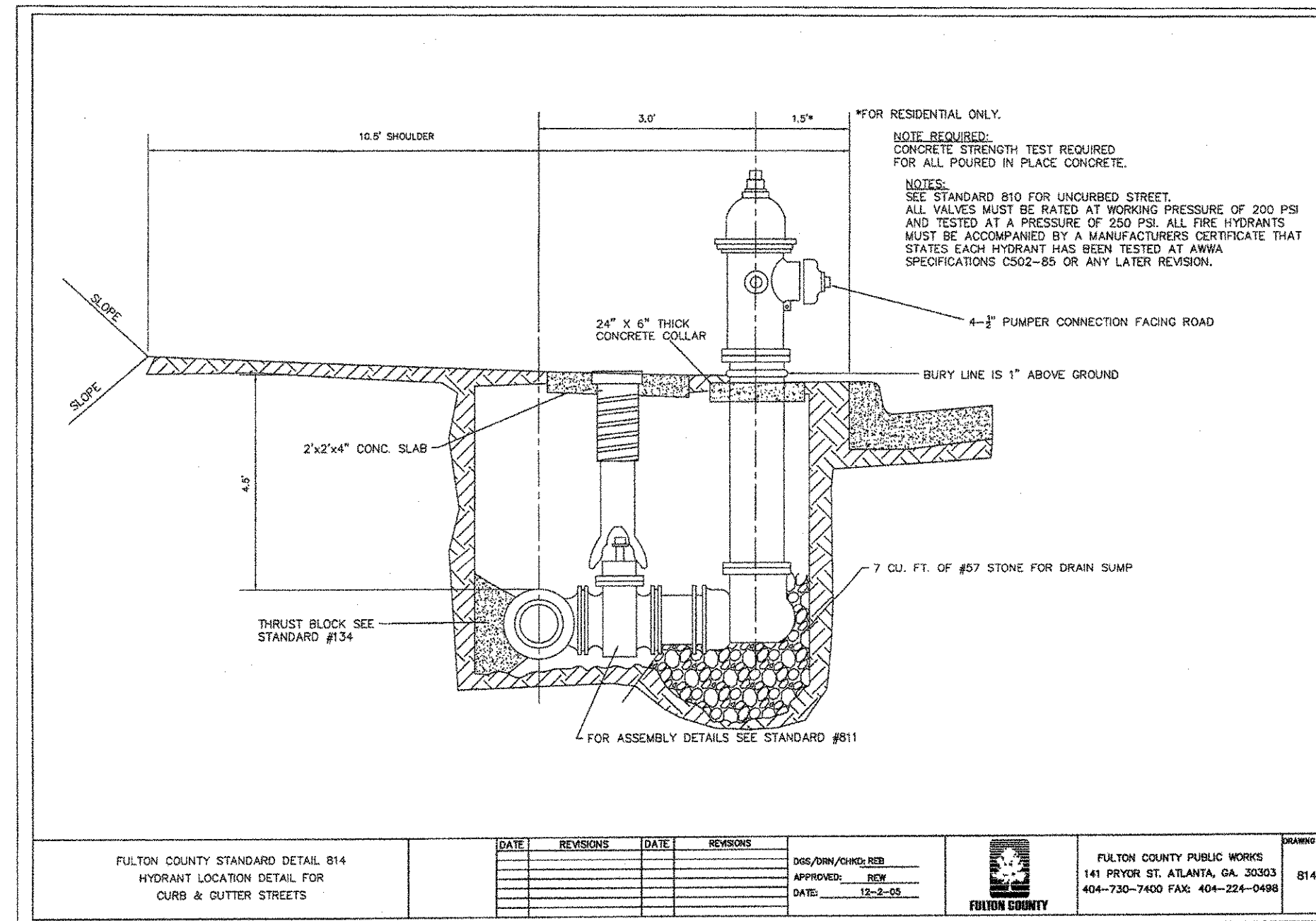
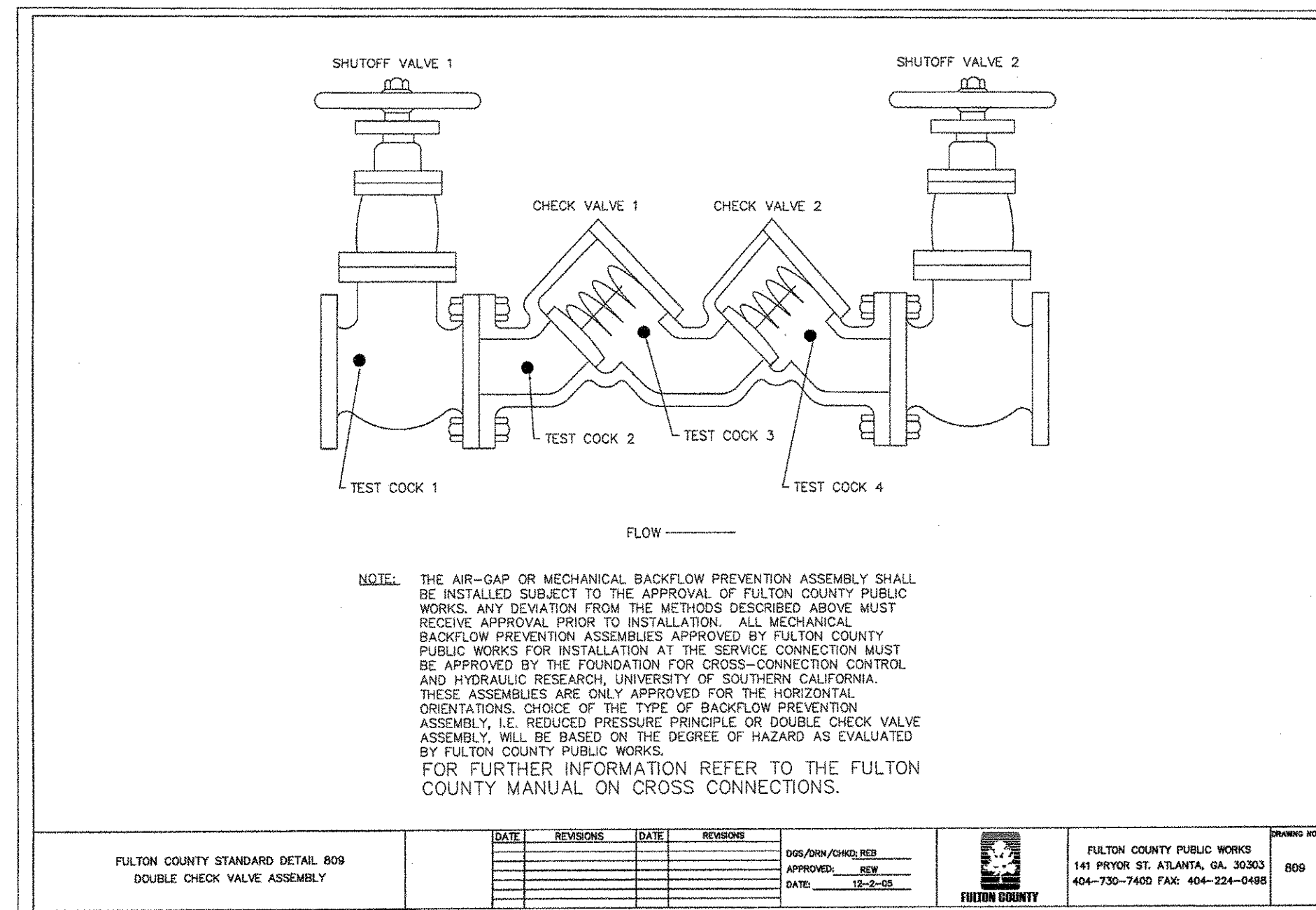
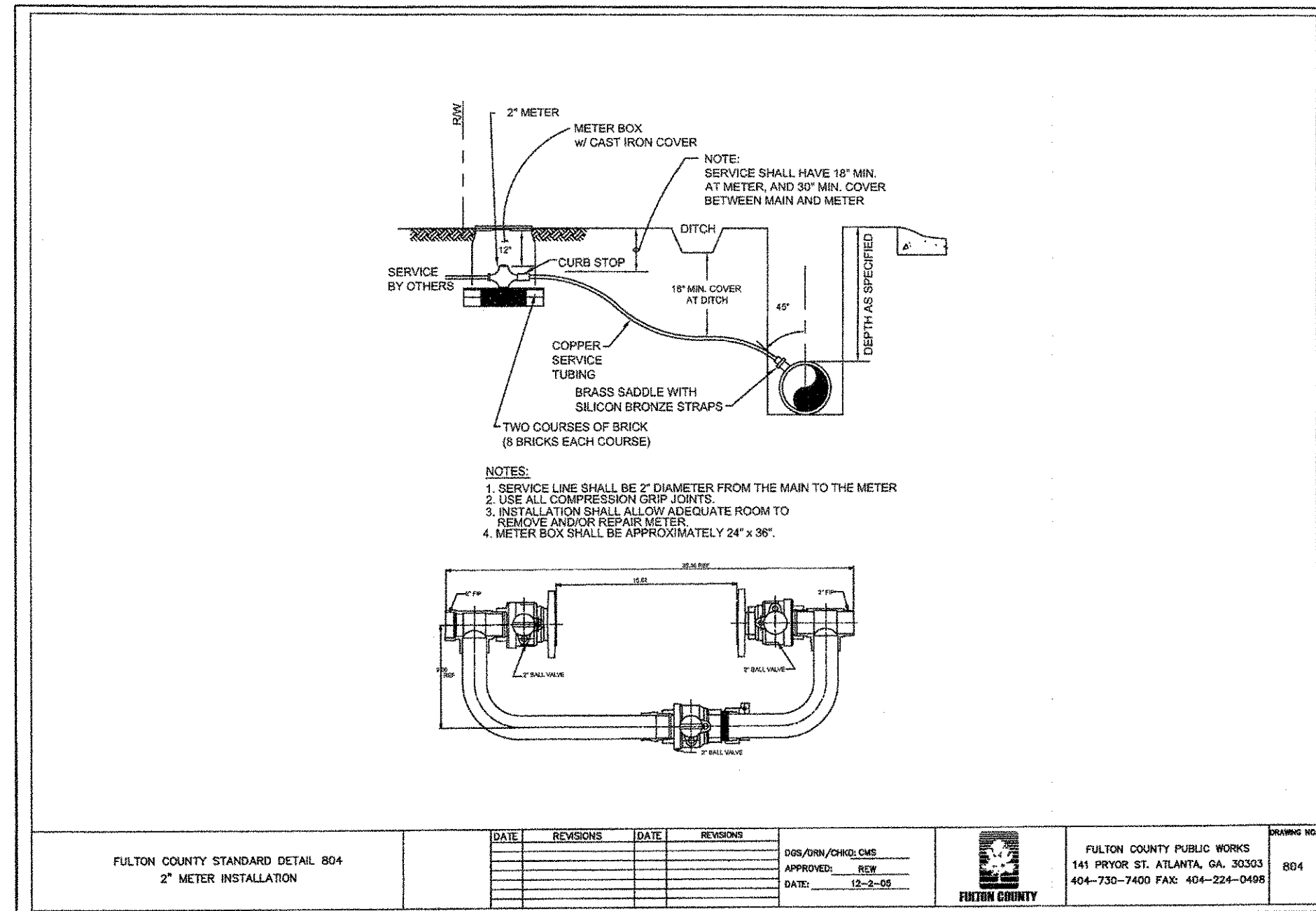
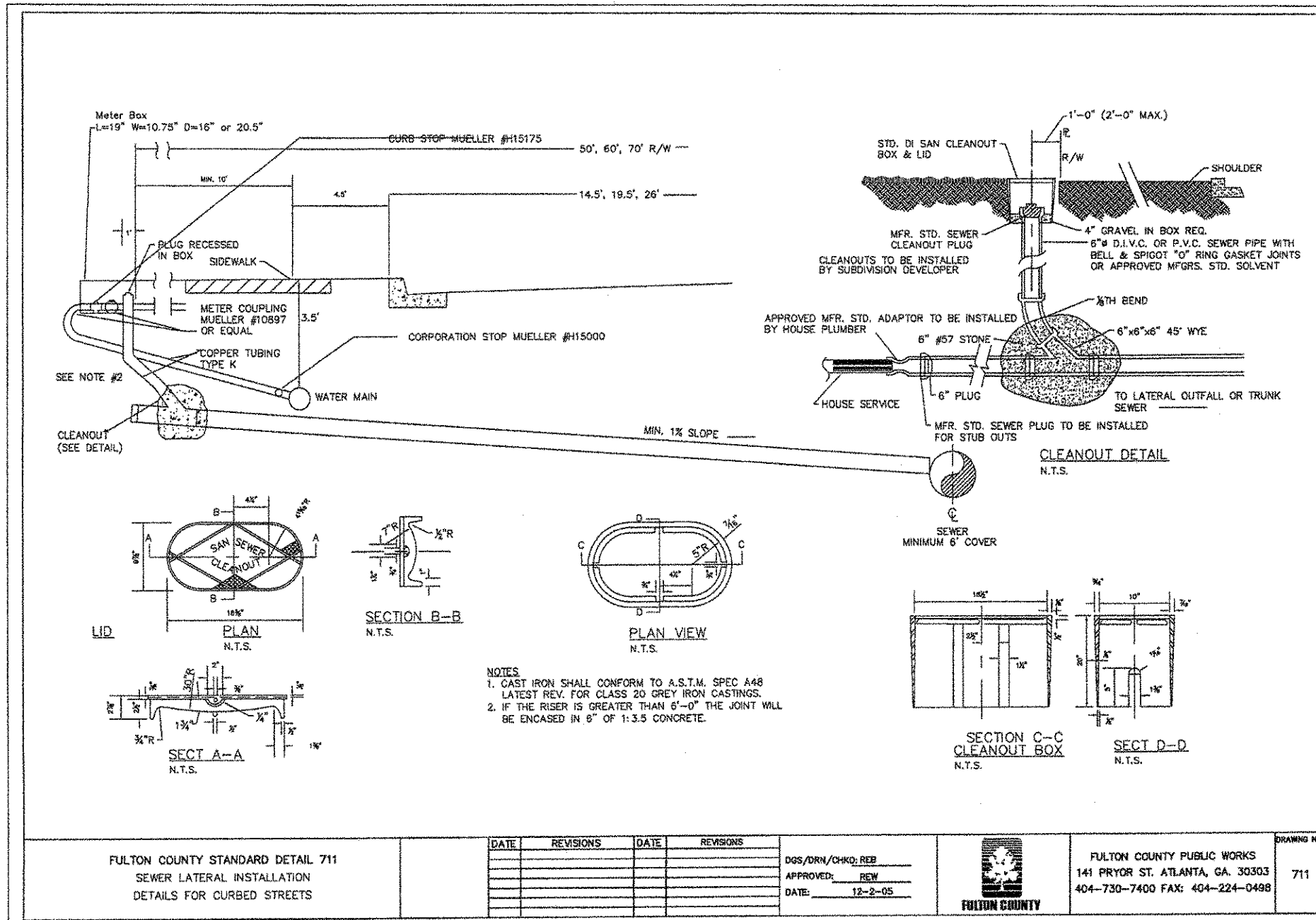
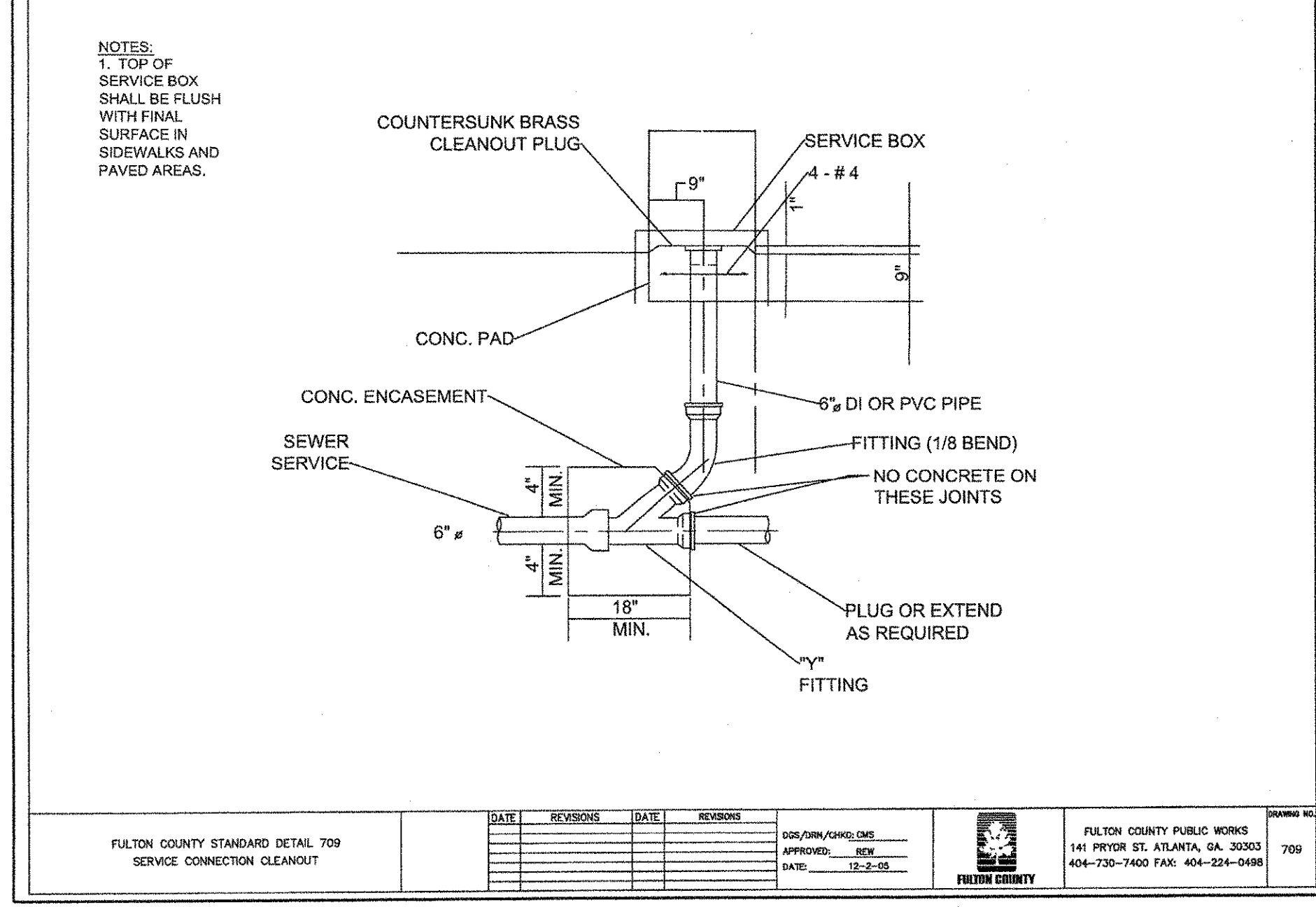
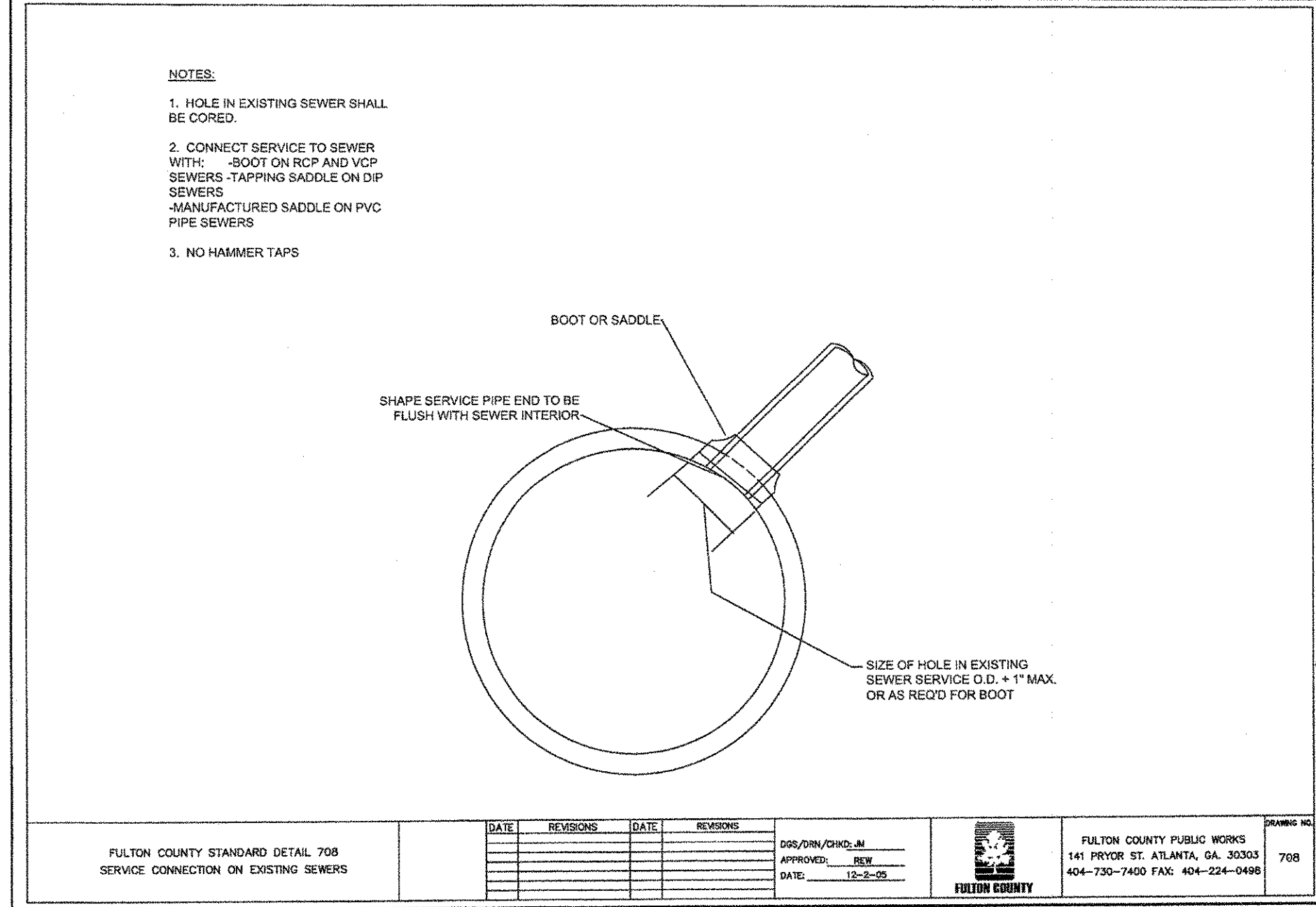
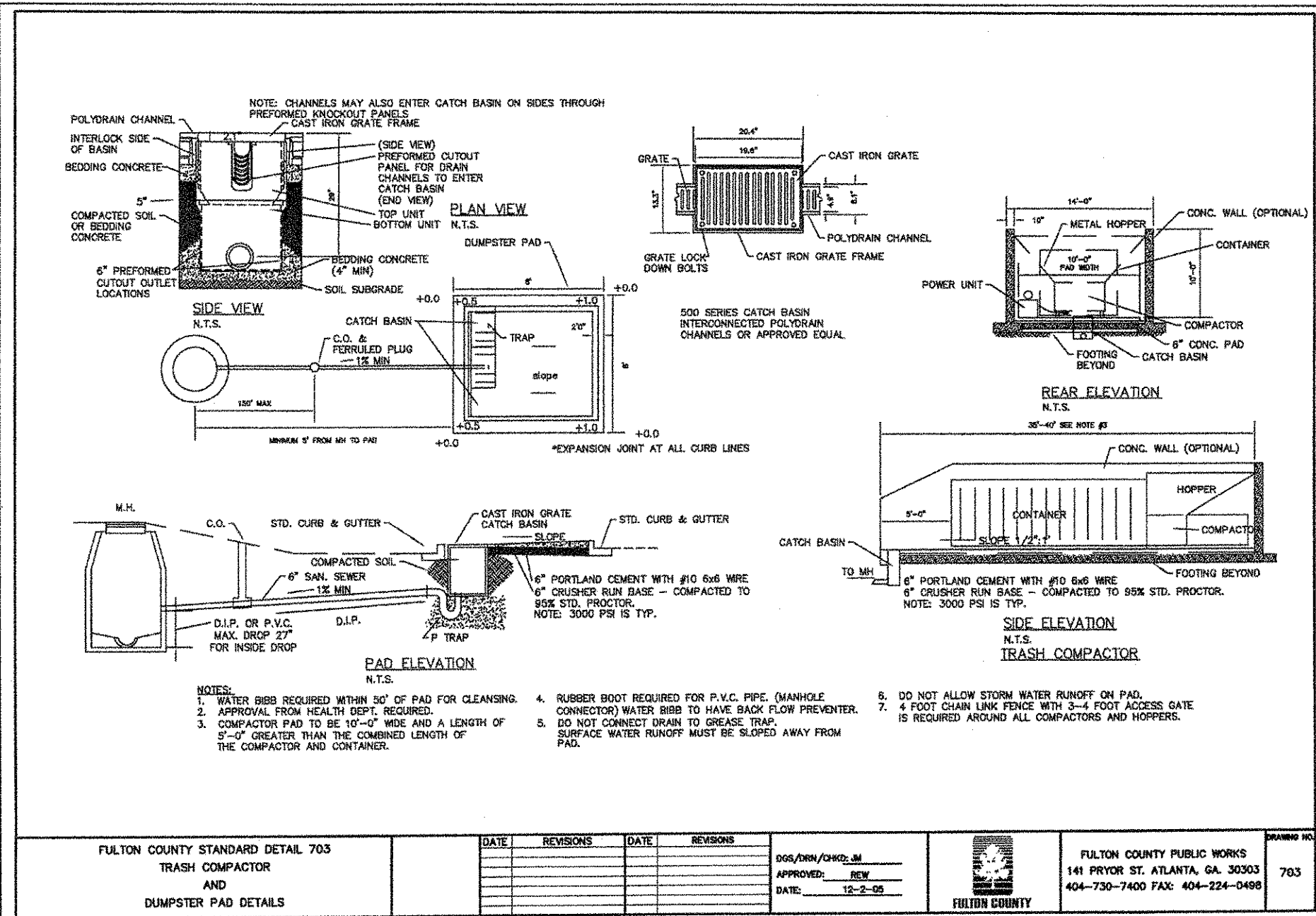


Construction Plan Set For:
King Arnold Townhomes
Land Lots 95 & 98, 14th District
City of Hapeville, Fulton County, Georgia

CVE PI # 18-403

Sheet No.
C-5



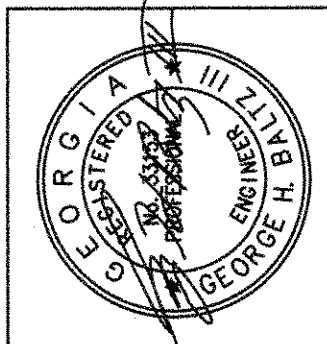


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Prepared For:
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Hapeville, Ga 30305

**Construction Details
Fulton County Details**

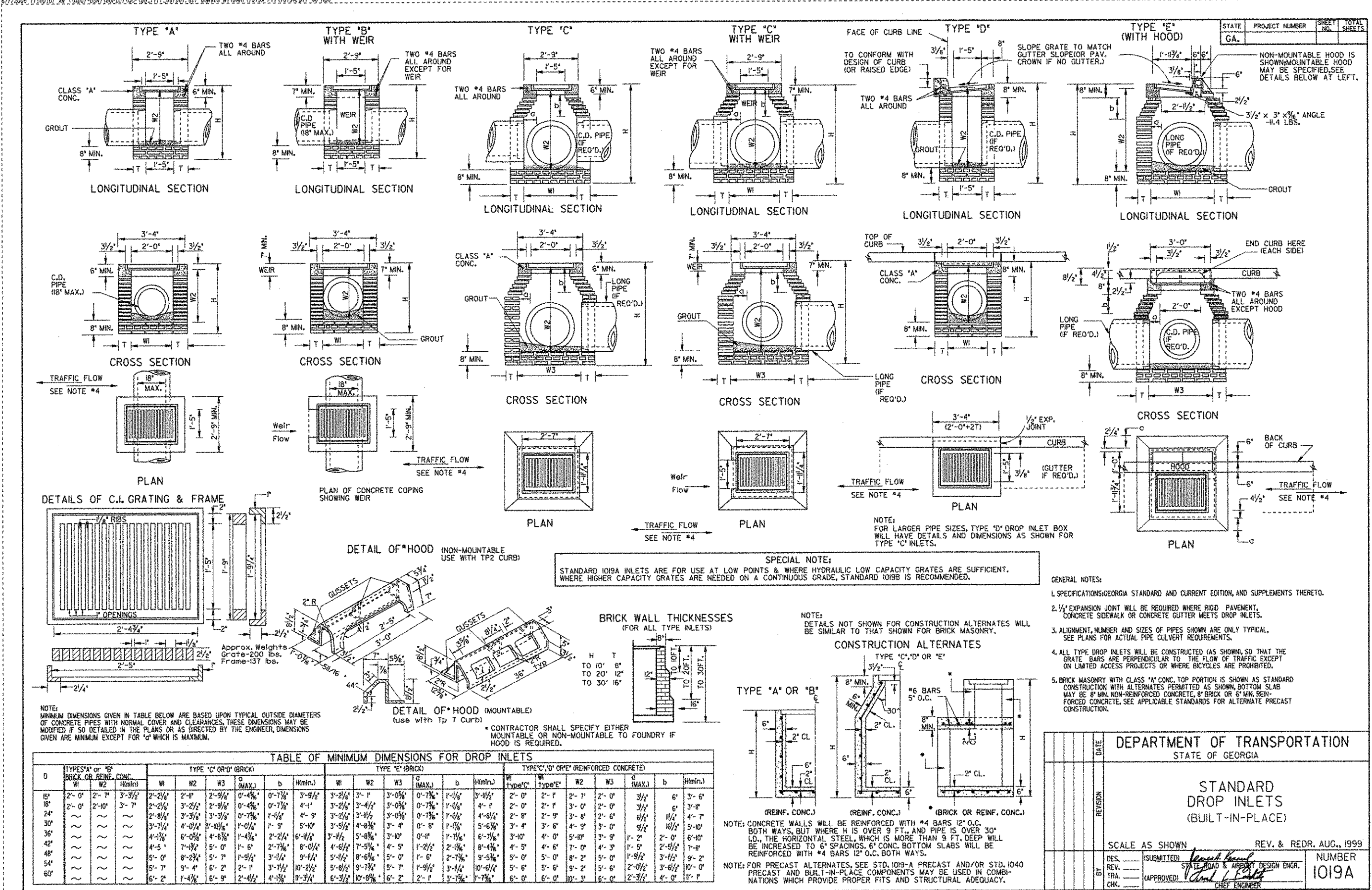
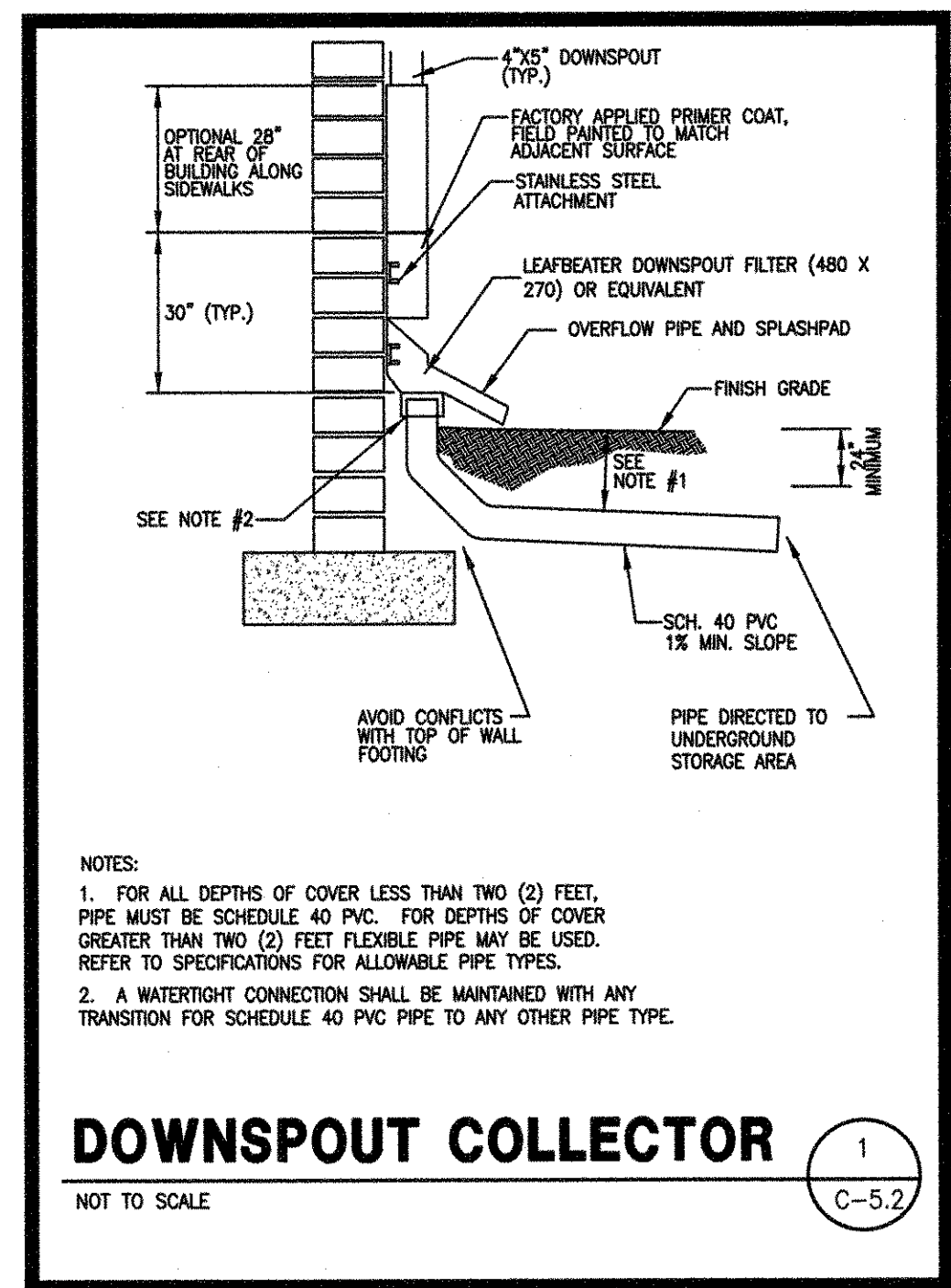
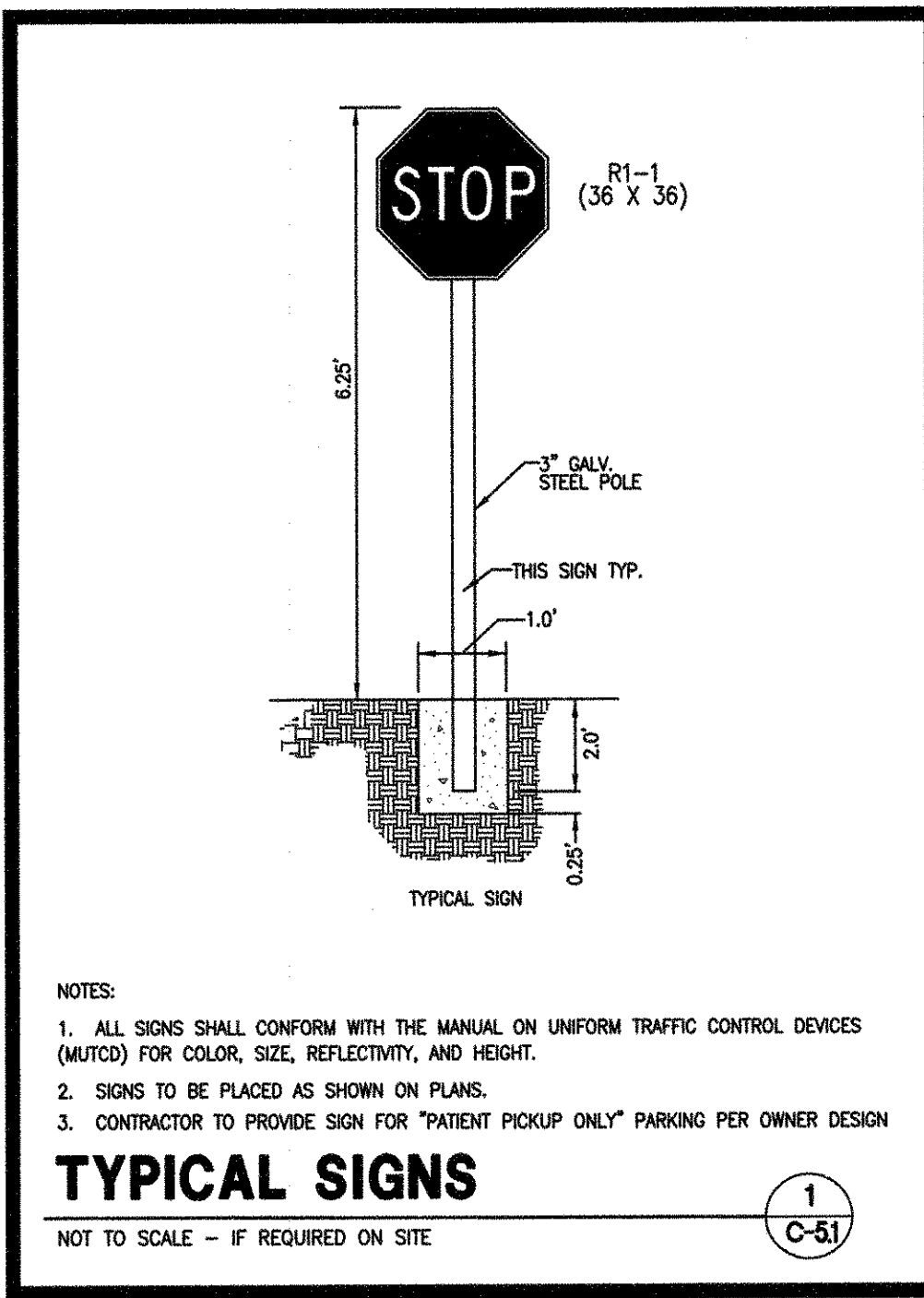
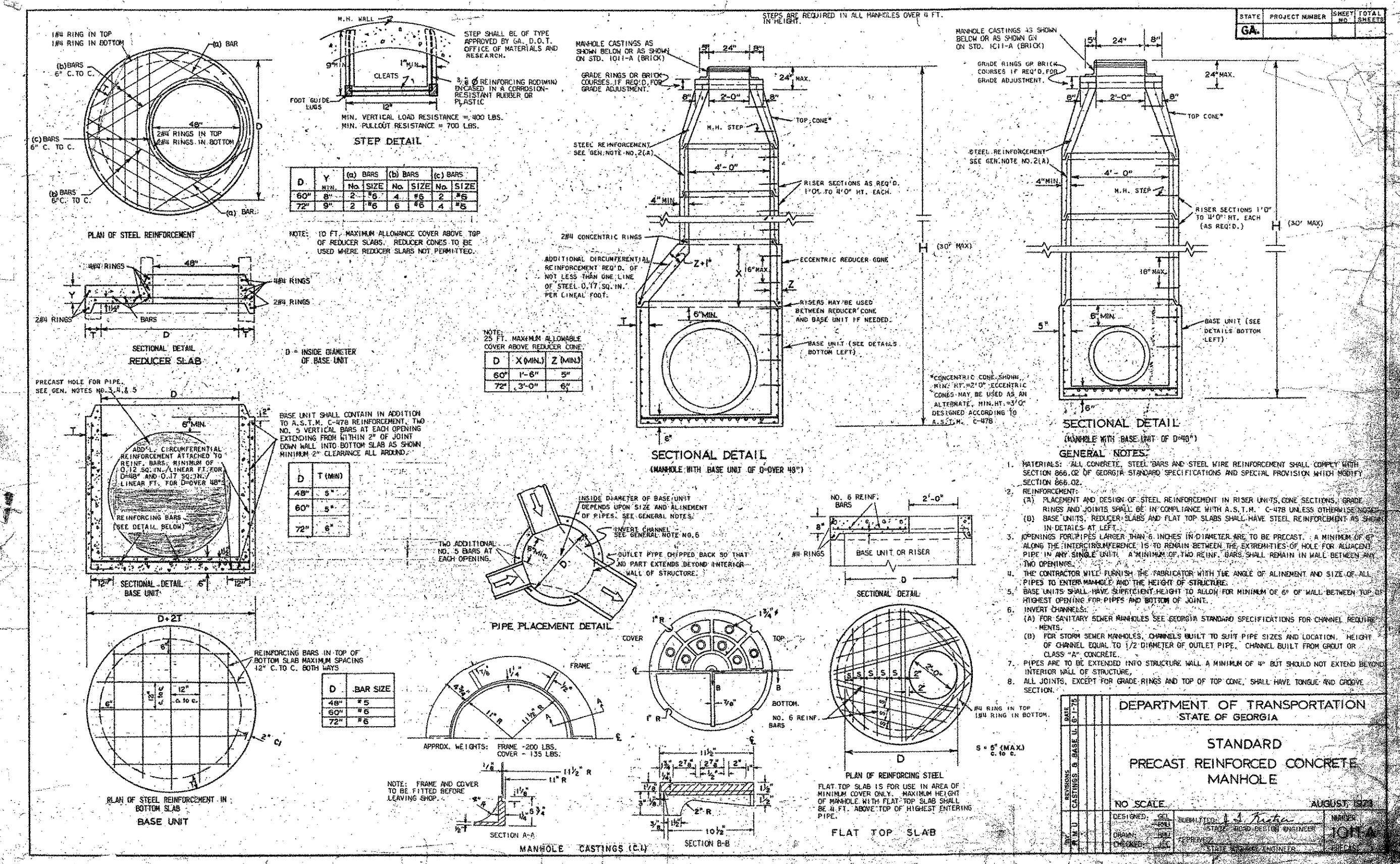
DATE	SCALE	AS SHOWN	REVISIONS	DRAWN	CHECKED	G.H.B.
7-9-19						

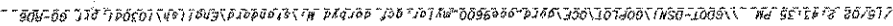


Construction Plan Set For
King Arnold Townhomes
Land Lots 95 & 98, 14th District
City of Hapeville, Fulton County, Georgia

CVE PI # 18-403

Sheet No.
C-5.2



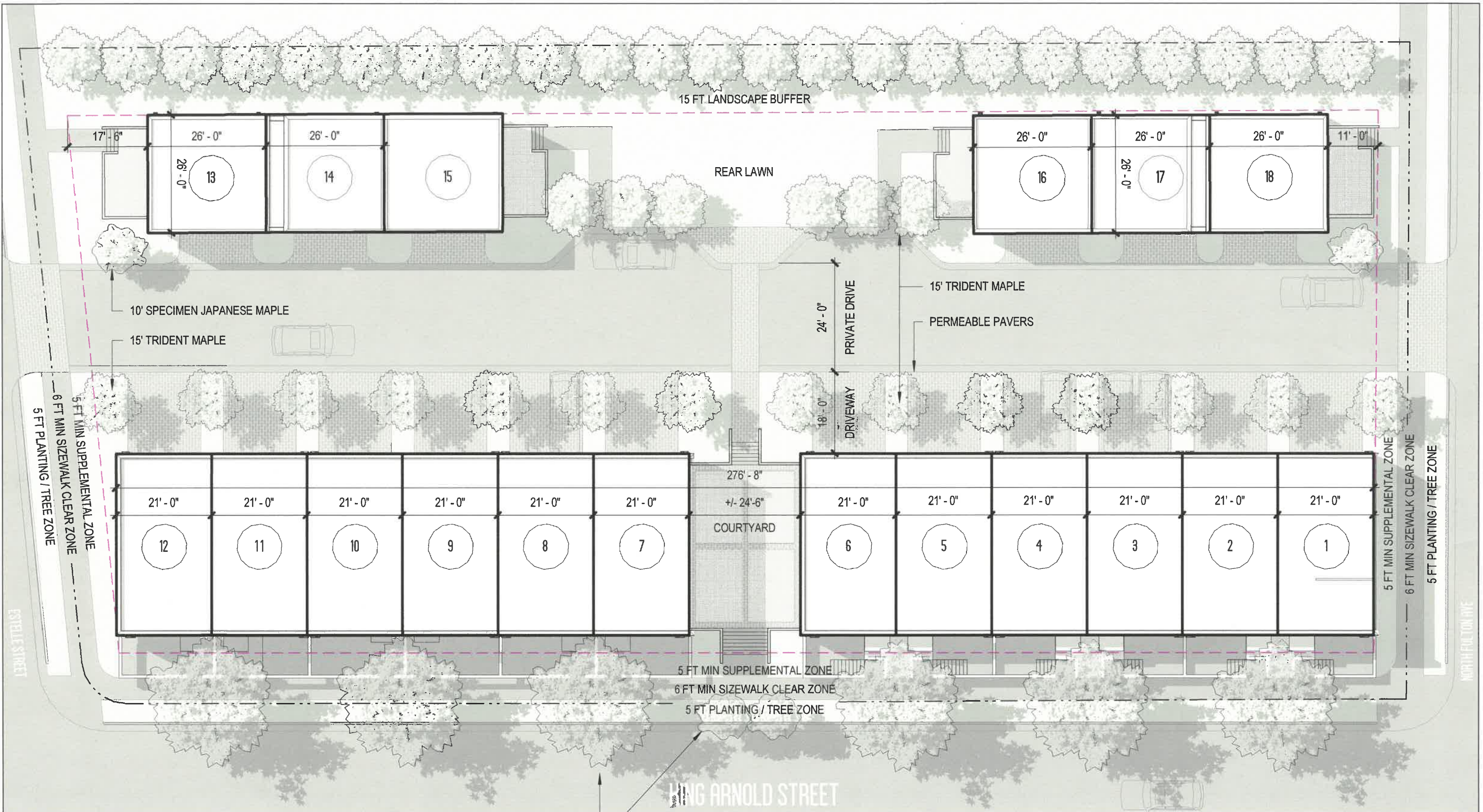
[illegible][illegible]

MINIMUM COVER VALUES APPLY TO HS-20 LIVE LOAD. MINIMUM COVER NEEDED FOR CONSTRUCTION VEHICLES MAY BE GREATER AND IS THE RESPONSIBILITY OF THE CONTRACTOR.

TRENCH CONSTRUCTION IS REQUIRED FOR ALL INSTALLATIONS.

RESPONSIBILITY OF THE CONTRACTOR.
TRENCH CONSTRUCTION IS REQUIRED FOR ALL INSTALLATIONS.

NOTE FOR TABLE NO. 2.
ALTERNATE SPAN-RISE COMBINATIONS FOR PIPE-ARCS, HAVING
EQUAL PLUMBITY TO THAT SHOWN, MAY BE SUBSTITUTED.



APPROVED STREET TREE PER CITY REQUIREMENTS
10' SPECIMEN JAPANESE MAPLE

1 SITE PLAN
1" = 20'-0"



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MYRTLE GARDENS TOWNHOMES

SITE + LANDSCAPE PLAN



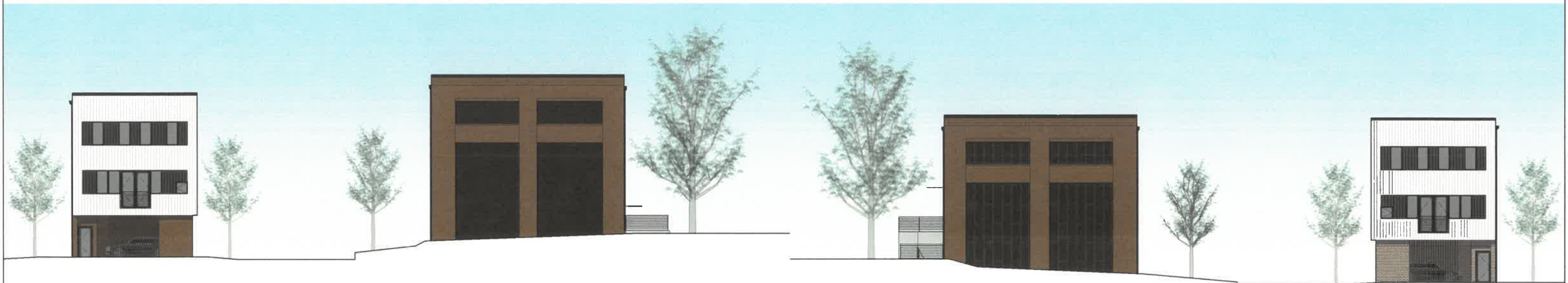
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MYRTLE GARDENS TOWNHOMES

RENDERING



1 ELEVATION - KING ARNOLD STREET
1" = 20'-0"



2 ELEVATION - ESTELLE STREET
1" = 20'-0"

3 ELEVATION - NORTH FULTON AVE
1" = 20'-0"



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STREET ELEVATIONS



3 REAR ELEVATION
3/32" = 1'-0"

EXTERIOR MATERIAL LEGEND

- 1 BRICK VENEER: SOLDIER CORNICE
COLOR: CHEROKEE BRICK - OLD MISSISSIPPI
AREA: 680 SF (5.1% OF TOTAL)
- 2 BRICK VENEER
COLOR: CHEROKEE BRICK - OLD MISSISSIPPI
AREA: 5224 SF (39.5% OF TOTAL)
- 3 BRICK VENEER: STACKED BOND
COLOR: CHEROKEE BRICK - OLD MISSISSIPPI
AREA: 1131 SF (8.6% OF TOTAL)
- 4 FIBER CEMENT SIDING
COLOR: SW7076 'CYBERSPACE'
AREA: 4222 SF (31.9% OF TOTAL)
- 5 GLAZING
(INCLUDES DOORS)
AREA: 1969 SF (14.9% OF TOTAL)



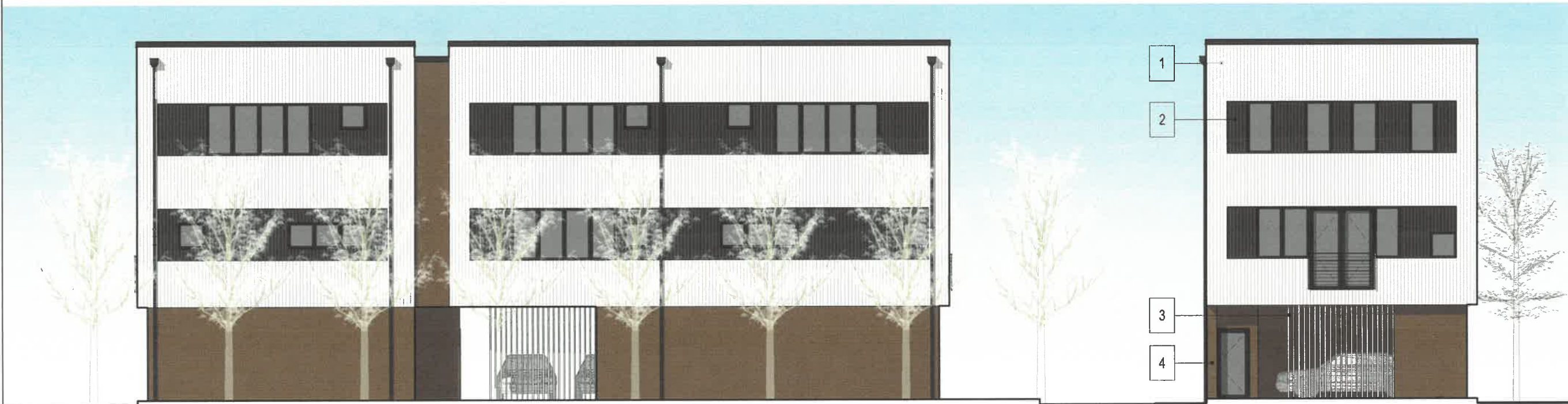
2 FRONT ELEVATION
3/32" = 1'-0"

1 END ELEVATION
3/32" = 1'-0"



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MYRTLE GARDENS TOWNHOMES
TYPICAL TOWNHOUSE BUILDING - SCHEMATIC ELEVATIONS



4 REAR ELEVATION
3/32" = 1'-0"

3 GREENSPACE ELEVATION
3/32" = 1'-0"

- EXTERIOR MATERIAL LEGEND**
- 1 FIBER CEMENT SIDING
COLOR: SW7005 'PURE WHITE'
AREA: 3671 SF (43.1% OF TOTAL)
 - 2 FIBER CEMENT SIDING
COLOR: SW7076 'CYBERSPACE'
AREA: 834 SF (9.8% OF TOTAL)
 - 3 WOOD SLAT WALL
COLOR: UNFINISHED WALNUT
 - 4 BRICK VENEER
COLOR: CHEROKEE BRICK - OLD MISSISSIPPI
AREA: 3096 SF (36.3% OF TOTAL)
 - 5 GLAZING
(INCLUDES DOORS)
AREA: 922 SF (10.8% OF TOTAL)



2 ALLEY ELEVATION
3/32" = 1'-0"

1 STREET ELEVATION
3/32" = 1'-0"

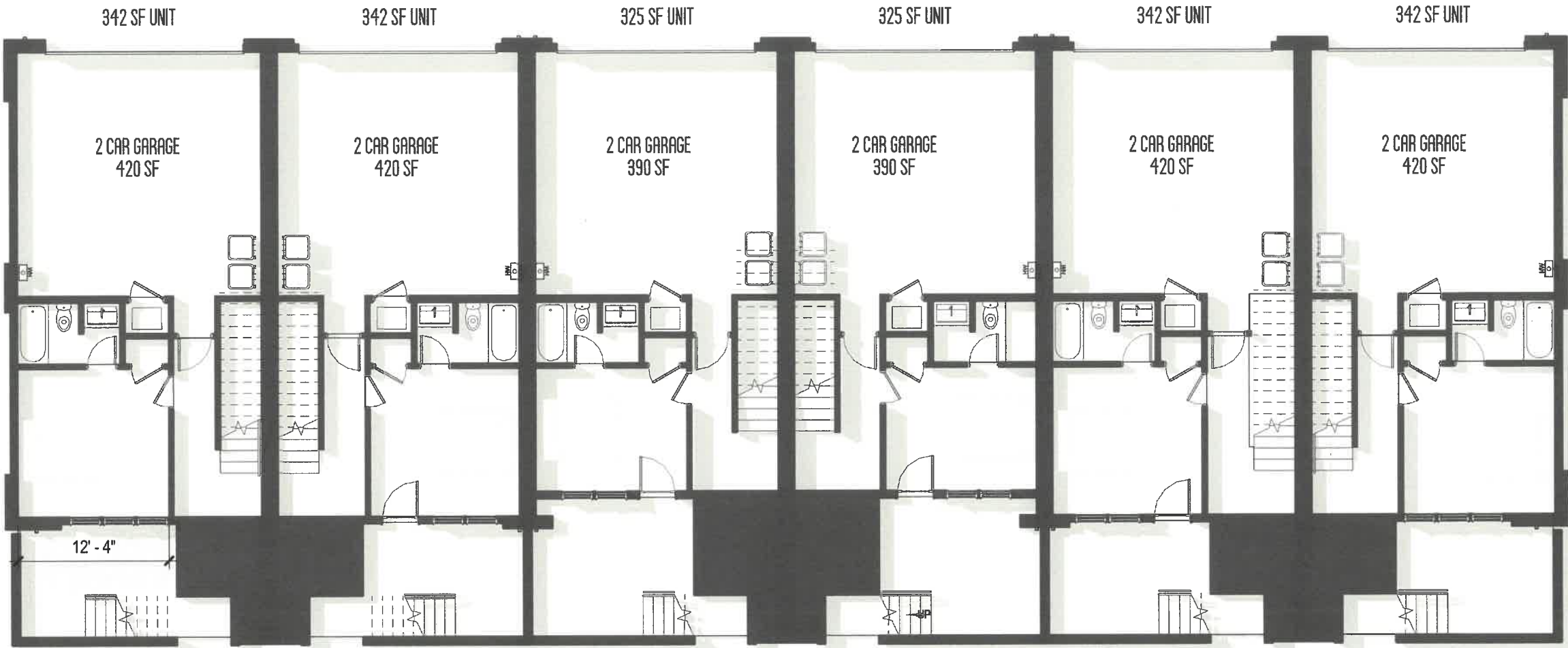


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MYRTLE GARDENS TOWNHOMES

TRIPLEX BUILDING - SCHEMATIC ELEVATIONS

TOTAL SQUARE FOOTAGE THIS FLOOR:
HEATED: 2,020
GARAGE: 2,460



1 1ST FLOOR PLAN
3/32" = 1'-0"



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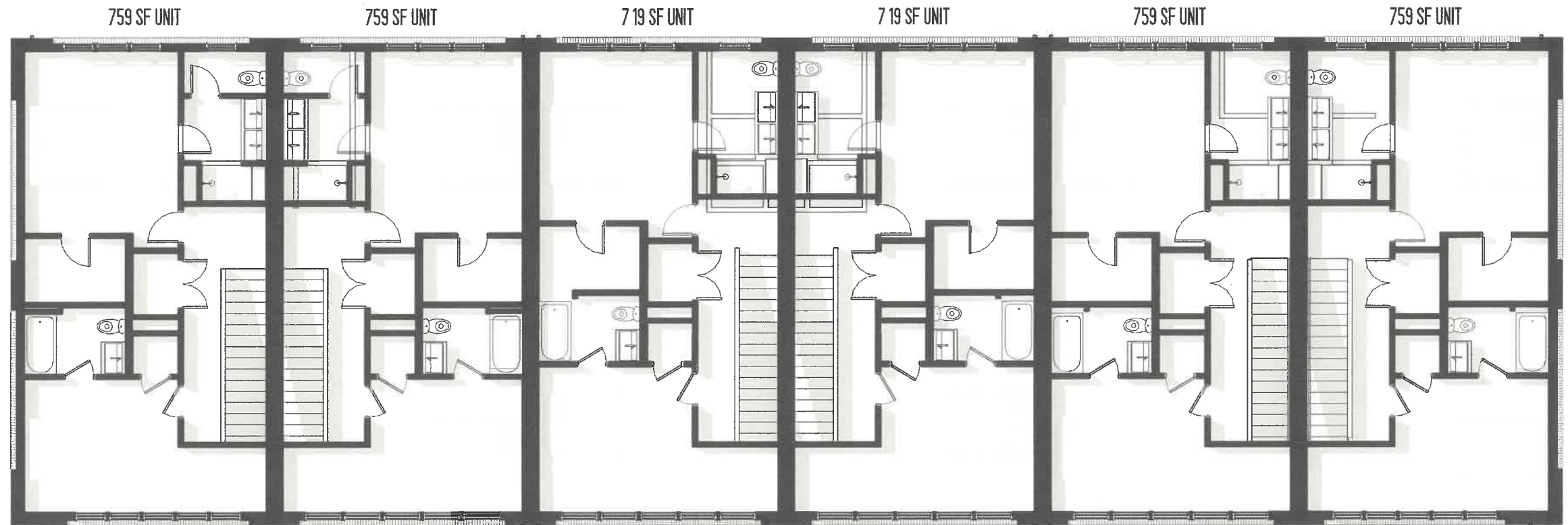
MYRTLE GARDENS TOWNHOMES

TOWNHOUSE BUILDING - SCHEMATIC FLOOR PLANS

TOTAL SQUARE FOOTAGE THIS FLOOR:
4,479

2 3RD FLOOR PLAN

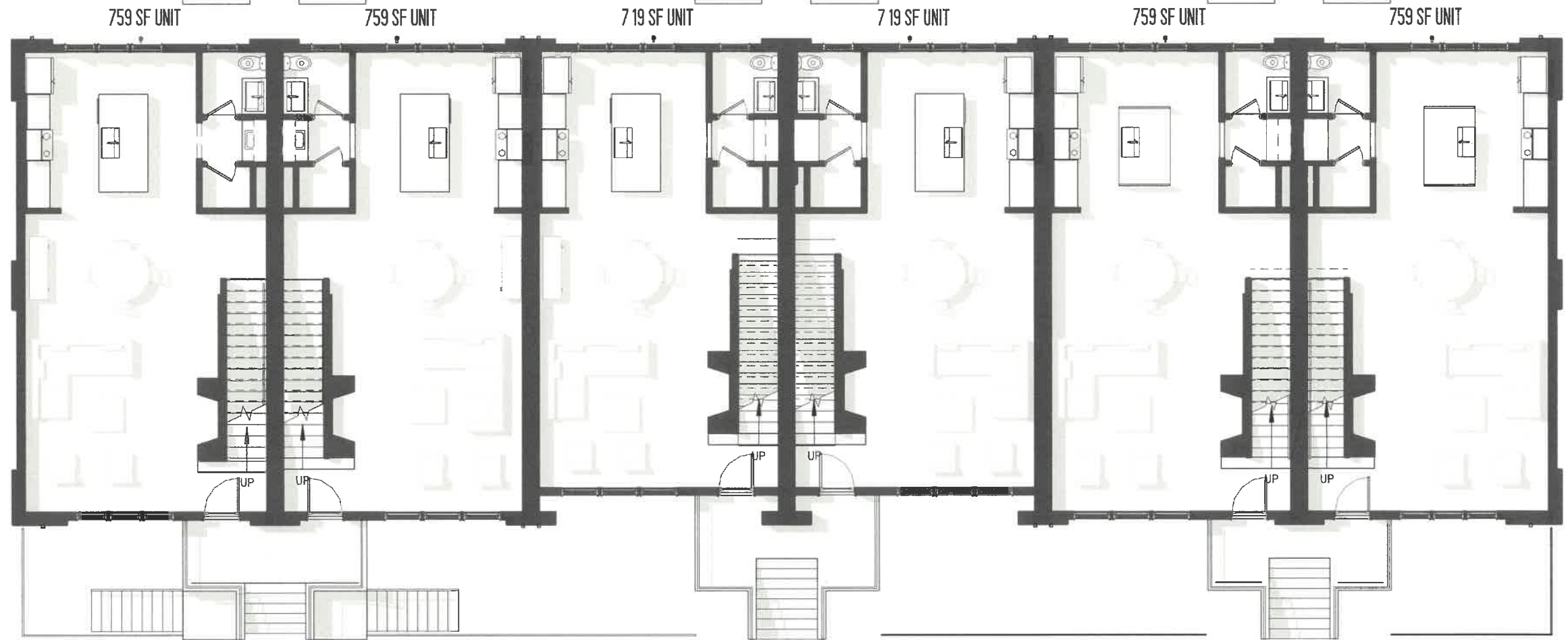
3/32" = 1'-0"



TOTAL SQUARE FOOTAGE THIS FLOOR:
4,479

1 2ND FLOOR PLAN

3/32" = 1'-0"

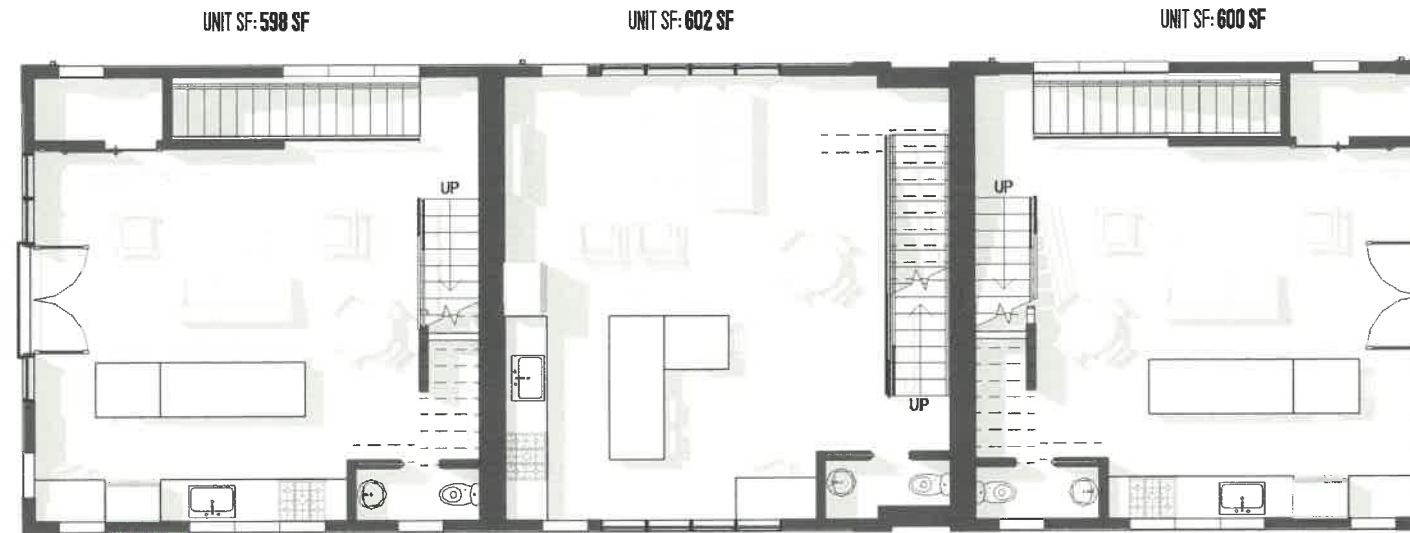


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MYRTLE GARDENS TOWNHOMES

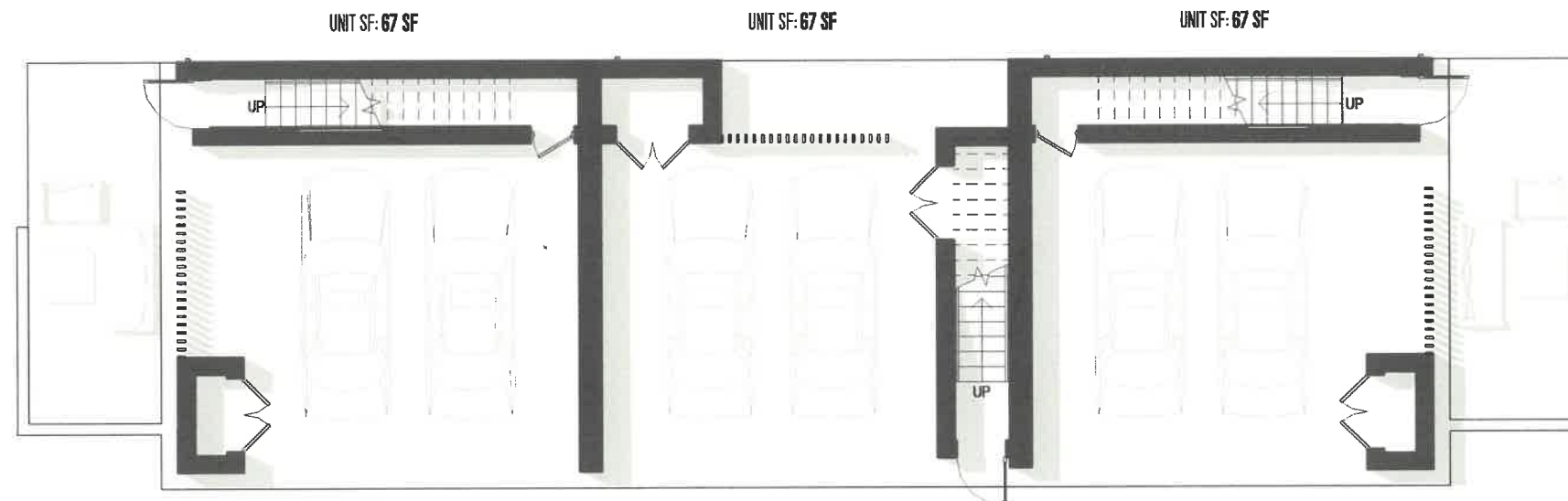
TOWNHOUSE BUILDING - SCHEMATIC FLOOR PLANS

TOTAL FLOOR SQUARE FOOTAGE:
1800 SF



2 2ND FLOOR PLAN
3/32" = 1'-0"

TOTAL FLOOR SQUARE FOOTAGE:
201 SF



1 1ST FLOOR PLAN
3/32" = 1'-0"



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MYRTLE GARDENS TOWNHOMES

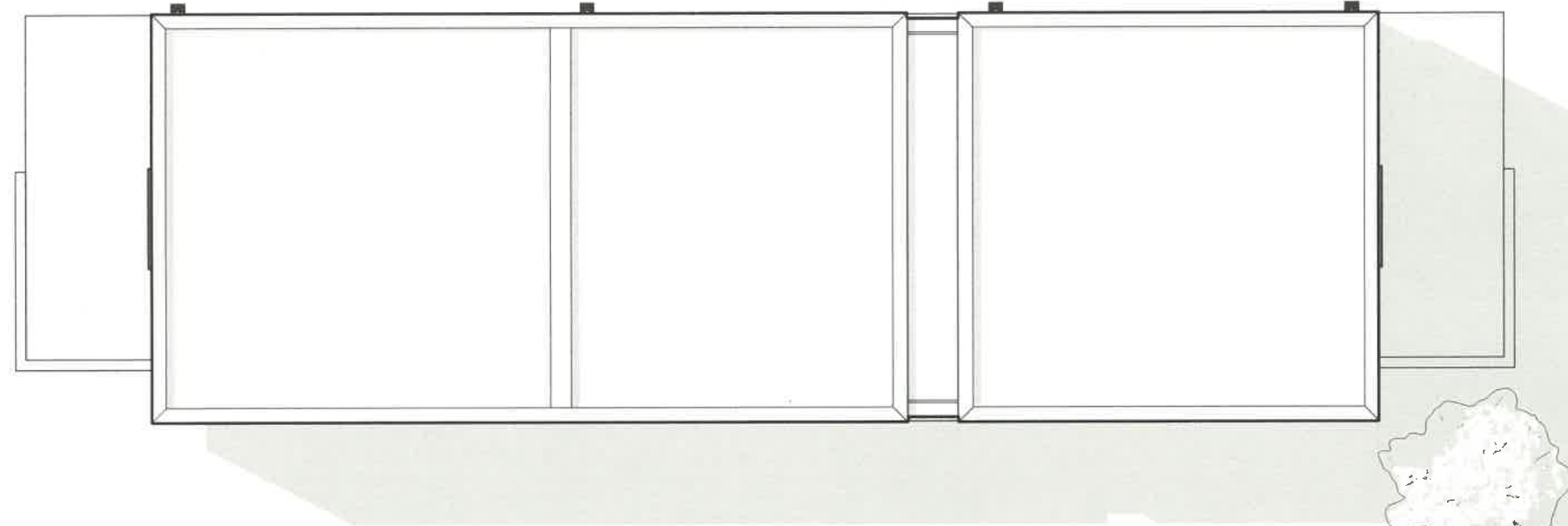
TRIPLEX BUILDING - SCHEMATIC PLANS

TOTAL BUILDING SQUARE FOOTAGE:
37 16 SF

TOTAL UNIT SF: 1239 SF

TOTAL UNIT SF: 1235 SF

TOTAL UNIT SF: 1242 SF



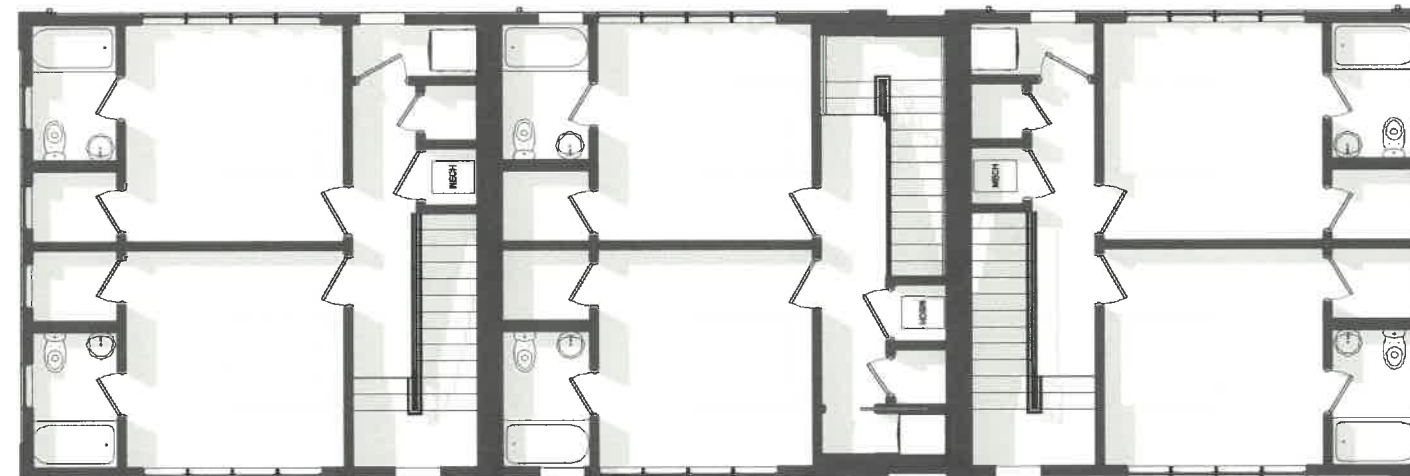
2 ROOF PLAN
3/32" = 1'-0"

TOTAL FLOOR SQUARE FOOTAGE:
17 15 SF

UNIT SF: 574 SF

UNIT SF: 566 SF

UNIT SF: 575 SF



1 3RD FLOOR PLAN
3/32" = 1'-0"



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MYRTLE GARDENS TOWNHOMES

TRIPLEX BUILDING - SCHEMATIC PLANS